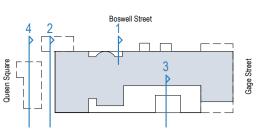


of Proposed Remedial External Image	Works	Proposed Remedial Work
	Defects to stucco decoration	Strip all paint from the front
		elevation and dispose from site (assume no lead based paint present). Allow for exploratory works prior to stucco repair and redecoration.
	Crack to portico: Crack present to both sides of portico at basement and ground floor level, cracks on internal walls and curved soffit, associated damp damage.	Allow for exploratory works to the roof and parapet walls to the entrance portico including structural engineer's input prior to repairs. Rake out cracks and refill, redecorate all details.
	Damp damage: timber decay to window, damage to stucco, paint blistering	Replace window, strip all paint and repair damaged render
	Damp damage to stucco mouldings, paint blistering	Following remedial works to portico roof, strip back existing paint and redecorate
	Cracks to masonry	Rake out cracks and refill, redecorate all details.
	Uneven paint, damaged handle to cast iron gate	Paintworks to be stripped off, railings rubbed down to smooth finish and redecorated. Handle to be repaired and gate to be altered to include a secure lock.
	Stained brickwork and defective pointing to lightwell	Clean brickwork to the Boswell Street side lightwell using the Stonehealth DOFF cleaning system. Rake out defective pointing to brickwork and repoint using tinted lime mortar to match existing
	Stained granite wall, open masonry joints	Clean granite wall to main entrance using the Stonehealth DOFF cleaning system. Treat granite with a suitable biocide. Rake out all pointing to both sides and top of granite wall and re-point using tinted lime mortar.
	Stained granite pavers	Clean granite pavers to main entrance using the Stonehealth DOFF cleaning system. Treat granite with a suitable biocide. Rake out loose or missing joints to paving and repoint using tinted sand and cement slurry pointing.
	Stained brickwork and stucco	Clean the brickwork and stucco to the first, second and third floor using the Stonehealth DOFF cleaning system.
	Defective brickwork and stucco	Carry out a survey to all masonry to the front elevation, to include a hammer test to all stucco. Allow to mark up drawings and provide a written report outlining defect sizes and locations.
	Defective stucco render (multiple locations)	Cut back isolated areas of defective stucco, prepare background brush area clean, slightly dampen existing surfaces and apply new stucco in three coats aligning flush with adjoining surfaces.
	Cracked stucco (multiple locations)	Cut out all cracks to the stucco render. Brush area clean, slightly dampen existing surfaces and apply new stucco in three coats aligning flush with adjoining surfaces. Include for continuing joint lines as necessary to match existing detailing.
	Defective stucco (multiple locations)	Repairs to decorative stucco and cornice bands
	Defective bricks (multiple locations	Cut out defective bricks and replace with matching bricks, pointed to match existing - provisionally allow 8no.
	Defective pointing (multiple locations)	Rake out defective pointing to brickwork and repoint using tinted lime mortar to match existing.
	Defective paintwork	Paintwork to be stripped form all sills and redecorated





ley	
	Repairs to damaged brickwork
	Granite cleaning and repointing
	Specialist brick cleaning and repointing
	Paint removal + stucco render repairs and redecoration

Notes

1	Finishes to all external facades (incl. painted masonry, stucco and metalworks) to be renewed
2	All existing rainwater goods to be renewed in cast iron and redundant fittings to be removed
3	All existing windows to be repaired as necessary and redecorated
4	All grilles and vents to be renewed
5	Stucco redecorations: colour to match Portland stone of neighbouring buildings. Exact colour to be confirmed on site.

Rev	Date	Details/ Amended by	Sign
A1	30.03.17	Pre-planning application / CL	LM
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A6	21.08.17	PLANNING: Revised drawings following Camden feedback / LM	LM

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Project title		
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Drawing title		
DETAILS: PROPO North-West Elevati		EVATIONS
Scale Status	5	Revision
1: 100 @A1 APP 1: 200 @A3	ROVAL	A6
Drawing number		
1615-ST-Q1-Z	Z-DR-A	-5151

