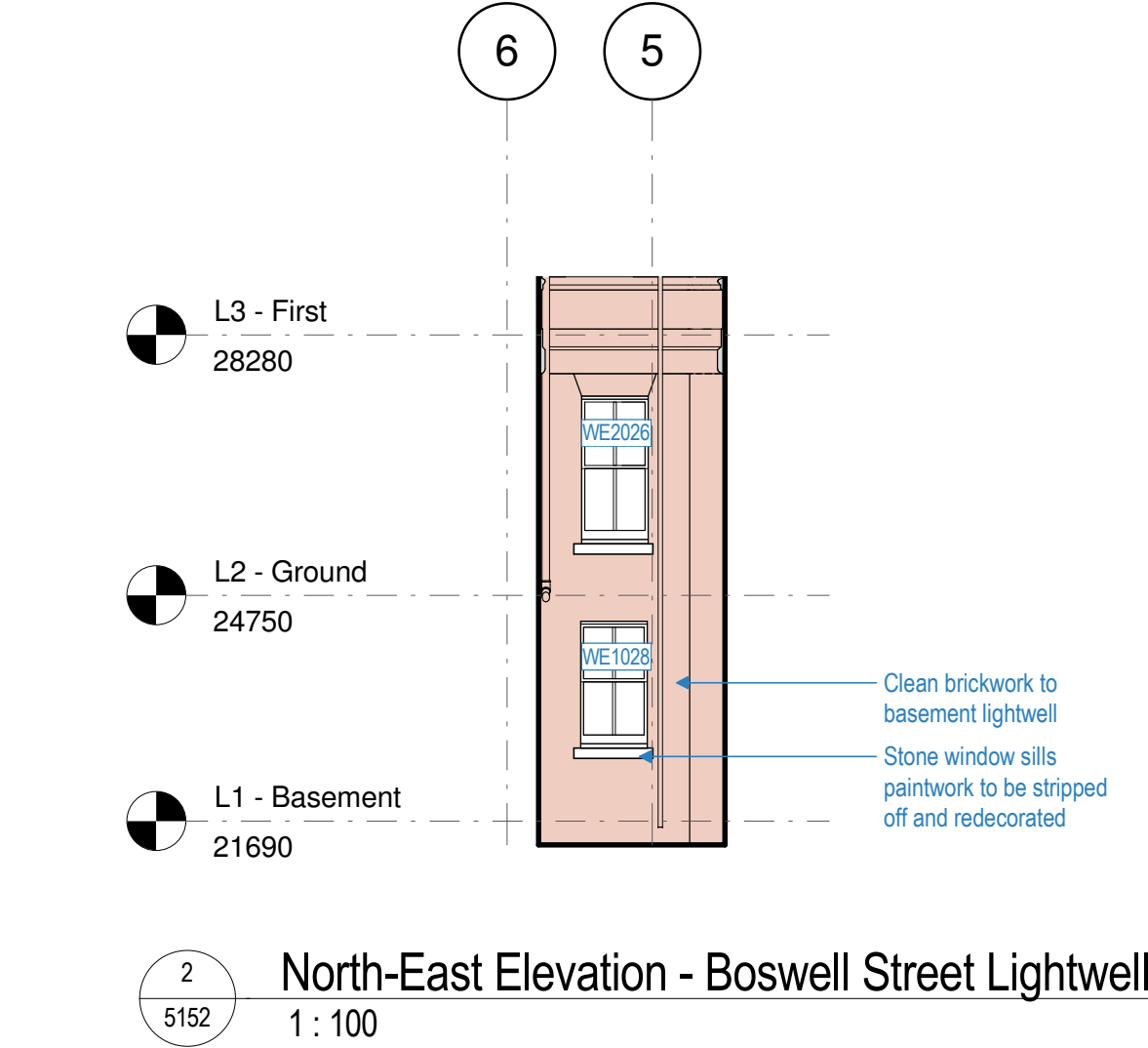
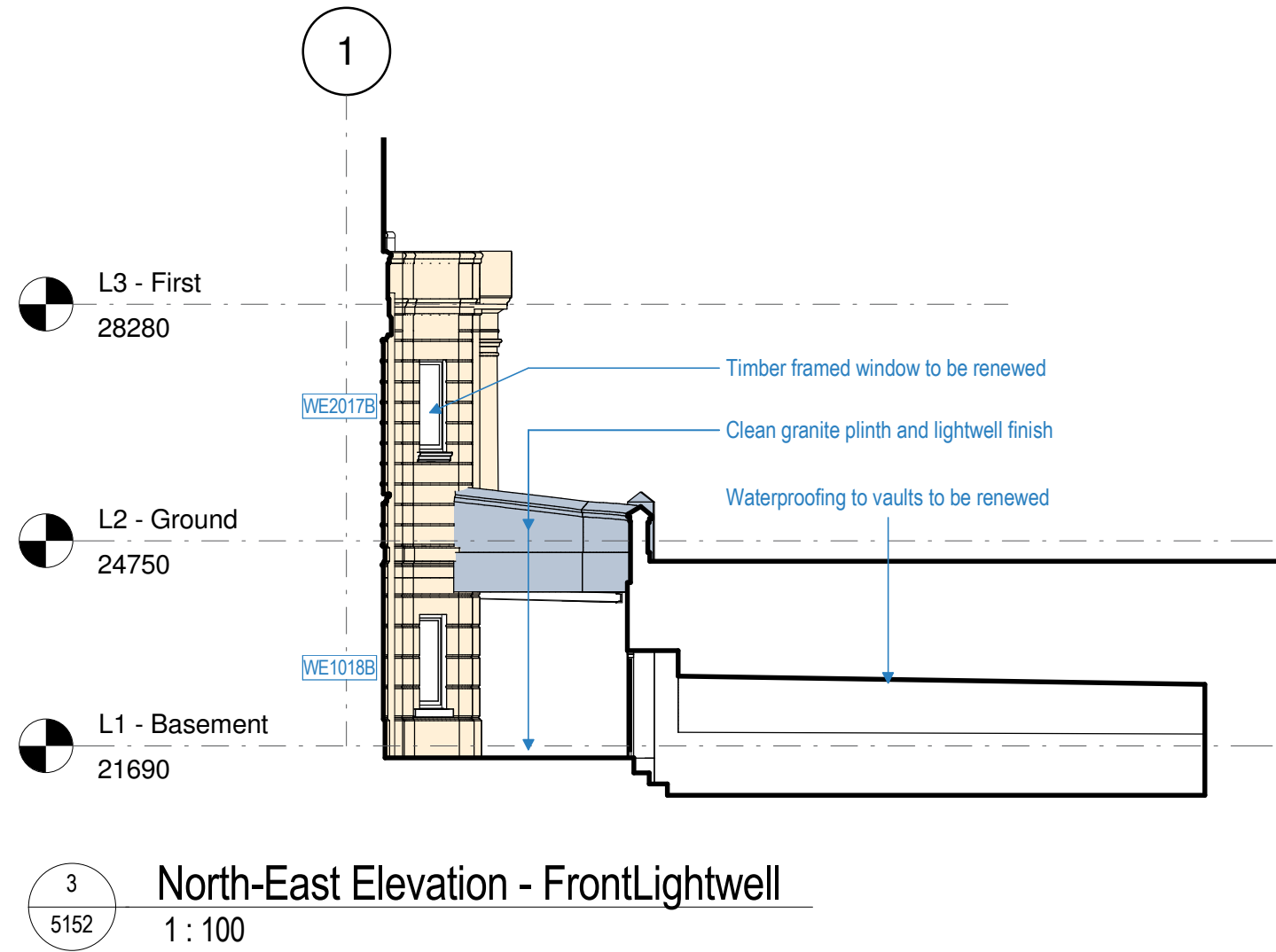


