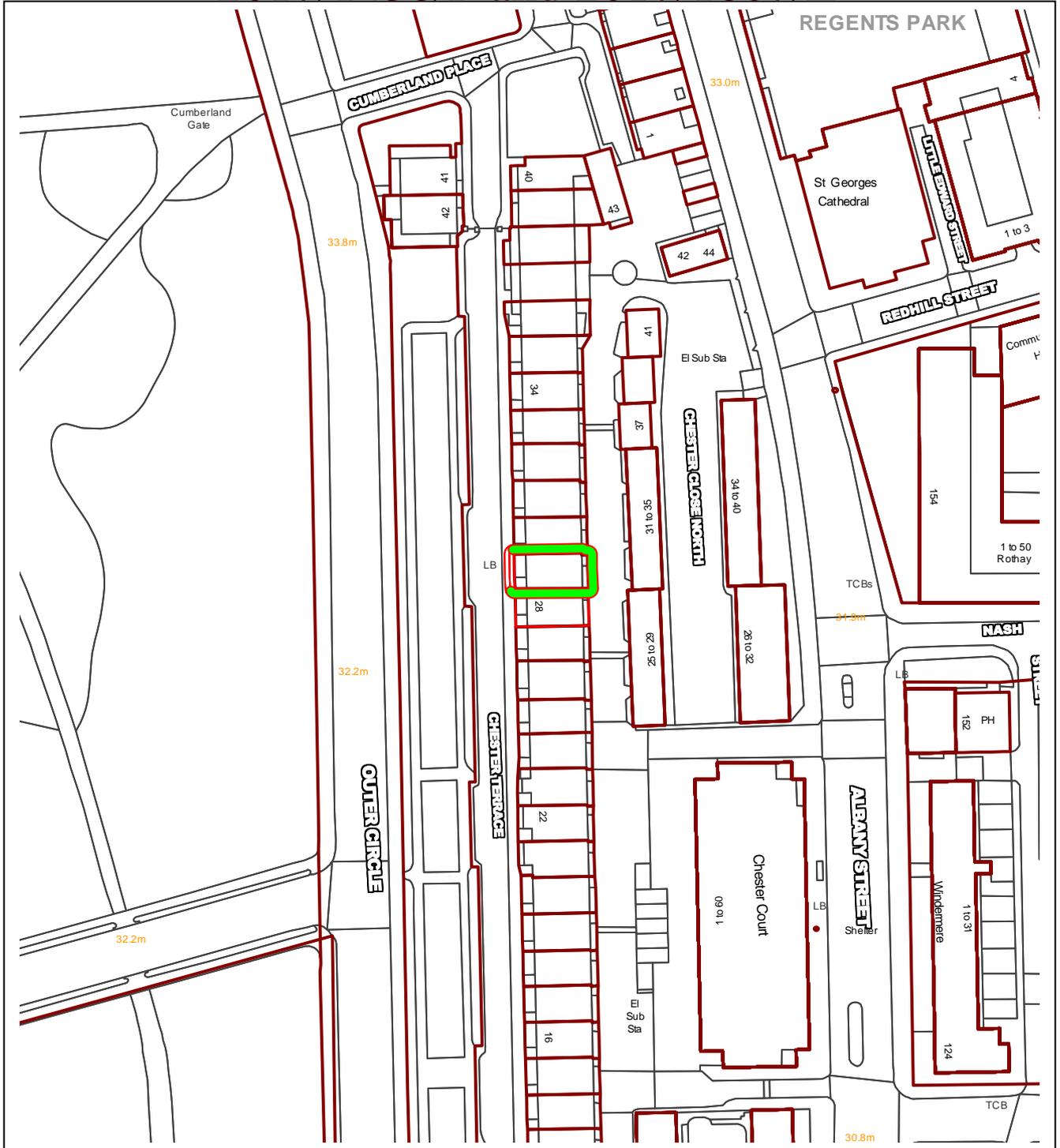


28 Chester Terrace, NW1 4ND 2017/1438/P and 2017/1807/L



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SITE PHOTOS – 28 CHESTER TERRACE