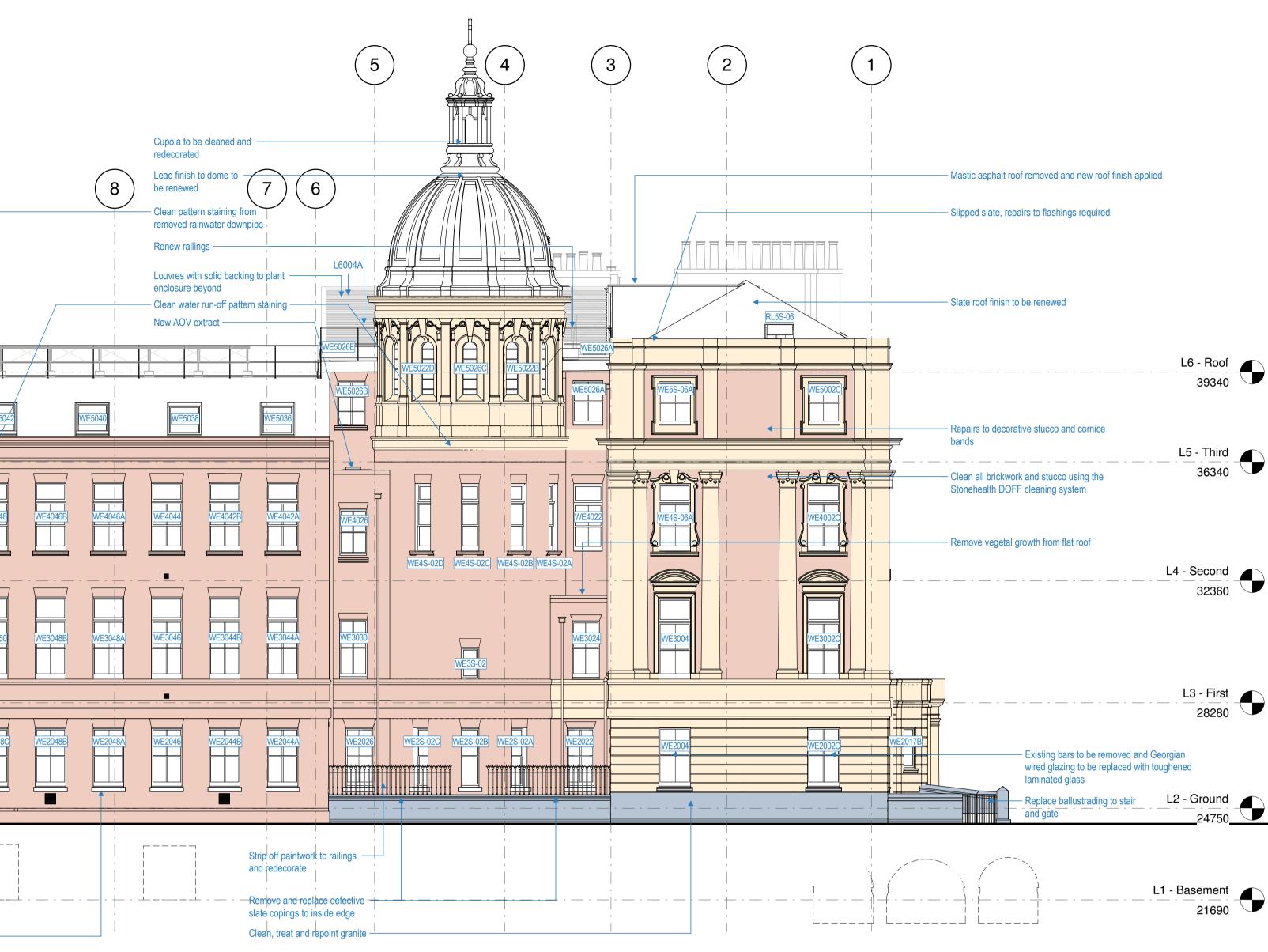
	(13)	(12)	(11))	10		9	
Louvre clad masonry walls to plant compound behind Lift overrun behind								
Slate mansard finish to be renewed								
Existing blocked gutters to be renewed								
Defective moulded bricks to be replaced	WE5056B	WE5056A	5S-04	WE5046	WE50)48	WE5044	
L5S - Third South								
36520	· WE4066B	WE4066A	4S-04	VE4050C	E4050B	WE4050A	WE4052	
L4S - Second South								•
33660	WE3M008C W3M008B			╧╧╵║╘				
Reinstate window				_	- <u> </u>	•		
L3MS - First South Mez								
30760			3S-04	WE3056	E3054B	WE3054A	WE3052	
Cleaning of feature cornice	WE3066C WE3066B	WE3066A						
L3S - First South								
27720								
Repairs and repointing to damaged brickwork corner L2 - Ground			25-04 S-04		E2064	WE2062B	• WE2062A	
24750				<u> </u>				
Dry riser inlet								
Renew door with access control for staff					place defectiv			
only entrance, fire brigade entrance and fire escape					ntilation grilles			
L1 - Basement	i	LJ ' 	+ i '	to:	sash windows		, 	 _L
21690				adj	oining window	WS	 	
An outward opening door has been requested by – Camden Building Control which is supported by the planning and conservation officers. As the]	All stri	stone windov pped off and	v sills paintwork t redecorated	o be ———	