Outline of Proposed Remedial External Works			
Ref.	Image	Defect	Proposed Remedial Work
1.		Stained brickwork and stucco	Clean the brickwork and stucco to the first, second and third floor using the Stonehealth DOFF cleaning system.
2.		Pattern staining to brickwork (multiple locations)	Clean the brickwork and stucco using the Stonehealth DOFF cleaning system. Allow to clean any areas of carbon build up or stubborn stains using the Stonehealth TORC cleaning system.
3.		Defective brickwork and stucco	Carry out a survey to all masonry to the Boswell Street elevation, to include a hammer test to all stucco. Allow to mark up drawings and provide a written report outlining defect sizes and locations.
4.		Defective stucco render	Cut back isolated areas of defective stucco, prepare background truth area clean, slightly dampen existing surfaces and apply new stucco in three coats aligning flush with adjoining surfaces.
5.		Stained granite wall, open masonry joints	Clean granite wall to main entrance using the Stonehealth DOFF cleaning system. Treat granite with a suitable biocide. Rake out all pointing to both sides and top of granite wall and re-point using tinted lime mortar.
6.		Pattern staining to brickwork in lightwell	Clean walls using the Stonehealth DOFF cleaning system.
7.		Replaced brickwork to party wall, uneven surface and movement	Allow for further investigation by structural engineer.

Outline of Proposed Remedial External Works			
Ref.	Image	Defect	Proposed Remedial Work
8.		Leaning / unstable chimney pot	As item 7 below. Allow for pot to be held in place following investigation works.
9.		Vegetal growth to flat roof	Remove vegetal growth and treat with suitable biocide. Replace roof finish.
10.		Defective slate copings to inside edge of granite wall to lightwells	Remove and replace defective slate copings.
11.		Defective moulded bricks (multiple locations)	Cut out defective bricks and replace with matching bricks, pointed to match existing - provisionally allow 40no.
12.		Defective bricks (multiple locations)	Cut out defective bricks and replace with matching bricks, pointed to match existing - provisionally allow 75no.
13.		Cracked stucco	Cut out all cracks to the stucco render. Brush area clean, slightly dampen existing surfaces and apply new stucco in three coats aligning flush with adjoining surfaces. Include for continuing joint lines as necessary to match existing detailing.
14.		Cracks and flaking paintwork to ground floor windows sills	Paintwork to be stripped off and redecorated.



Outline of Proposed Remedial External Works			
Ref.	Image	Defect	Proposed Remedial Work
15.		Defective pointing (multiple locations)	Rake out defective pointing to brickwork and re-point using tinted lime mortar to match existing.
16.		Defective pointing to window arches	Carefully rake out defective pointing to window arches and re-point using gauged lime mortar - provisionally allow 6no. arches. Allow to carry out repairs by insertion of 400mm Hellix Cementies - provisionally allow 3no. arches.



Outline of Proposed Remedial External Works			
Ref.	Image	Defect	Proposed Remedial Work
17.		Chipped uneven paintwork to railings	Paintworks to be stripped off, railings rubbers down to smooth finish and redecorated.