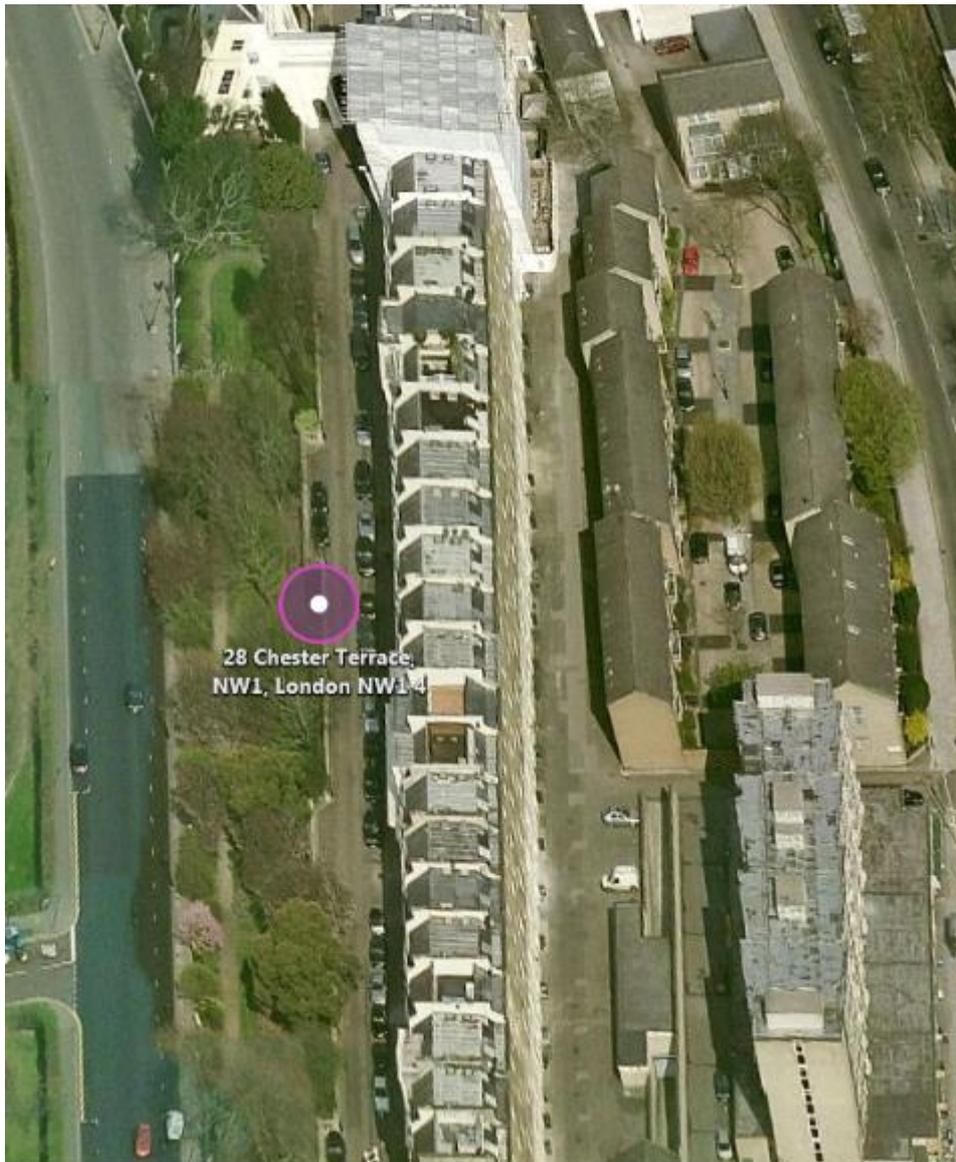


Photo 1: Aerial view of application site showing existing roof form



Photo 2: Front elevation of the existing property from Chester Terrace

Delegated Report		Analysis sheet	Expiry Date:	05/05/2017
(Members Briefing)		N/A / attached	Consultation Expiry Date:	04/05/2017
Officer			Application Number(s)	
Elaine Quigley			2017/1438/P and 2017/1807/L	
Application Address			Drawing Numbers	
28 Chester Terrace London NW1 4ND			See draft decision notice	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature	
Proposal(s)				
<p>(i) Variation of condition 3 (approved drawings) of planning permission 2015/7195/P dated 22/08/2016 (Alterations at roof level including roof terrace, 2 new air con units, timber louvre screen, glass enclosure and lift over run on the roof, alterations to front lightwell and to front and rear elevations of the single family dwelling) namely alterations to roof terrace including relocation of glass stair enclosure, relocation and reconfiguration of the acoustic enclosure and two condenser units to a new position to the rear of the roof terrace, and replacement of existing concrete plinths to railings with stone plinths at pavement level.</p> <p>(ii) External and internal alterations including alterations to roof terrace, relocation of glass stair enclosure, relocation and reconfiguration of the acoustic enclosure and two condenser units to a new position to the rear of the roof terrace, and replacement of existing concrete plinths to railings with stone plinths at pavement level and internal alterations including alteration and relocation of internal partitions layouts, relocation of staircase from third floor level to roof of the existing single family dwelling in association with the listed building consent 2016/0307/L dated 23/08/2016.</p>				
Recommendation(s):		<p>(i) Grant minor material amendment</p> <p>(ii) Grant conditional listed building consent</p>		
Application Type:	<p>Variation or Removal of Condition(s)</p> <p>Listed building Consent</p>			

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice					
Informatives:						
Consultations						
Adjoining Occupiers:	No. notified	00	No. of responses	00	No. of objections	00
			No. Electronic	00		
Summary of consultation responses:	A site notice was displayed on 12/04/2017 that expired on 03/05/2017 and a press notice was published on 13/04/2017 that expired on 04/05/2017. No letters/emails were received as a result of this consultation process.					