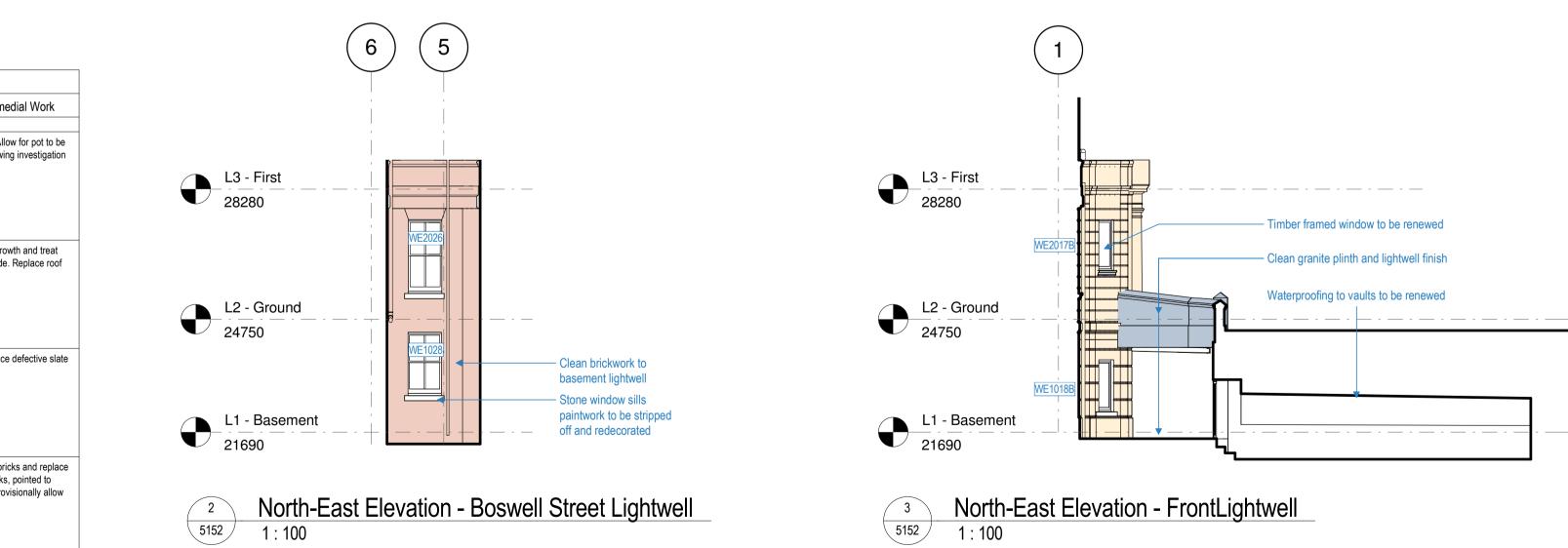
suggest to make this work safely, guard rails are provided as shown as per the dotted lines

