



42 Bedford Square + 13 Bedford Avenue

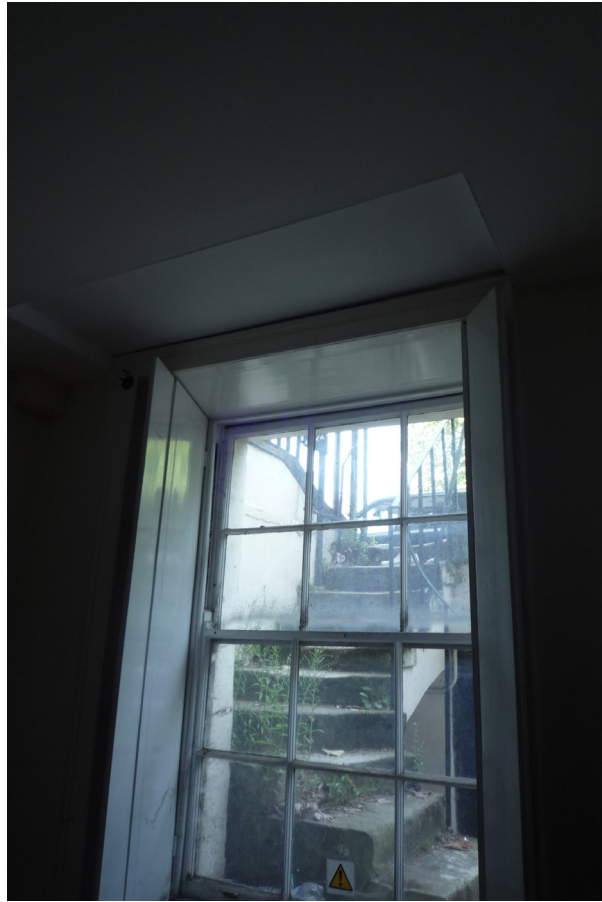
*Application for Listed Building Consent
for internal alterations to the lower ground
floor level of the main house*

Design Statement

August 2017

LBC_REP(00)A102

BDP.



C o n t e n t s

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Summary

Introduction

Listed Building Consent 2015/3620/L

This short design statement has been prepared in support of application proposals for minor alterations to the modern interior layouts within the lower ground floor level of number 42 Bedford Square.

For clarity, the designs related to the above Listed Building Consent reference form the baseline for this application which seeks consent for further works. It is noted that a subsequent application that relates to the courtyard facing room of this level has also been consented and this may also be referred to in brief. The reference to that application is 2016/3162/L.

The Lower ground floor

Prior to the current programme of construction works, the lower ground floor had been divorced from the main house in an arrangement that prevented a reading of the building's original layout and plan form. This arrangement was detrimental to the lower ground floor itself, which was only accessible from the front lightwell. In addition, the lower ground floor has undergone significant alteration and retains little of its original character. Works had included the insertion of a modern kitchen, new doors and plaster walls throughout, and the introduction of bathrooms within the central vaulted space.

The consented schemes referred to above have therefore been developed to re-integrate the lower ground floor with the main house as a single dwelling and reintroduce functions to serve the primary spaces on the upper floors as originally intended.

In response to pre-application advice given in 2013 and the findings of the significance drawings presented in the Heritage Impact Assessment by Montagu Evans at this time, the lower ground floor was identified as one of the main areas of the building which can sustain sensitive and appropriate alteration in order to facilitate the use of this building as a single family dwelling. The proposals at the lower ground floor level have therefore been specifically drawn up to contain the services and functions as required to support the original intended use of this eighteenth century townhouse.



Image taken within the lower ground stair hall prior to the 2014 application. Note the modern finishes throughout, low plasterboard ceilings and the uncharacteristic open space beneath the boarded up cantilevered stone stair intended to connect the lower ground and ground floor levels.

Proposed Alteration

Following BDP's re-engagement, an audit of the consented/non-consented works has been carried out and this has identified a number of departures from the approved scheme. These internal alterations at the lower ground floor level include:

- 1) Entrance hall design development
- 2) Alternative wine cellar internal finishes proposals
- 3) Layout alterations to courtyard facing rooms
- 4) Alteration of below stair store

Entrance Hall design development

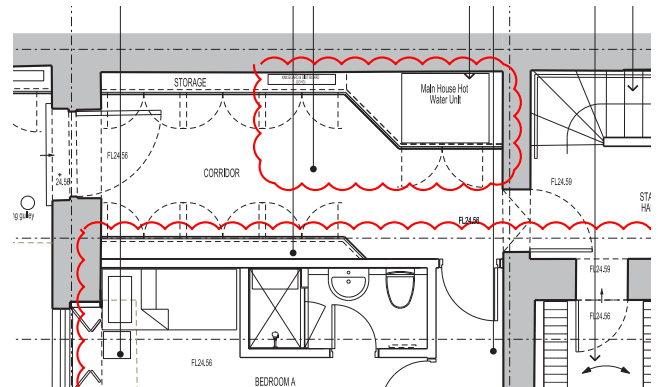
It is noted that the existing entrance hall contained a modern kitchen and related poorly to the entrance door from the lightwell.