Local groups* comments:	<p>English Heritage English Heritage – Flexible authorisation to determine the applications in line with Camden’s policies and guidance.</p> <p>Chester Close North Residents Association objects to the proposal on the following grounds:</p> <ul style="list-style-type: none"> Request that air conditioning unit should be enclosed in a sealed structure and sound proofed to eliminate any noise which would be a considerable noise nuisance to residents of Chester Close North. There is effectively an echo chamber which amplifies noise even when it is low down due to the heights of the buildings and the narrow nature of the street. This problem would be exacerbated when the AC machinery is running continuously during the warmer months when neighbouring residents leave their windows open <p><i>Office comment: Please see Section 3.10 of the Officer’s report below.</i></p>					

Site Description

The application site is located on the east side of Chester Terrace. No 28 Chester Terrace is a mid-terrace 3 storey house with basement and attic accommodation that lies to the west of Chester Close North. Following damage in WWII, the terrace was subject to major refurbishment works behind the facades in 1966 by the Louis de Soissons Partnership. The result is that the main staircase seems to be the only original feature remaining.

Chester Terrace is the longest of Nash's grand stucco terraces that form a backdrop for Regent's Park. The terrace is set back from the Outer Circle and framed by projecting pavilion blocks at each end, linked to the main façade by triumphal arches that span the private drive. The rhythm of the façade is modulated by alternating groups of free-standing or attached Corinthian columns with double attic storeys above the cornice.

Chester Terrace was rebuilt in 1966 after war damage – as 42 houses behind the restored original façade by the Louis de Soissons Partnership. They are all Grade I listed buildings. Although some of the original spirit was carried over it was not a scholarly reconstruction – a more 'modern' 1960's interpretation prevailed - the internal layout was significantly altered, lifts installed to all houses, and the rebuilt structure includes reinforced concrete floors. Notwithstanding this, key elements, such as the plan form, proportions of internal spaces and volumes, and the hierarchy of these spaces and volumes in the building were retained, and constitute important elements of the significance of the Listed Building.