5152 1 : 100

Outline	e of Proposed Remedial External	Works		Outlin	e of Proposed
Ref.	Image	Defect	Proposed Remedial Work	Ref.	Image
1.		Stained brickwork and stucco	Clean the brickwork and stucco to the first, second and third floor using the Stonehealth DOFF cleaning system.	8.	
2.		Pattern staining to brickwork (multiple locations)	Clean the brickwork and stucco using the Stonehealth DOFF cleaning system. Allow to clean any areas of carbon build up or stubborn stains using the Stonehealth TORC cleaning system.	9.	
3.		Defective brickwork and stucco	Carry out a survey to all masonry to the Boswell Street elevation, to include a hammer test to all stucco. Allow to mark up drawings and provide a written report outlining defect sizes and locations.	10.	
4.		Defective stucco render	Cut back isolated areas of defective stucco, prepare background brush area clean, slightly dampen existing surfaces and apply new stucco in three coats aligning flush with adjoining surfaces.	11.	
5.		Stained granite wall, open masonry joints	Clean granite wall to main entrance using the Stonehealth DOFF cleaning system. Treat granite with a suitable biocide. Rake out all pointing to both sides and top of granite wall and re-point using tinted lime mortar.	12.	
6.		Pattern staining to brickwork in lightwell	Clean walls using the Stonehealth DOFF cleaning system.	13.	
7.		Replaced brickwork to party wall, uneven surface and movement	Allow for further investigation by structural engineer.	14.	

utline	of Proposed Remedial External	Works	
əf.	Image	Defect	Proposed Remedial Work
		Leaning / unstable chimney pot	As item 7 below. Allow for pot to be held in place following investigation works.
		Vegetal growth to flat roof	Remove vegetal growth and treat with suitable biocide. Replace roof finish.
		Defective slate copings to inside edge of granite wall to lightwells	Remove and replace defective slate copings.
		Defective moulded bricks (multiple locations)	Cut out defective bricks and replace with matching bricks, pointed to match existing - provisionally allow 40no.
		Defective bricks (multiple locations)	Cut out defective bricks and replace with matching bricks, pointed to match existing - provisionally allow 75no.
		Cracked stucco	Cut out all cracks to the stucco render. Brush area clean, slightly dampen existing surfaces and apply new stucco in three coats aligning flush with adjoining surfaces. Include for continuing joint lines as necessary to match existing detailing.
		Cracks and flaking paintwork to ground floor windows sills	Paintwork to be stripped off and redecorated.





Defective pointing (multiple Rake out defective pointing to brickwork and repoint using tinted locations) lime mortar to match existing. Defective pointing to window Carefully rake out defective pointing 16 to window arches and repoint using gauged lime mortar - provisionally allow 6no. arches. Allow to carry out repairs by insertion of 400mm Helifix Cemties - provisionally allow 3no. arches.

Defect

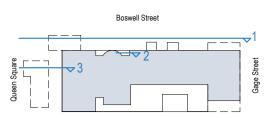
Proposed Remedial Work

Outline of Proposed Remedial External Works

Ref. Image

Outline	e of Proposed Remedial Ex	xternal Works	1
Ref.	Image	Defect	Proposed Remedial Work
17.		Chipped uneven paintwork to railings	Paintworks to be stripped off, railings rubbes down to smooth finish and redecorated.

Key Plan



	L6 - Roof 39340	
- Repairs to decorative stucco and cornice bands	L5 - Third	
- Clean all brickwork and stucco using the Stonehealth DOFF cleaning system	36340	

L4 - Second				
32360	 	 	 	

Key	
	Repairs to damaged brickwork
	Granite cleaning and repointing
	Specialist brick cleaning and repointing
	Paint removal + stucco render repairs and redecoration

Notes

1	Finishes to all external facades (incl. painted masonry, stucco and metalworks) to be renewed
2	All existing rainwater goods to be renewed in cast iron and redundant fittings to be removed
3	All existing windows to be repaired as necessary and redecorated
4	All grilles and vents to be renewed
5	Stucco redecorations: colour to match Portland stone of neighbouring buildings. Exact colour to be confirmed on site.

