



KEY PLAN
NOTE:

Existing stonework joints to be retained in masonry. All new stonework to be laid in the same pattern as the existing stonework. All new stonework to be laid in the same pattern as the existing stonework. All new stonework to be laid in the same pattern as the existing stonework.

FOR CONSTRUCTION

REVISION	DRN	CHD	DATE
1	1	1	15/06/2017
2	2	2	15/06/2017
3	3	3	15/06/2017

A&Q
PARTNERSHIP

CLIENT
MOUNT ANVIL LTD



PROJECT
KIDDERPORE AVENUE

DRAWING
Kidderpore Hall
South Elevation As Proposed

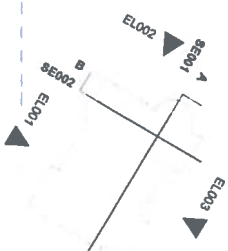
SCALE 1:50 @ A1 DATE 15/06/2017

DRAWING NO. 15 230

9000-DRG-02KH-EL001

A&Q PARTNERSHIP (LONDON) LTD
THE LUTHERBURGH 24 NORTH SQUARE, LONDON N1 1AW
Tel: 020 7313 3241 Fax: 020 7313 3242 Email: london@aqp.co.uk

ARCHITECTURAL DESIGN MASTERPLANNING INTERIORS



KEY PLAN
NOTE:

Existing stonework joints to be retained in masonry. All new stonework to be laid in the same pattern as the existing stonework. All new stonework to be laid in the same pattern as the existing stonework. All new stonework to be laid in the same pattern as the existing stonework.

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A&Q
PARTNERSHIP

CLIENT
MOUNT ANVIL LTD



PROJECT
KIDDERPORE AVENUE

DRAWING
Kidderpore Hall
South Elevation As Proposed

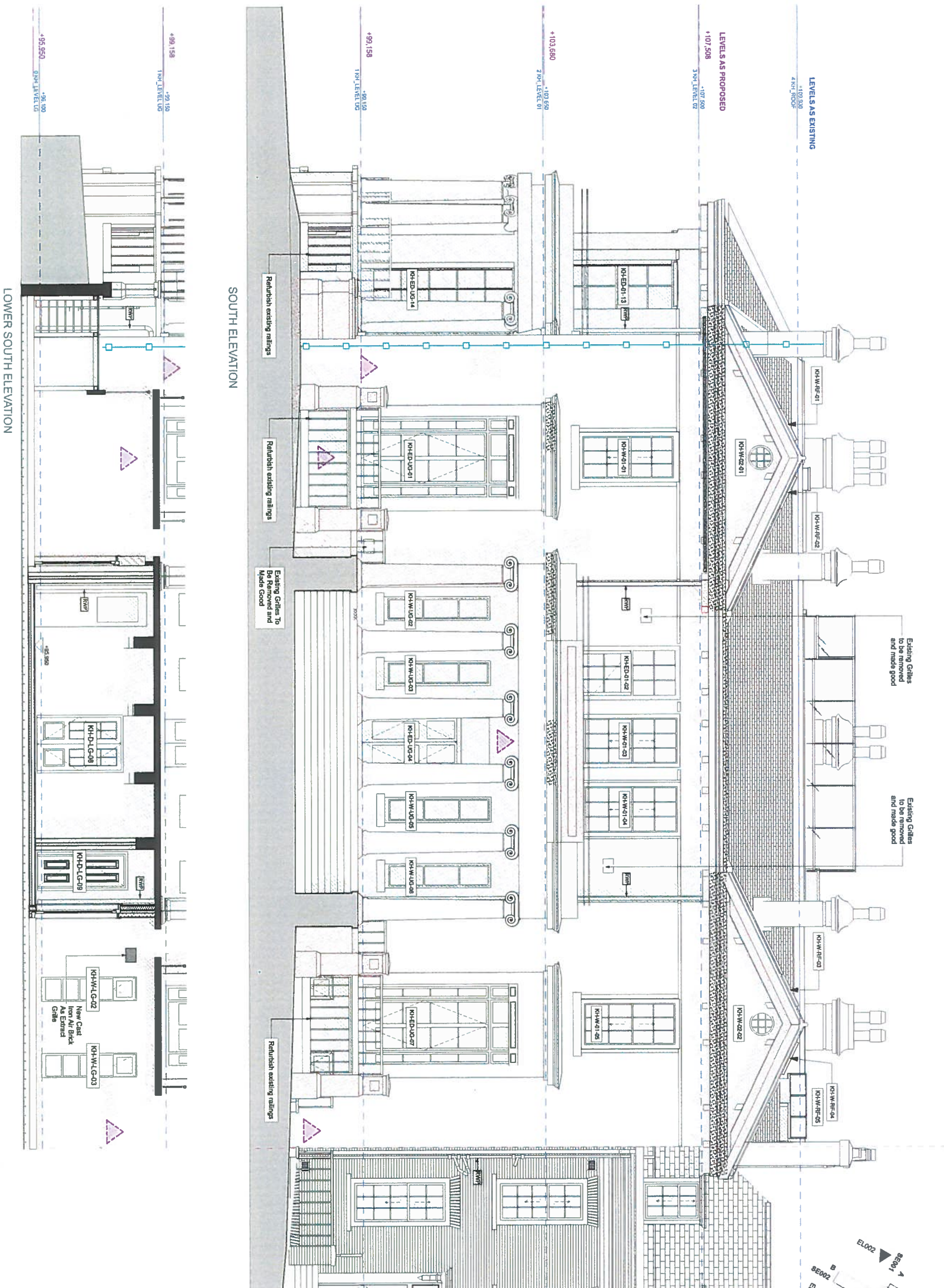
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Tel: 020 7313 3241 Fax: 020 7313 3242 Email: london@aqp.co.uk