The building is Grade I listed building and the site is located in Regents Park Conservation Area.

Relevant History

Original permission

Planning permission (ref 2015/7195/P) and listed building consent (2016/0307/L) were **granted** on 23/08/2016 for alterations including replacement of existing roof structure, creation of roof terrace, installation of 2 floor mounted air conditioning units, timber louvre screen, glass enclosure and lift over run on the roof, new chimney pots, lowering of lower ground vault floor under the pavement with new openings to create additional non-habitable storage space, installation of timber glazed screen and door under the front entrance steps within front lightwell, replacement of timber sash single pane windows with timber sash double glazed windows at ground, first and second floors on the rear elevation, replacement of CCTV cameras and replacement lighting on the front and rear elevations of the single family dwelling.

As part of the listed building consent condition 4 was attached requiring details of (a) all new doors (b) all new windows (c) all floor finishes to be replaced (d) all new joinery and boxing for services, skirting, cornicing and other decorative mouldings (e) new lightwell screen entrance beneath the front door bridge and (f) front vaults. Each of these parts of the condition have been discharged (see details below).

Condition 4(a) and 4(d) (skirting's only) (2016/5927/L)

Drawings of doors and architectural details, as required by conditions 4(a) and 4(d) (skirting's only) of Listed Building Consent ref 2016/0307/L, dated 23/08/2016, for external and internal alterations was granted and discharged on 24/03/2017

Condition 4(b) (2016/6659/L)

Details of drawings of all new windows with typical glazing bars as required by condition 4b of listed building consent (2016/0307/L) dated 23/08/2016 in connection with various external and internal alterations was granted and discharged on 13/02/2017.

Condition 4(c) (2016/5448/L)

Detailed plan of floor finishes, as required by condition 4(c) of Listed Building Consent ref 2016/0307/L (dated 23/08/2016) for internal and external alterations to the existing single family dwelling was granted and discharged on 24/03/2017.

Condition 4(d) (2016/6660/L)

Detailed drawings of new joinery and boxing for services, cornicing and other decorative mouldings as required by condition 4d (partial discharge) of listed building consent (2016/0307/L) dated 23/08/2016 in connection with various external and internal alterations was granted and discharged on 12/06/2017.

Condition 4(f) (2016/5296/L)

Details of works to the front vaults, as required by condition 4(f) of Listed Building Consent ref 2016/0307/L (dated 23/08/2016) was granted and discharged on 07/03/2017.

Condition 4(e) (2016/6662/L)

Details of new lightwell screen entrance as required by condition 4e of listed building consent (2016/0307/L) dated 23/08/2016 in connection with various external and internal alterations was granted and discharged on 09/03/2017.

Relevant policies

NPPF 2012

The London Plan 2016

Camden Local Plan 2017

A1 Managing the impact of development

A4 Noise and vibration

D1 Design

D2 Heritage

Camden Planning Guidance (CPG)

CPG1 (Design) (2015)

CPG6 (Amenity) (2011)

Regent's Park Conservation Area Management Strategy 2011

Assessment

1.0 Background

1.1 Planning permission and listed building consent were granted on 23/08/2016 for alterations including replacement of existing roof structure, creation of roof terrace, installation of 2 floor mounted air conditioning units, timber louvre screen, glass enclosure and lift over run on the roof, new chimney pots, lowering of lower ground vault floor under the pavement with new openings to create additional non-habitable storage space, installation of timber glazed screen and door under the front entrance steps within front lightwell, replacement of timber sash single pane windows with timber sash double glazed windows at ground, first and second floors on the rear elevation, replacement of CCTV cameras and replacement lighting on the front and rear elevations of the single family dwelling. The proposal included the installation of two air conditioning units that were set behind the eastern parapet wall and were enclosed on the western side by a 1.2m high timber acoustic screen. The acoustic screen did not completely enclose the air conditioning units.