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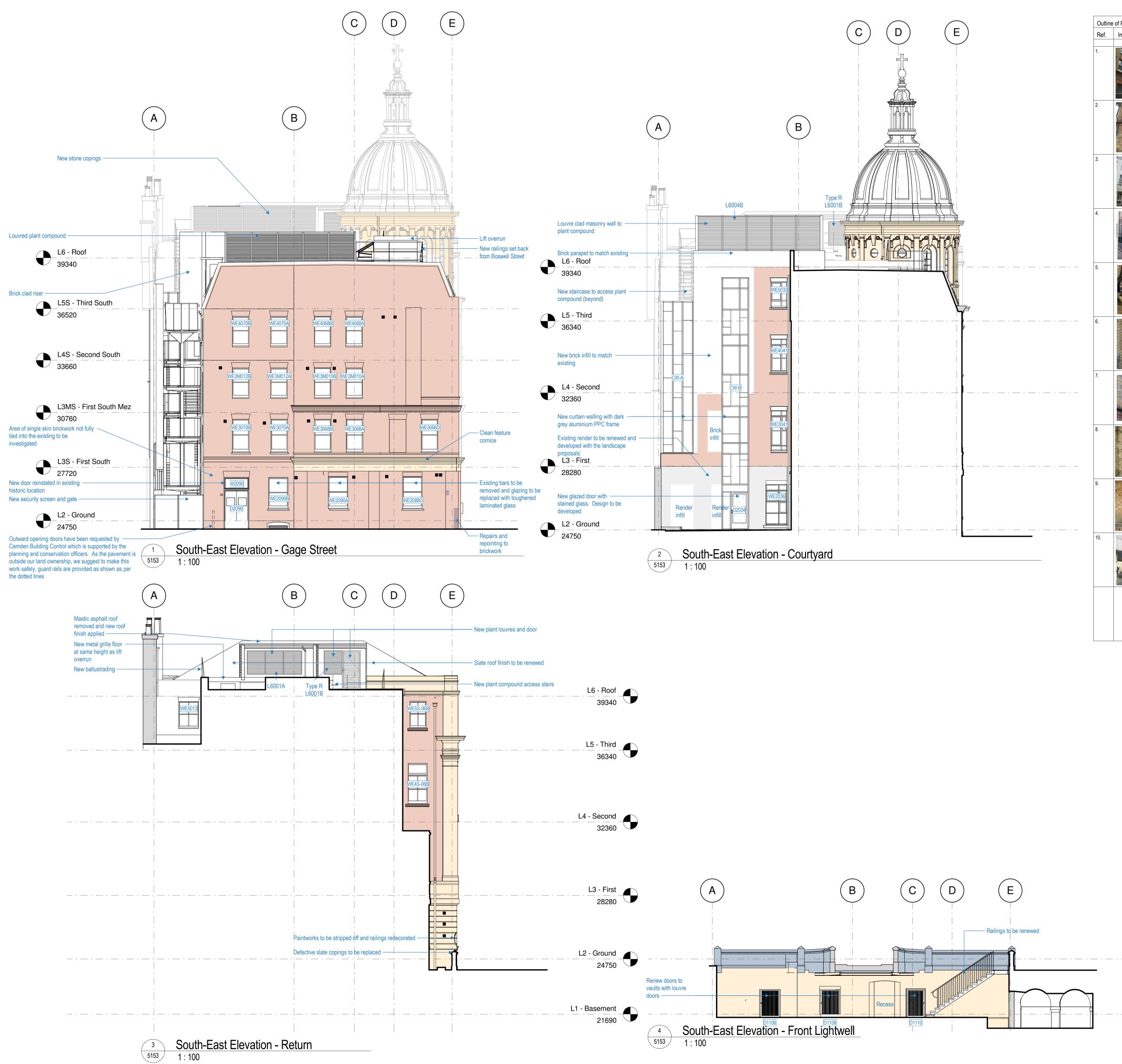
Quality House 6-9 Quality Court	tel: +44 (0)20 7580 8881 email: info@st-arch.co.uk
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Project title ITALIAN HOSPITAL Drawing title DETAILS: PROPOSED ELEVATIONS North-East Elevations Status Revision Scale APPROVAL A6 1: 100 @A1 1: 200 @A3