**sonnemanntoon**  
architects

Quality House  
6-9 Quality Court  
Chancery Lane  
London WC2A 1HP  
United Kingdom

tel: +44 (0)20 7580 8881  
email: info@st-arch.co.uk  
web: www.st-arch.co.uk

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Project title  
**ITALIAN HOSPITAL**

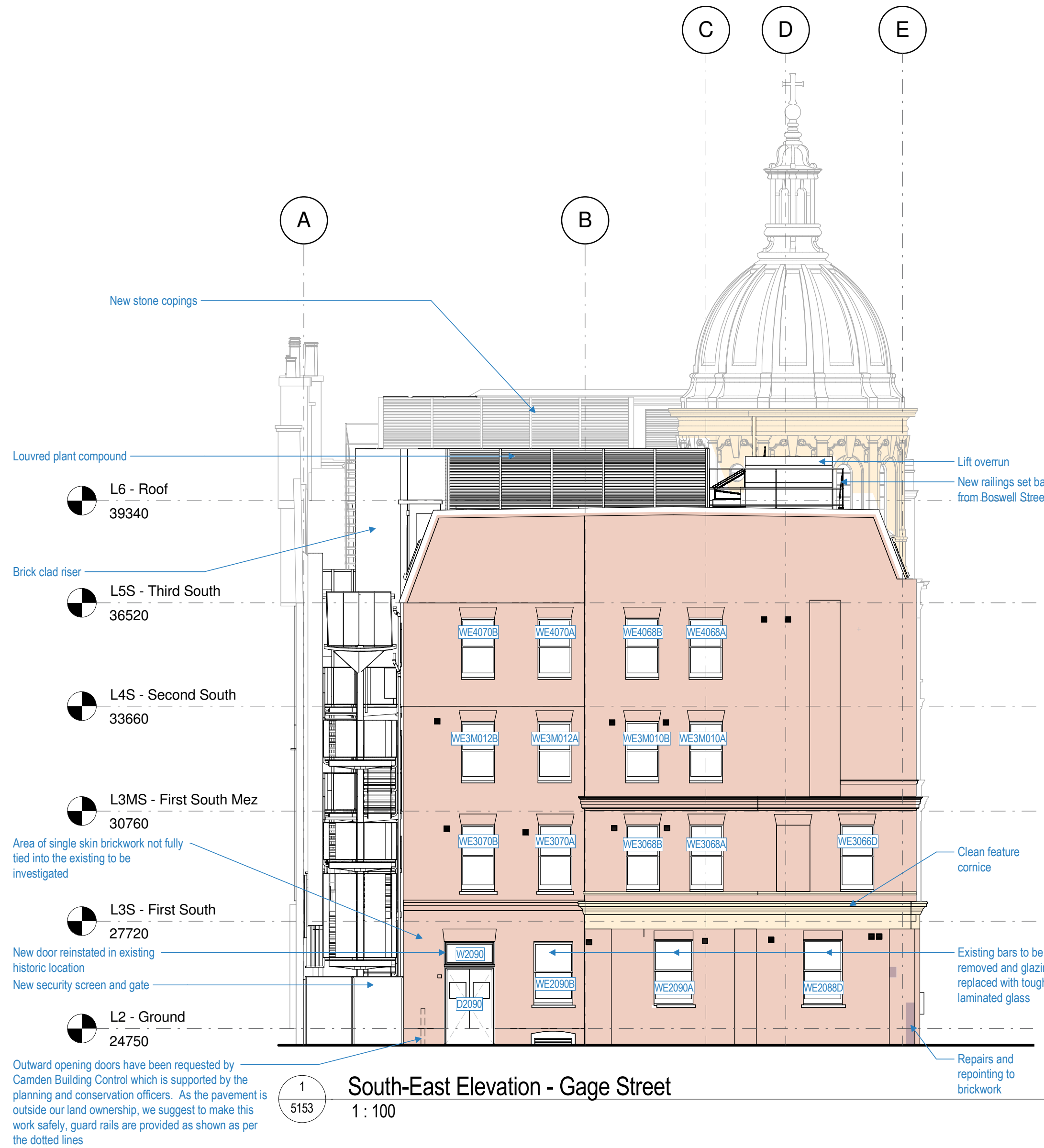
Drawing title  
**DETAILS: PROPOSED ELEVATIONS**  
**North-East Elevations**