2.0 Proposal

2.1 Permission is sought to amend the 2016 planning permission and listed building consent to make the following changes as the result of the retention of the existing staircase at second to third floors. :

External changes:

- a) Relocation of the consented glass stair enclosure
- b) Relocation and reconfiguration of the consented acoustic enclosure and two condenser units to a new position to the rear of the consented roof terrace.
- c) Replace existing concrete and cement rendered trailing plinths with Portland stone railing plinths at pavement level. The existing railings would be reinstated.

Internal changes:

- a) Alteration and relocation of internal partition layouts.

b) Changing of the position of the proposed internal staircase from 3rd floor to roof terrace to match the retained staircase at 2nd floor.

c) Relocation of the consented glass stair enclosure at roof terrace level

d) Relocation and reconfigure the consented acoustic enclosure and two condenser units to a new position to the rear of the consented roof terrace.

3.0 Assessment

3.1 The main issues to consider as part of the proposal are:

- Principal of development
- Impact on character and appearance of building and conservation area
- Impact on the historic building
- Amenity

Principal of development

3.2 The principle of development was established at the time of the original permission (2015/7195/P) that was granted on 23/08/2016. The approved scheme acknowledged that the roof terrace would be similar to other roof terraces approved at other properties along the terrace and was considered acceptable in principle.

Impact on the character and appearance of the conservation area

3.2 The proposed external amendments mainly relate to the roof of the building and the railing fronting Chester terrace. Planning permission was granted in August 2016 for alterations to the roof to create a roof terrace. These applications seek amendments to this. At roof level itself, it is proposed to revise the location of the glazed enclosure of the staircase that allows access to the roof, and to relocate the two approved condenser units and timber acoustic screen. Their size and design would remain unaltered. The amendments to the proposal would continue to screen views of the structure critically from public views of the listed terrace, by keeping them beneath the ridge of the mansard roof structure. In this regard the external works at roof terrace would not harm the special interest of the listed building or character and appearance of the Conservation Area and is therefore considered acceptable.

3.3 The 2016 planning permission included the installation of two floor-mounted air conditioning units. The proposal includes the relocation of these adjacent to the eastern parapet wall of the flat roof. The air conditioning units would not be visible from the street or neighbouring properties and would be considered acceptable.

3.4 The proposal would include the replacement of the existing concrete and cement rendered railing plinths with Portland stone railing plinths at pavement level. The existing railings would be reinstated. The change to the materials of the plinths would not have an adverse impact on the character or appearance of the building or the surrounding streetscene and would be considered acceptable.

Impact on the historic building

3.5 The proposal includes changes to internal plan form of the building including relocation of partition walls and the location of new staircases relating to the consented roof terrace, as well as the relocation of approved structures associated with the terrace at roof level.

Lower ground, ground and second floors

3.6 Between lower-ground and second floors, the proposed amendments to the layout and fabric would not affect fabric of great age or special significance, since all the internal fabric dates from the 1950s-60s reconstruction of the house. Moreover, the amendments in several instances involve the reduction to the size of the consented openings to more modest proportions, the relocation of consented servicing, or the demolition and reconstruction of existing partitions in identical or almost identical positions. More timber is to be retained as the frame for two new bronze and glass doors to be installed, and elsewhere doors are to be fixed shut or slightly changed in form. These alterations either bring modest benefits or involve no additional harm to the qualities of the house that relate to its special interest, and leave the disposition of historic and architectural significance in the interior unaltered.

Third floor

3.7 At the third floor level, the consented scheme included reorientation of the secondary stair below. This has now been reconsidered and a new timber stair continuing that below would rise to the roof. This simplification of the arrangement of the circulation on these upper levels compared to the consented scheme is welcome and sits more comfortably with the traditional plan form. The roof structure itself dating entirely from the twentieth century – would remain unaltered, notwithstanding some minor alterations including the installation of an additional walk-on rooflight on the floor of the roof terrace. This would not result in a significant loss of historic fabric and would not harm the building's appearance.