The consented layout arrangement indicates banks of fitted joinery either side of the entrance corridor, enabling a direct route from the entrance door. The main house hot water unit tank is located behind a deeper cupboard on the left hand side. The face of the joinery chamfers to incorporate this volume and directs towards the existing opening that leads to the stair hall.

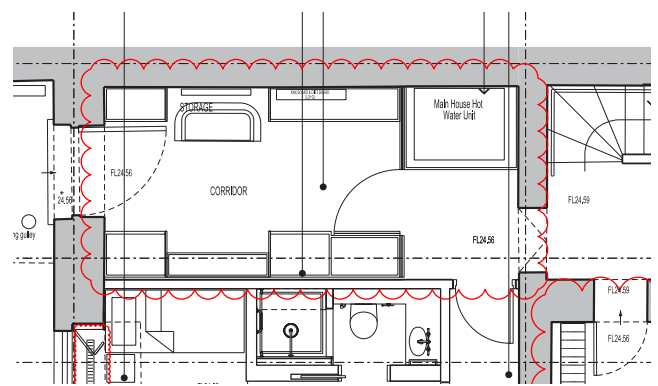
The design of this entrance hall has been modified to provide space for loose furniture and to ensure more regular rectilinear spaces. It is proposed that a door is introduced as part of this proposed joinery to provide an entrance lobby area that prevents unwanted draughts reaching as far as the entrance to the front bedroom spaces. A new door that was intended to be fitted within the existing opening between the entrance and stair halls would no longer be required.

It is noted that all of the internal doors at this level were modern off the shelf sets and the replacement doors will be in alignment with approved details that formed part of the discharge of condition 4b in conjunction with the overall application 2014/4634/L.

Whilst the detail of the doors remains as agreed in the above, it is proposed that the doors to the approved bathroom layouts in the front bedroom spaces operate in a sliding fashion to save space that is used by a conventional door swing. It is noted that this construction is all modern and it is considered that this space saving tactic will improve the quality of the spaces it relates to.



Lower Ground Level Entrance Hall Consented Layout



Lower Ground Level Entrance Hall Proposed Layout

The proposed design provides a more regular rectilinear hall with the benefit of providing a draught lobby before reaching the entrance to bedrooms.

Vaulted wine cellar

This vaulted space located centrally at the lower ground floor level was previously sub-divided to house two bathrooms. To facilitate these uses, the brick arched vault structure had been covered with a plasterboard ceiling lining and modern tiled walls.

In 2015, a listed building application was made for the relocation of boiler services at the lower ground floor level. This successful application enabled the reinstatement of the full central vaulted cellar volume in the centre of the plan following the refinement of engineering proposals and a reduction in the total number of boilers required.

This has enabled the use of the vaulted space for a wine cellar. The use it was originally intended for.

‘The vault served for storage, generally wine’ (Andrew Byrne: 1990 pg 59)

In the consented plan drawings, the aspiration to expose and paint the brickwork within this space was noted.

As the current construction works commenced and the modern partitions, wall finishes and ceilings were carefully removed from this area, the condition of the brickwork was revealed. Unfortunately, what was discovered was that the brickwork and mortar joints are inconsistent and provide a messy appearance that does not suggest an intended finished appearance. In addition, the brickwork is already painted and was covered in a metal gauze that it is assumed help form the substrate for previous plasterboard linings.

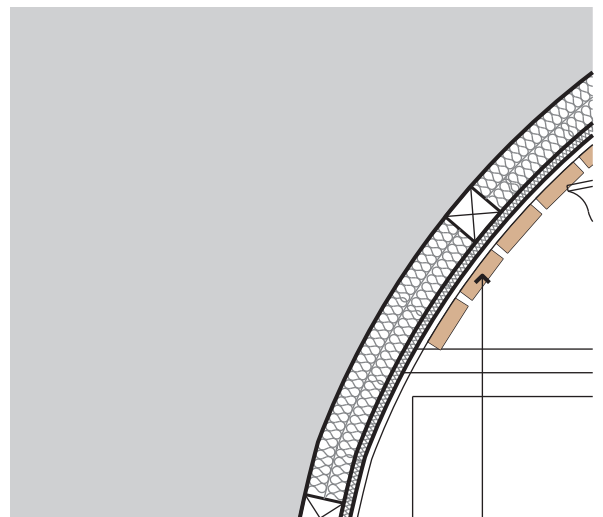
Existing voids in the fabric were uncovered at high level adjacent to the party wall which had been utilised for bathroom extract in the previous arrangement and are re-used for the same purpose in the proposed scheme.