ARCHITECTURAL DESIGN MASTERPLANNING INTERIORS



SUBMISSION GUIDANCE NOTES

- REPAIR WORK KEY**
- Stonework - Repair
 - Brickwork - Repair
 - Repointing - Rake out and repoint to match existing
 - Stained area to be cleaned
 - Any type of filling to be removed and brickwork made good
 - Render - Repair
 - Brickwork - New to match existing
 - Structural Crack to be repaired to Structural Engineer's specification
 - Cornice - Repair
 - Decorative Brickwork to be renewed to match existing brickwork
 - Lightning Conductor to be removed and brickwork made good
 - Note All cables to be removed and brickwork made good

EXTERNAL SERVICES				INTERNAL SERVICES																			
	RAINWATER GOODS	VENTS	FLUES	EXTRACTS	OTHER	VENTS	FLUES	EXTRACTS	CABLING	HEATING	SERVICE CUPBOARDS	RISERS	OTHER										
DRAWINGS	9000-DRG-03KH-LG010 9000-DRG-03KH-UG010 9000-DRG-03KH-01010 9000-DRG-03KH-02010 9000-DRG-03KH-RF010 9000-DRG-04KH-SE001 9000-DRG-04KH-SE002 9000-DRG-02KH-EL001 9000-DRG-02KH-EL002 9000-DRG-02KH-EL003 9000-DRG-00GN-AL040	Rainwater pipe and gutters positions retained. RWP’s renewed in black painted cast iron to match existing (where original) and gutters. (See submission guide. RWP’s highlighted on elevations and plans).	Existing vents removed, including where through wall heater units had previously been inserted. Remove large vents and make good wall in materials to match. New cast iron vent for mechanical extract, as shown. (See submission guide. New CI Air Brick shown on EL001).	-	9100-DRG-02KH-EL001 9100-DRG-02KH-EL002 9100-DRG-02KH-EL003 9100-DRG-00GN-AL040 9100-DRG-00GN-DE022	New black painted Cast Iron Air Bricks added to serve mechanical extract system. (See annotated façade in submission guide. New CI Air Brick shown on EL001).	9000-DRG-03KH-LG010 9000-DRG-03KH-UG010 9000-DRG-03KH-01010 9000-DRG-03KH-02010 9000-DRG-03KH-RF010 9000-DRG-00GN-DE023	Redundant external pipework removed. All new services for data, satellite, TV, etc, brought in below ground in ducts. SVP’s are terminated in an inline slate vent not visible above the pitch line. (See internal services on submission guide. SVP inline vents highlighted on roof plan. New service intakes shown on plans. False wall to run services to upper apartment, thereafter distributed within floors and ceilings).	9000-DRG-03KH-LG010 9000-DRG-03KH-UG010 9000-DRG-03KH-01010 9000-DRG-03KH-02010 9000-DRG-04KH-SE001 9000-DRG-04KH-SE002	Mechanical ventilation ductwork to run above new false ceilings behind new wall linings, or from floor below or above as appropriate. (See submission guide. See locations of Fan Coil Units in false ceilings of dressing rooms. Remainder floor mounted units in Living spaces, within new joinery items.).	