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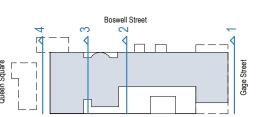
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Drawing number



f Proposed Remedial External	Works	
Image	Defect	Proposed Remedial Work
	Stained brickwork and stucco	Clean the brickwork and stucco of the Gage Street elevation using the Stonehealth DOFF cleaning system
	Stained brickwork and stucco	Allow to clean any areas of carbon build up or stubborn stains using the Stonehealth TORC cleaning system.
	Defective bricks and stucco	Carry out a survey to all masonry on the Gage Street elevation, to include a hammer test to all stucco to the ground floor cornice, allow to mark- up drawings and provide a written report outlining defect sizes and locations.
	Defective bricks	Cut out defective bricks and replace with matching bricks, pointed to match existing.
	Defective moulded bricks	Cut out defective moulded bricks and replace with matching bricks, pointed to match existing.
	Defective pointing	Rake out defective pointing to yellow stock brickwork and repoint using a tinted sand and cement mortar to match existing.
	Defective pointing to window arches	Carefully rake out defective pointing to window arches and repoint using gauged lime mortar - provisionnally allow 2no. arches.
	Crack to brickwork	Investigation required
	Crack to brickwork, area of single skin brickwork not fully tied into the existing, brick coursing does not match	Investigation required
	Stained lightwell walls	Paintwork to be stripped and renewed.

Key Plan



Key	
	Repairs to damaged brickwork
	Granite cleaning and repointing
	Specialist brick cleaning and repointing
	Paint removal + stucco render repairs and redecoration

Notes

1	Finishes to all external facades (incl. painted masonry, stucco and metalworks) to be renewed
2	All existing rainwater goods to be renewed in cast iron and redundant fittings to be removed
3	All existing windows to be repaired as necessary and redecorated
4	All grilles and vents to be renewed
5	Stucco redecorations: colour to match Portland stone of neighbouring buildings. Exact colour to be confirmed on site.

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A5	11.08.17	STAGE 3 SUBMISSION / LM	AML
A6	21.08.17	PLANNING: Revised drawings following Camden feedback / LM	LM

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Project title ITALIAN HOSPITAL Drawing title DETAILS: PROPOSED ELEVATIONS South-East Elevations

South-East El	levations	
Scale	Status	Revision
1: 100 @A1 1: 200 @A3	APPROVAL	A6
Drawing number		