Scale Status Revision  
1: 100 @A1 APPROVAL A6  
1: 200 @A3  
Drawing number

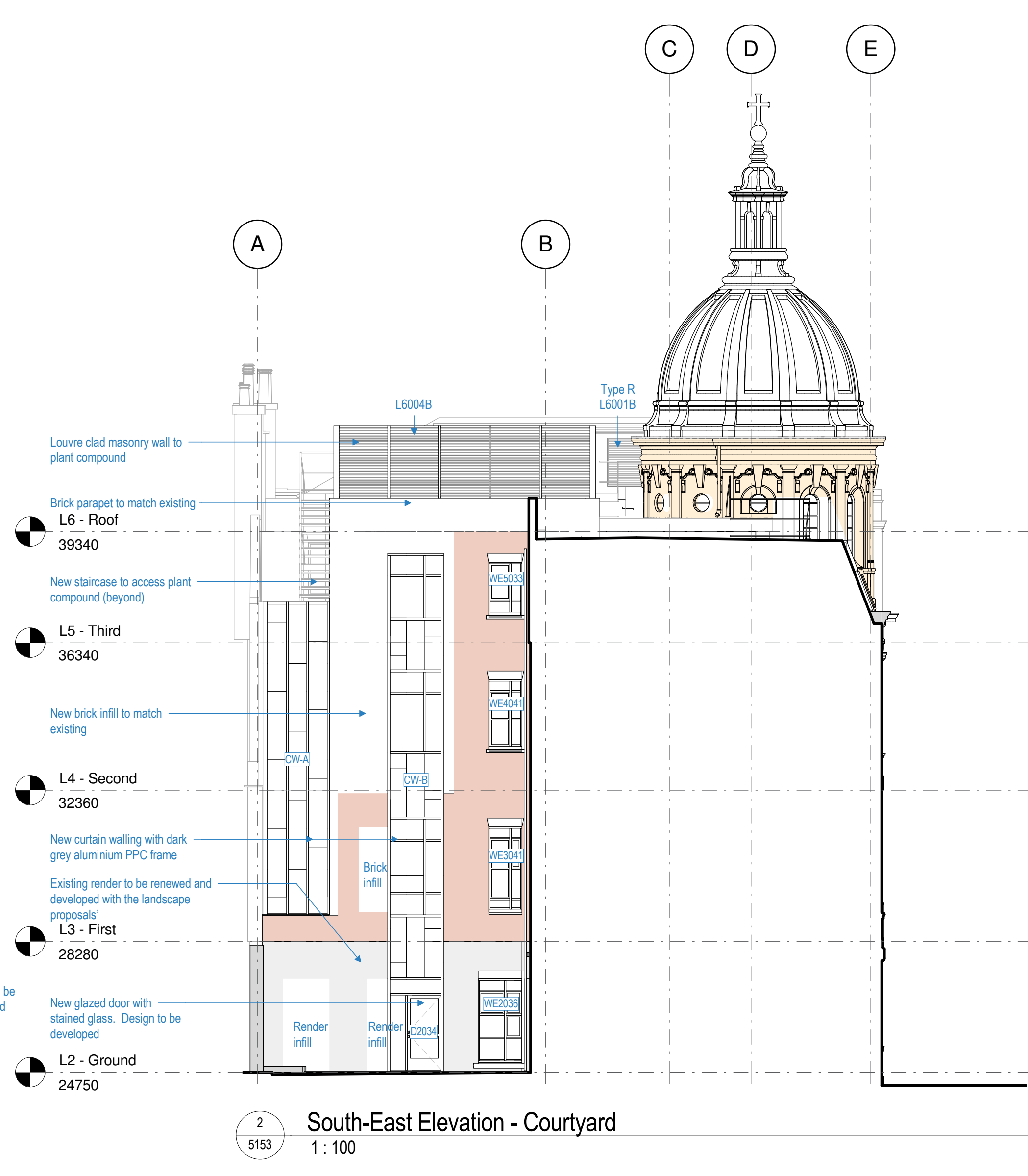
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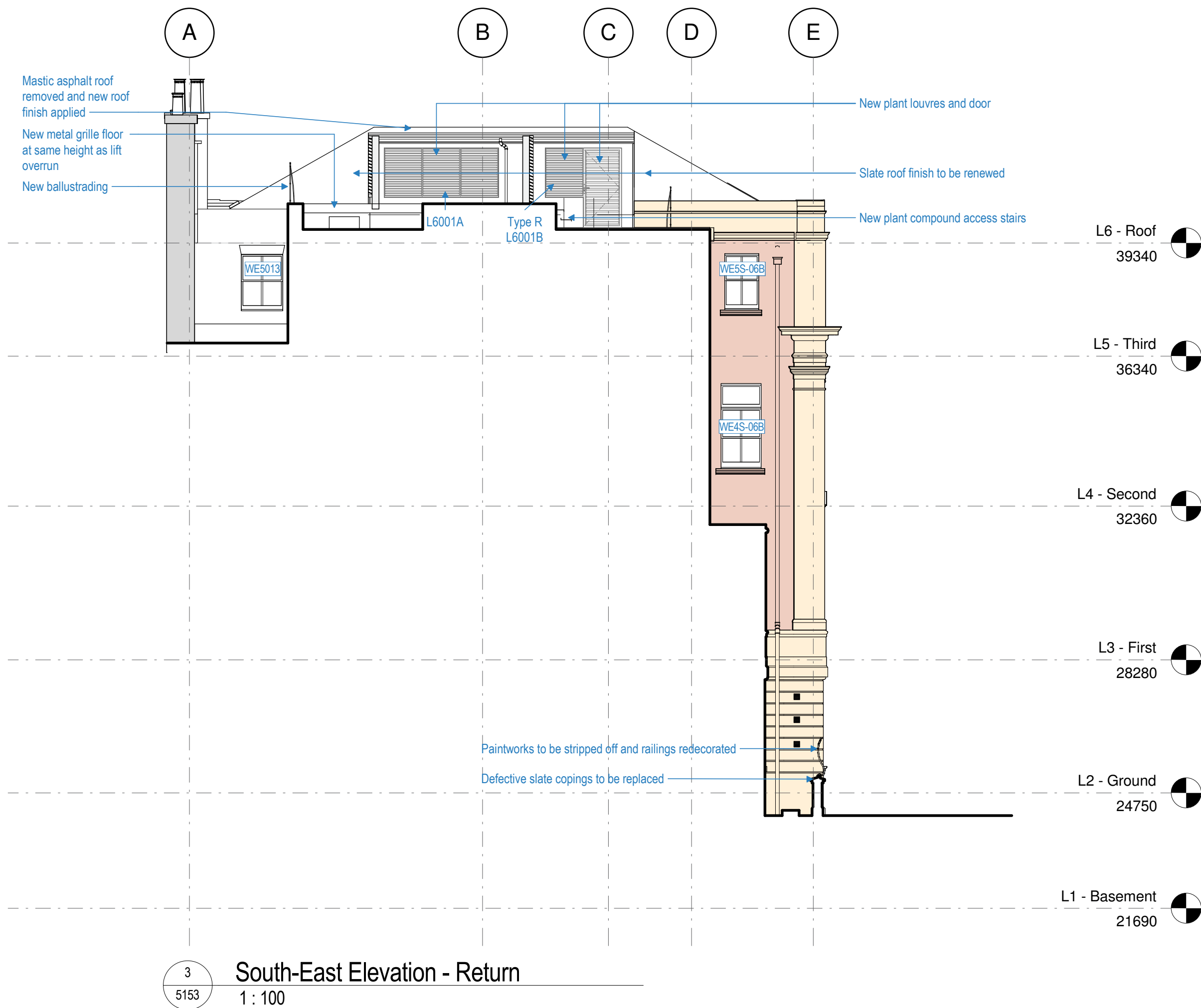