3.8 The proposed alterations would not cause any additional harm to the special interest of the listed building, and so the listed building consent and would be considered acceptable.

Amenity

Noise and disturbance

3.9 The proposal includes the relocation of two floor mounted air-conditioning units and 1.2m high timber acoustic screen that were approved as part of the 2016 permissions. A 'Plant Noise Assessment' has been submitted to support the application.

3.10 A noise report was submitted in support of the original planning application for the two air conditioning units and noise related conditions were imposed. Concern has been raised by Chester Close North Residents Association regarding the potential noise and disturbance from the air conditioning units. They have requested that the units should be enclosed in a sealed structure and sound proofed to eliminate any noise. The noise report submitted in support of the application and has been reviewed by the Council's Environmental Health officer who raised no objections to the proposal subject to standard condition to ensure that the external noise level remains within the minimum noise level requirements.

Visual amenity

3.11 At the roof level, it is proposed to revise the location of the glazed enclosure of the staircase that allows access to the roof, and to relocate the two approved condenser units and timber acoustic screen. Their size and design would remain unaltered. The amendments to the proposal would continue to screen views of the structure from private views from surrounding residential properties, as they would be contained beneath the ridge of the mansard roof structure. The proposal would not harm the amenity of neighbouring occupiers and would be considered acceptable.

Conclusion

3.12 On balance, the proposals are considered to preserve and enhance the special character of the host Grade I Listed Building, the wider Regents Park Conservation Area, and would be considered acceptable.

3.13 Special regard has been attached to the desirability of preserving the listed building or its setting or any features of special architectural or historic interest which it possesses under s.66 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

3.14 Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

Recommendation

3.15 Grant minor material amendment and conditional listed building consent.

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Tuesday 29th August 2017, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Mr Theo Manzaroli

Purcell
15 Bermondsey Square
Tower Bridge Road
London
SE1 3UN
United Kingdom

Application Ref: **2017/1438/P**
Please ask for: **Elaine Quigley**
Telephone: 020 7974 **5101**

16 August 2017

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Variation or Removal of Condition(s) Granted

Address:
28 Chester Terrace
London
NW1 4ND

DECISION

Proposal:

Variation of condition 3 (approved drawings) of planning permission 2015/7195/P dated 22/08/2016 (Alterations at roof level including roof terrace, 2 new air con units, timber louvre screen, glass enclosure and lift over run on the roof, alterations to front lightwell and to front and rear elevations of the single family dwelling) namely alterations to roof terrace including relocation of glass stair enclosure, relocation and reconfiguration of the acoustic enclosure and two condenser units to a new position to the rear of the roof terrace, and replacement of existing concrete plinths to railings with stone plinths at pavement level.

Drawing Nos: 001; 002; 100 rev B; 101 rev A; 106 rev A; 107 rev A; 108 rev B; P_02_200 rev C; P_02_201 rev D; P_02_203 rev B; P_02_204 rev D; P_02_206 rev D; P_02_207 rev B; P_02_208 rev C; P_02_209 rev D; P_02_210 rev C; Heritage Impact Assessment Issue 1 produced by Purcell dated December 2015; Design and Access Statement produced by Purcell dated March 2017; Plant Noise Assessment Rev 1 produced by CSG Acoustics dated 10th March 2017

The Council has considered your application and decided to grant permission subject to the following condition(s):

Executive Director Supporting Communities



Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of the original planning permission ref 2015/7195/P dated 22/08/2016.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans 001; 002; 100 rev B; 101 rev A; 106 rev A; 107 rev A; 108 rev B; P_02_200 rev C; P_02_201 rev D; P_02_203 rev B; P_02_204 rev D; P_02_206 rev D; P_02_207 rev B; P_02_208 rev C; P_02_209 rev D; P_02_210 rev C; Heritage Impact Assessment Issue 1 produced by Purcell dated December 2015; Design and Access Statement produced by Purcell dated March 2017; Plant Noise Assessment Rev 1 produced by CSG Acoustics dated 10th March 2017

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 4 No standing furniture or fixtures and fittings shall extend above the ridge of the roof of the building.