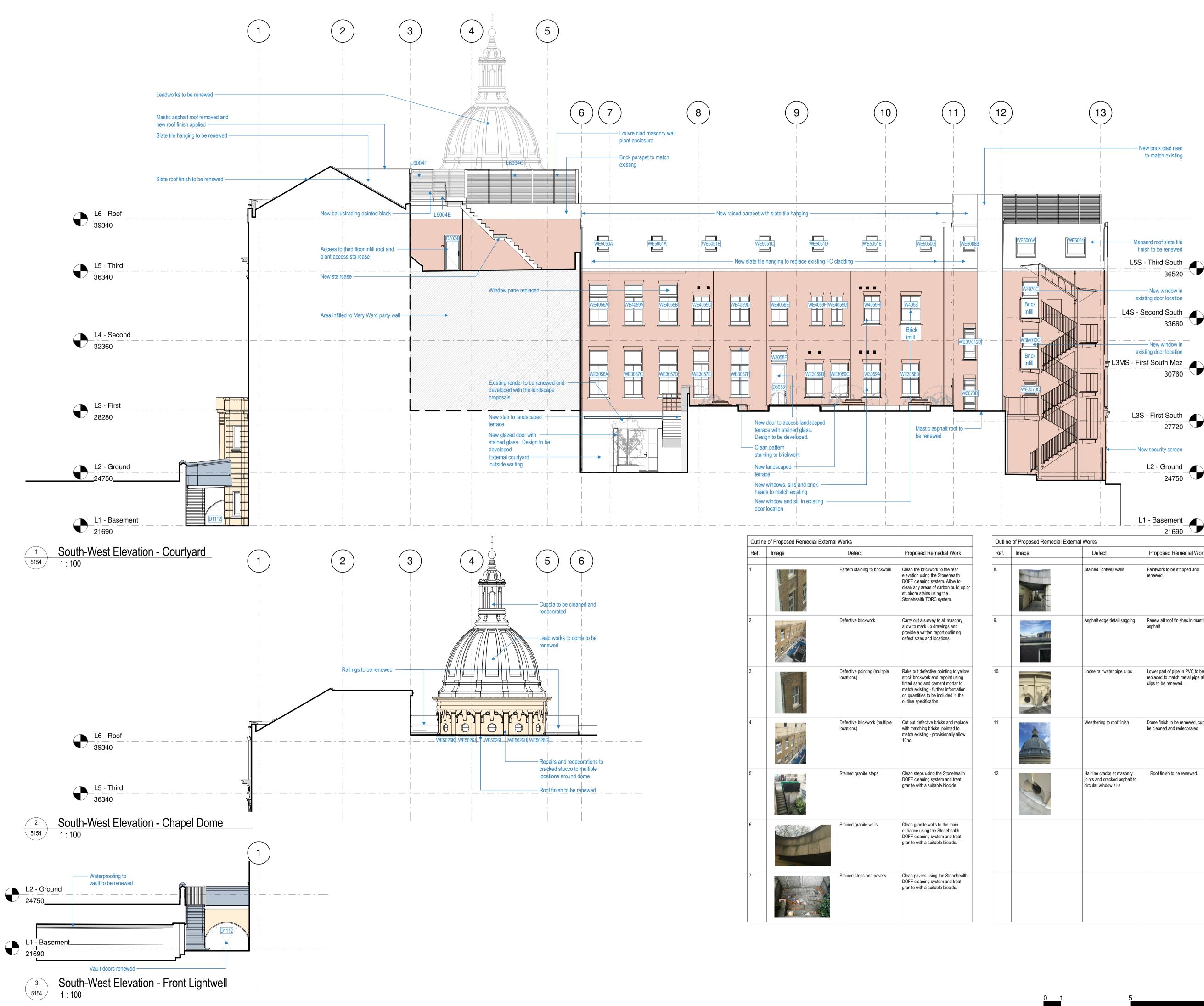


L1 - Basement 21690

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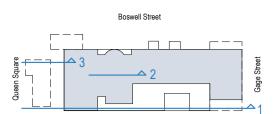
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Outline	of Proposed Remedial External	Works		-	Outline	e of Proposed Remedial Ext	ernal Works	
Ref.	Image	Defect	Proposed Remedial Work	_	Ref.	Image	Defect	Proposed Remedial Work
1.		Pattern staining to brickwork	Clean the brickwork to the rear elevation using the Stonehealth DOFF cleaning system. Allow to clean any areas of carbon build up or stubborn stains using the Stonehealth TORC system.		8.		Stained lightwell walls	Paintwork to be stripped and renewed.
2.		Defective brickwork	Carry out a survey to all masonry, allow to mark up drawings and provide a written report outlining defect sizes and locations.	-	9.		Asphalt edge detail sagging	Renew all roof finishes in mastic asphalt
3.	H	Defective pointing (multiple locations)	Rake out defective pointing to yellow stock brickwork and repoint using tinted sand and cement mortar to match existing - further information on quantities to be included in the outline specification.		10.		Loose rainwater pipe clips	Lower part of pipe in PVC to be replaced to match metal pipe above, clips to be renewed.
4.		Defective brickwork (multiple locations)	Cut out defective bricks and replace with matching bricks, pointed to match existing - provisionally allow 10no.		11.		Weathering to roof finish	Dome finish to be renewed, cupola to be cleaned and redecorated
5.		Stained granite steps	Clean steps using the Stonehealth DOFF cleaning system and treat granite with a suitable biocide.		12.		Hairline cracks at masonry joints and cracked asphalt to circular window sills	Roof finish to be renewed.
6.		Stained granite walls	Clean granite walls to the main entrance using the Stonehealth DOFF cleaning system and treat granite with a suitable biocide.					
7.		Stained steps and pavers	Clean pavers using the Stonehealth DOFF cleaning system and treat granite with a suitable biocide.					





Key	
	Repairs to damaged brickwork
	Granite cleaning and repointing
	Specialist brick cleaning and repointing
	Paint removal + stucco render repairs and redecoration