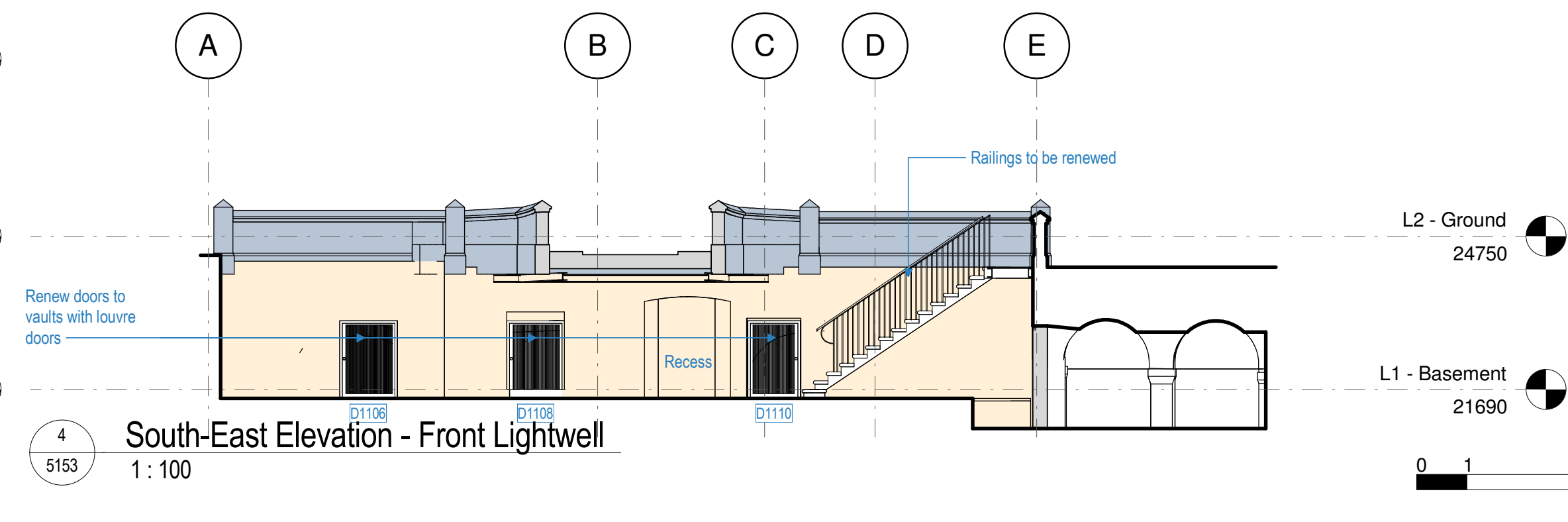
South-East Elevation - Gage Street  
1 : 100



South-East Elevation - Courtyard  
1 : 100



South-East Elevation - Return  
1 : 100



South-East Elevation - Front Lightwell  
1 : 100

Outline of Proposed Remedial External Works			
Ref.	Image	Defect	Proposed Remedial Work
1.		Stained brickwork and stucco	Clean the brickwork and stucco of the Gage Street elevation using the Stonehealth DOFF cleaning system
2.		Stained brickwork and stucco	Allow to clean any areas of carbon build up or stubborn stains using the Stonehealth TORC cleaning system.
3.		Defective bricks and stucco	Carry out a survey to all masonry on the Gage Street elevation, to include a hammer test to all stucco to the ground floor cornice, allow to mark-up drawings and provide a written report outlining defect sizes and locations.
4.		Defective bricks	Cut out defective bricks and replace with matching bricks, pointed to match existing.
5.		Defective moulded bricks	Cut out defective moulded bricks and replace with matching bricks, pointed to match existing.
6.		Defective pointing	Rake out defective pointing to yellow stock brickwork and repoint using a tinted sand and cement mortar to match existing.
7.		Defective pointing to window arches	Carefully rake out defective pointing to window arches and repoint using gauged lime mortar - provisionally allow 2no. arches.
8.		Crack to brickwork	Investigation required
9.		Crack to brickwork, area of single skin brickwork not fully tied into the existing, brick coursing does not match	Investigation required
10.		Stained lightwell walls	Paintwork to be stripped and renewed.

Key Plan	
Key	
	Repairs to damaged brickwork
	Granite cleaning and repointing
	Specialist brick cleaning and repointing
	Paint removal + stucco render repairs and redecoration
Notes	
1	Finishes to all external facades (incl. painted masonry, stucco and metalworks) to be renewed
2	All existing rainwater goods to be renewed in cast iron and redundant fittings to be removed
3	All existing windows to be repaired as necessary and redecorated
4	All grilles and vents to be renewed
5	Stucco redecorations: colour to match Portland stone of neighbouring buildings. Exact colour to be confirmed on site.