The images, right, illustrate the condition of the brick structure. It is proposed that the brick work is concealed once again. This provides the opportunity to create an appropriately insulated space suitable for wine cellar storage as well as ensuring a uniform finish that is fully reversible.

The desired internal finish will follow the arch of the vault and comprise oak battens that match the dimensions of the brick courses behind, with shadow gaps in between representing the mortar joints. An extract from the construction detail is included right.



Images provided by the Contractor taken from within the wine cellar vault. Note the inconsistency of the brickwork and mortar and existing paint and gauze finishes. It is noted that with the exception of the outer facing brickwork to Bedford Square, the inner bulk of place brick work is generally irregular and of poor quality.



Extract of proposed vaulted cellar lining detail

Layout Alterations to Courtyard Facing Rooms

The 2014 and 2015 consented layouts at lower ground floor show this rear volume between the central vaulted space and the courtyard subdivided into two bedroom spaces, a bathroom and corridor space.

This proposal seeks to reduce that level of subdivision to provide a single guest suite with bathroom.

The strategy for extracting from the bathroom will follow the details approved in the discharge of condition 4d of the principal 2014 listed building consent and follow a route at high level adjacent to the party wall to the external courtyard. It is noted that a similar arrangement existed previously.

It is acknowledged that a large ceiling mounted fan coil unit currently occupies an area in relatively close proximity to the courtyard facing windows. This unit will be removed, reduced in scale and relocated to suspended ceiling areas above the bathroom area to ensure that the new ceiling can be installed above the existing window head height as illustrated in the proposed section drawing.

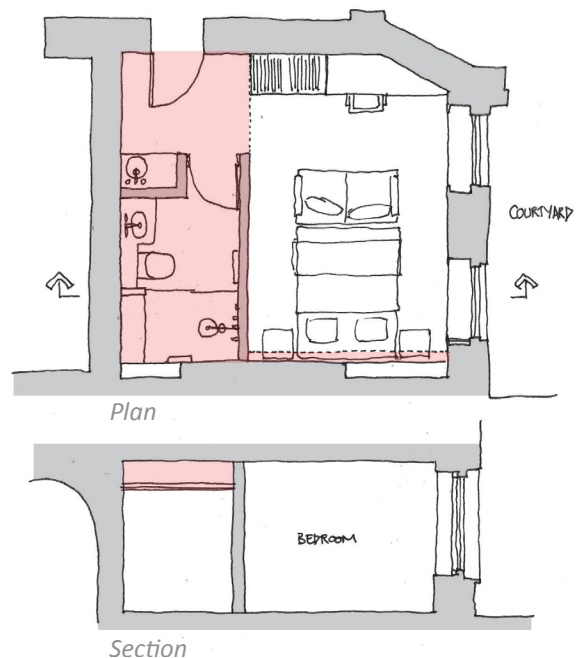
Alteration of Below Stair Store

The photograph at the beginning of this statement illustrates the previous condition of the space below the cantilevered stone staircase which connects the lower ground and ground floors. The exposure and re-use of this stair was identified as a significant enhancement opportunity as part of the overall application to bring 42 Bedford Square and 13 Bedford Avenue back into use as a single family dwelling. The consented proposals sought to line the area below the stair with storage cupboards, primarily to conceal plant that serves the rest of the main house.

The proposals in this application seek to increase the depth of a section of this storage. It is noted that the central spine circulation route remains intact and that the construction, like all of that at the lower ground floor level is modern, lightweight and reversible. The proposals do not result in any loss of detail or fabric.



Image taken within the lower ground floor courtyard facing room prior to the 2014 application. Note the modern finishes throughout, low plasterboard ceilings and bulkhead arrangement on the far wall.



Proposed courtyard facing rooms layout with suspended ceiling zones shaded in red to clarify services routes.

S u m m a r y

The lower ground floor level has been subject to a series of modern alterations in recent times and retains little original character.

The lower ground floor was identified as one of the main areas of the building which can sustain sensitive and appropriate alteration in order to facilitate the use of this building as a single family dwelling.

The principal features of the consented layouts at the lower ground floor remain within the current proposals, including the reinstatement and refurbishment of the cantilevered stone stair linking the lower ground and ground floor levels.

The proposed alterations described in this report relate to areas of secondary or little historic significance and comprise fully reversible solutions.