Notes

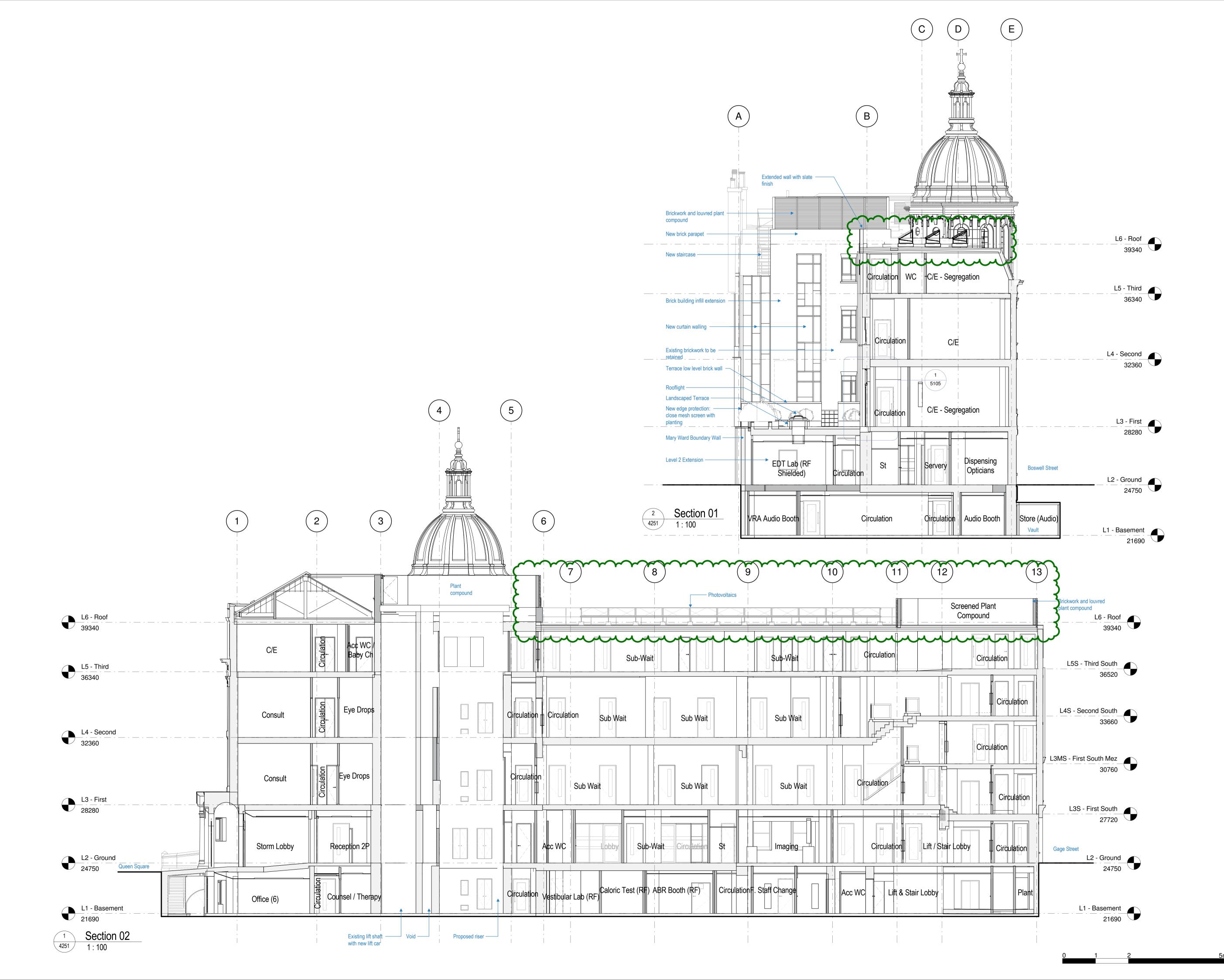
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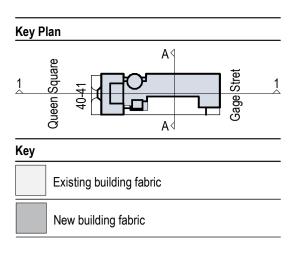
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	50.05.17	CL	
A2 A1	06.04.17	Pre-planning application to Camden / CL Pre-planning application /	LM
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A5	11.08.17	STAGE 3 SUBMISSION / LM	AML
A6	21.08.17	PLANNING: Revised drawings following Camden feedback / LM	LM

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A1	30.03.17	Pre-planning application / CL	LM
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Drawing title		
PROPOSED Planning - S	D SECTIONS Section 1 & 2	
Scale	Status	Revision
1: 50 @A1 1: 100 @A3	APPROVAL	A6
Drawing numbe	r	
1615-ST-0	Q1-ZZ-DR-A	-4251