A6	21.08.17	PLANNING: Revised drawings following Camden feedback / LM	LM
A5	11.08.17	STAGE 3 SUBMISSION / LM	AML
A4	10.07.17	PLANNING SUBMISSION / LM	GT
A3	05.07.17	Planning Submission for Client Approval / LM / GV	GT
A2	06.04.17	Pre-planning application to Camden / CL	LM
A1	30.03.17	Pre-planning application / CL	LM

Rev	Date	Details/ Amended by	Sign
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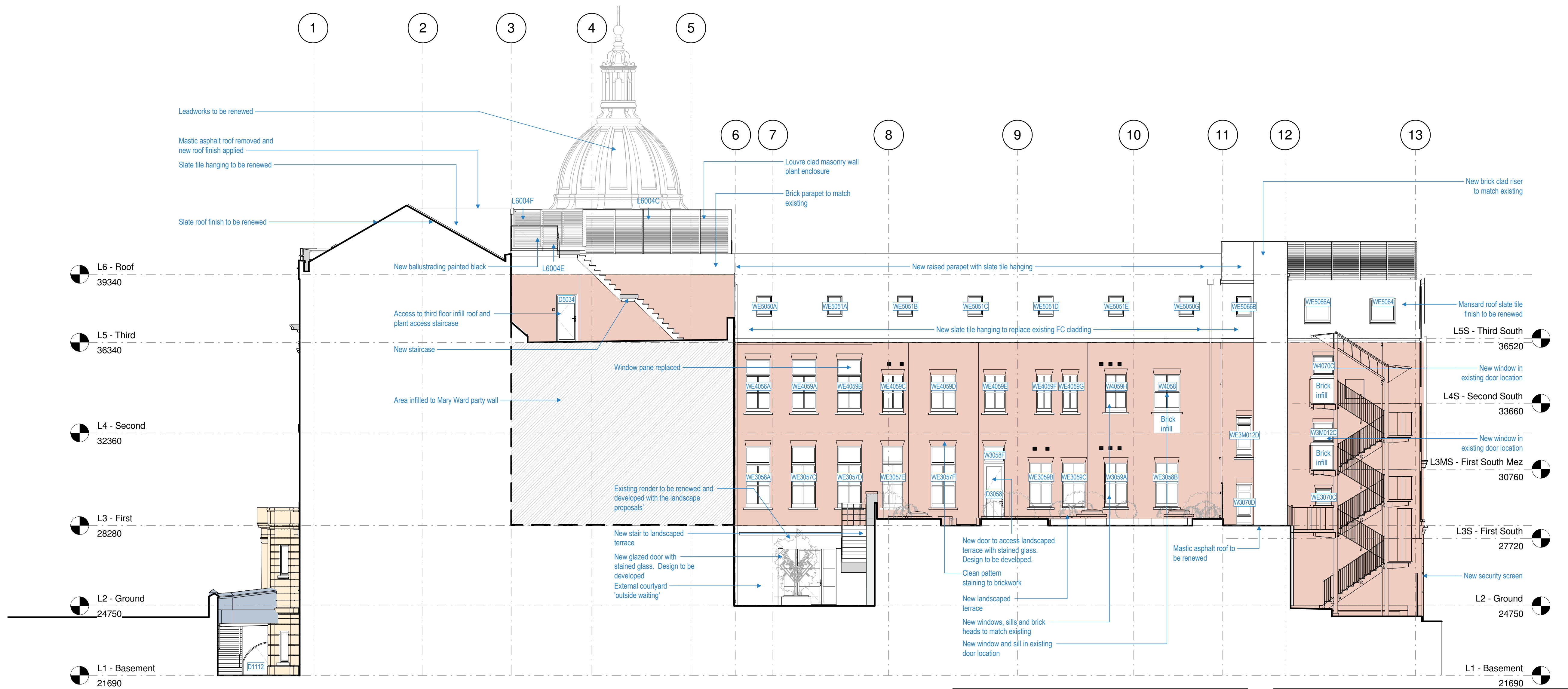
Quality House  
6-9 Quality Court  
Chancery Lane  
London WC2A 1HP  
United Kingdom  
tel: +44 (0)20 7580 8881  
email: info@st-arch.co.uk  
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Project title  
ITALIAN HOSPITAL  
Drawing title  
DETAILS: PROPOSED ELEVATIONS  
South-East Elevations  
Scale Status Revision  
1: 100 @A1 APPROVAL A6  
1: 200 @A3  
Drawing number