Reason: To safeguard the appearance of the premises and the character of the immediate area and Regents Park Conservation Area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

- 5 Noise levels at a point 1 metre external to sensitive facades shall be at least 5dB(A) less than the existing background measurement (LA90), expressed in dB(A) when all plant/equipment (or any part of it) is in operation unless the plant/equipment hereby permitted will have a noise that has a distinguishable, discrete continuous note (whine, hiss, screech, hum) and/or if there are distinct impulses (bangs, clicks, clatters, thumps), then the noise levels from that piece of plant/equipment at any sensitive façade shall be at least 10dB(A) below the LA90, expressed in dB(A).

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policies A1 and D1 of the London Borough of Camden Local Plan 2017.

- 6 Prior to use of the air conditioning units, the plant equipment and ducting shall be mounted with proprietary anti-vibration isolators and fan motors shall be vibration isolated from the casing and adequately silenced and retained and maintained as such.

Reason: To ensure that the amenities of adjoining occupiers and the area generally shall not be adversely affected by vibration in accordance with the requirements of policies A1 and D1 of the London Borough of Camden Local Plan 2017.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 2 Your proposals may be subject to control under the Party Wall etc Act 1996 which covers party wall matters, boundary walls and excavations near neighbouring buildings. You are advised to consult a suitably qualified and experienced Building Engineer.
- 3 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Director of Regeneration and Planning

Purcell
15 Bermondsey Square
Tower Bridge Road
London
SE1 3UN
United Kingdom

Application Ref: **2017/1807/L**
Please ask for: **Elaine Quigley**
Telephone: 020 7974 5101

16 August 2017

DRAFT

Dear Sir/Madam

DECISION

Planning (Listed Building and Conservation Areas) Act 1990

Listed Building Consent Granted

Address:
28 Chester Terrace
London
NW1 4ND

DECISION

Proposal:

External and internal alterations including alterations to roof terrace, relocation of glass stair enclosure, relocation and reconfiguration of the acoustic enclosure and two condenser units to a new position to the rear of the roof terrace, and replacement of existing concrete plinths to railings with stone plinths at pavement level and internal alterations including alteration and relocation of internal partitions layouts, relocation of staircase from third floor level to roof of the existing single family dwelling in association with the listed building consent 2016/0307/L dated 23/08/2016.

Drawing Nos: 001; 002; 100 rev B; 101 rev A; 106 rev A; 107 rev A; 108 rev B; P_02_200 rev C; P_02_201 rev D; P_02_203 rev B; P_02_204 rev D; P_02_206 rev D; P_02_207 rev B; P_02_208 rev C; P_02_209 rev D; P_02_210 rev C; Heritage Impact Assessment Issue 1 produced by Purcell dated December 2015; Design and Access Statement produced by Purcell dated March 2017.

The Council has considered your application and decided to grant subject to the following condition(s):

Conditions And Reasons:

Executive Director Supporting Communities



- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: 001; 002; 100 rev B; 101 rev A; 106 rev A; 107 rev A; 108 rev B; P_02_200 rev C; P_02_201 rev D; P_02_203 rev B; P_02_204 rev D; P_02_206 rev D; P_02_207 rev B; P_02_208 rev C; P_02_209 rev D; P_02_210 rev C; Heritage Impact Assessment Issue 1 produced by Purcell dated December 2015; Design and Access Statement produced by Purcell dated March 2017.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the London Borough of Camden Local Plan 2017.

- 3 All new work and work of making good shall be carried out to match the existing adjacent work as closely as possible in materials and detailed execution.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the London Borough of Camden Local Plan 2017.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Director of Regeneration and Planning