1615-ST-Q1-ZZ-DR-A-5153





**Key Plan**

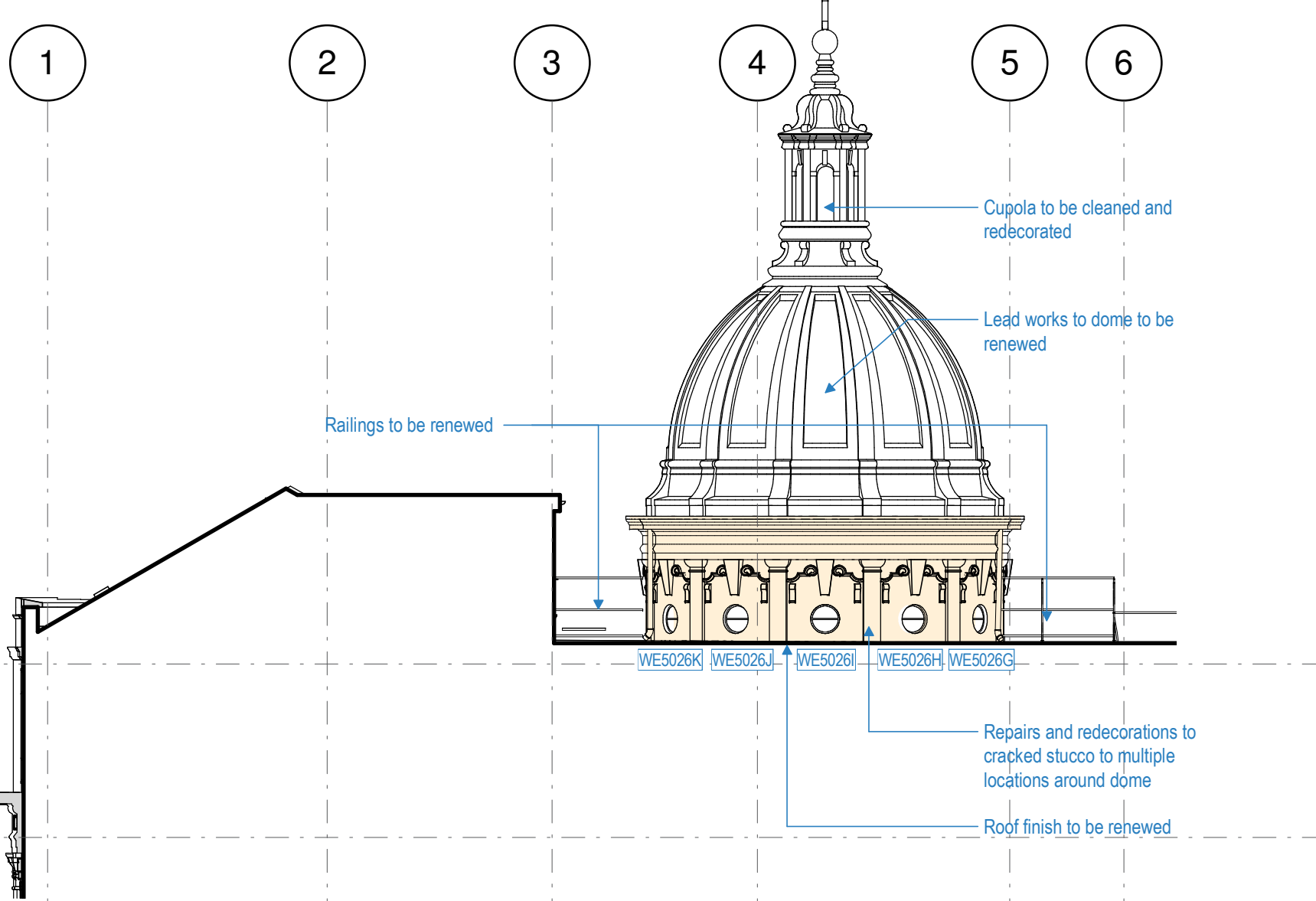
**Key**

- Repairs to damaged brickwork
- Granite cleaning and repointing
- Specialist brick cleaning and repointing
- Paint removal + stucco render repairs and redecoration

**Notes**

- 1 Finishes to all external facades (incl. painted masonry, stucco and metalworks) to be renewed
- 2 All existing rainwater goods to be renewed in cast iron and redundant fittings to be removed
- 3 All existing windows to be repaired as necessary and redecorated
- 4 All grilles and vents to be renewed
- 5 Stucco redecoration: colour to match Portland stone of neighbouring buildings. Exact colour to be confirmed on site.

1 South-West Elevation - Courtyard  
1 : 100



2 South-West Elevation - Chapel Dome  
1 : 100

Outline of Proposed Remedial External Works			
Ref.	Image	Defect	Proposed Remedial Work
1.		Pattern staining to brickwork	Clean the brickwork to the rear elevation using the Stonehealth DOFF cleaning system. Allow to clean any areas of carbon build up or stubborn stains using the Stonehealth TORC system.
2.		Defective brickwork	Carry out a survey to all masonry, allow to mark up drawings and provide a written report outlining defect sizes and locations.
3.		Defective pointing (multiple locations)	Rake out defective pointing to yellow stock brickwork and repoint using tinted sand and cement mortar to match existing - further information on quantities to be included in the outline specification.
4.		Defective brickwork (multiple locations)	Cut out defective bricks and replace with matching bricks, pointed to match existing - provisionally allow 10no.
5.		Stained granite steps	Clean steps using the Stonehealth DOFF cleaning system and treat granite with a suitable bioecide.
6.		Stained granite walls	Clean granite walls to the main entrance using the Stonehealth DOFF cleaning system and treat granite with a suitable bioecide.
7.		Stained steps and pavers	Clean pavers using the Stonehealth DOFF cleaning system and treat granite with a suitable bioecide.

Outline of Proposed Remedial External Works			
Ref.	Image	Defect	Proposed Remedial Work
8.		Stained lightwell walls	Paintwork to be stripped and renewed.
9.		Asphalt edge detail sagging	Renew all roof finishes in mastic asphalt
10.		Loose rainwater pipe clips	Lower part of pipe in PVC to be replaced to match metal pipe above, clips to be renewed.
11.		Weathering to roof finish	Dome finish to be renewed, cupola to be cleaned and redecorated
12.		Hairline cracks at masonry joints and cracked asphalt to circular window sills	Roof finish to be renewed.

A6	21.08.17	PLANNING: Revised drawings following Camden feedback / LM	LM
A5	11.08.17	STAGE 3 SUBMISSION / LM	AML
A4	10.07.17	PLANNING SUBMISSION / LM	GT
A3	05.07.17	Planning Submission for Client Approval / LM / GV	GT
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Rev	Date	Details/ Amended by	Sign
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**sonnemanntoon**  
architects

Quality House  
6-9 Quality Court  
Chancery Lane  
London WC2A 1HP  
United Kingdom

tel: +44 (0)20 7580 8881  
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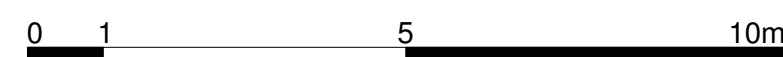
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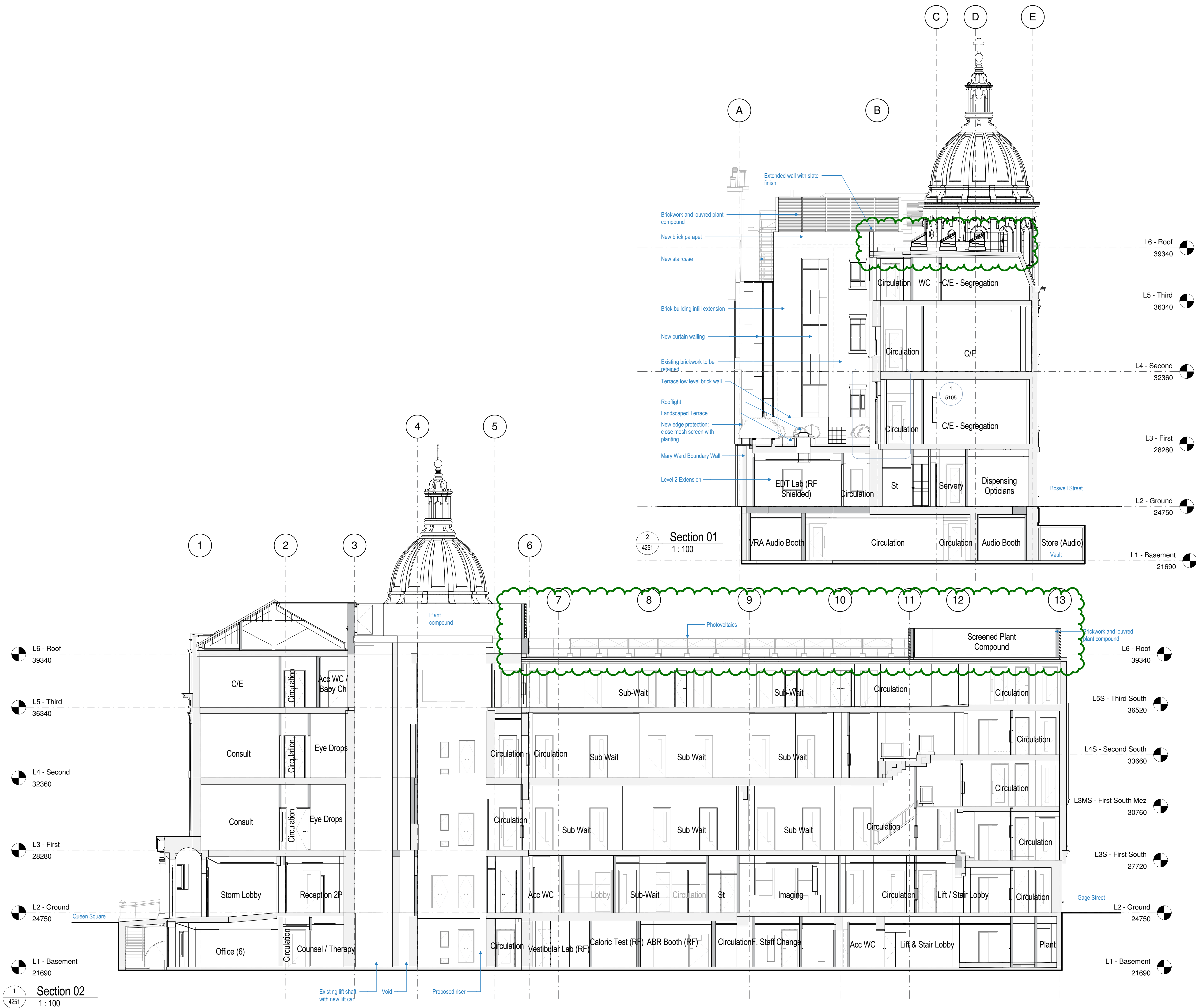
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**DETAILS: PROPOSED ELEVATIONS  
South-West Elevations**

Scale Status Revision  
1: 100 @A1 APPROVAL A6  
1: 200 @A3

Drawing number  
**1615-ST-Q1-ZZ-DR-A-5154**







A6	21.08.17	PLANNING: Revised drawings following Camden feedback / LM	LM
A5	11.08.17	STAGE 3 SUBMISSION / LM	AM
A4	10.07.17	PLANNING SUBMISSION / LM	GT
A3	05.07.17	Planning Submission for Client Approval / LM / GV	GT
A2	06.04.17	Pre-planning application to Camden / CL	LM
A1	30.03.17	Pre-planning application / CL	LM

Rev	Date	Details/ Amended by	Sign
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