-	9000-DRG-03KH-LG010 9000-DRG-03KH-UG010 9000-DRG-03KH-01010 9000-DRG-03KH-02010 9000-DRG-04KH-SE001 9000-DRG-04KH-SE002	Extract grilles in new false ceilings or false wall linings to sanitary accommodation, and utility areas, ducted to mechanical ventilation. (See submission guide. See false walls and boxing in sanitary areas, shown on plans).	9000-DRG-23KH-LG010 9000-DRG-23KH-UG010 9000-DRG-23KH-01010 9000-DRG-23KH-02010 9000-DRG-04KH-SE001 9000-DRG-04KH-SE001	Where new wall linings and false ceilings are proposed, cables to run behind finishes. Where no new linings etc, cables to be fed to ceilings from above, or chased into existing walls for power and lighting and made good. (See submission guide. RCP’s show key socket and wall lights where chasing will be required in existing finishes if no flase wall available).	9000-DRG-03KH-LG010 9000-DRG-03KH-UG010 9000-DRG-03KH-01010 9000-DRG-03KH-02010	Underfloor heating in new lower ground concrete floor. Underfloor heating inserted between existing joists to ground floor and first floor principal rooms. Modern panel radiators to ground floor bay living room, segmental ‘victorian’ radiators elsewhere, (see attached). (Radiators shown on floor plans.)	9000-DRG-03KH-LG010	Service intake and plant in new service cupboards in lower ground floor. (See submission guide showing service intakes highlighted and cupboards marked.).	9000-DRG-03KH-LG010 9000-DRG-03KH-UG010 9000-DRG-03KH-01010 9000-DRG-03KH-02010	Services rise from intake cupboards to serve all floors in combination of new risers through existing floors and behind wall boxing. (See submission guide. Ductwork and False Walls highlighted on plans. Once within apartments distribution in tradition form around ceilings and floors.).	9000-DRG-03KH-LG010 9000-DRG-03KH-UG010 9000-DRG-03KH-01010 9000-DRG-03KH-02010	All SVP’s and waste pipes are boxed in, behind new linings where possible. Builders work holes formed in existing floors for vertical service runs (SVP’s, Risers, etc) . (See submission guide. SVP’s that have to cut through the existing cornice highlighted on the plans).



KEY PLAN

NOTE

1. The building is to be repaired and restored to its original condition. The client is responsible for the accuracy of the information provided. The client is responsible for the accuracy of the information provided. The client is responsible for the accuracy of the information provided.

FOR CONSTRUCTION

REVISION	DATE	BY	DATE
1	15/03/2017	MC	15/03/2017
2	15/03/2017	MC	15/03/2017
3	15/03/2017	MC	15/03/2017

REVIS

+ REVISED DIMENSIONS

A&Q
PARTNERSHIP

CLIENT
MOUNT ANVIL LTD



PROJECT
KIDDERPORE AVENUE

DRAWING
Kidderpore Hall
West Elevation As Proposed

SCALE 1:50 @ A1 DATE 15/03/2017

DRAWING No 15 230

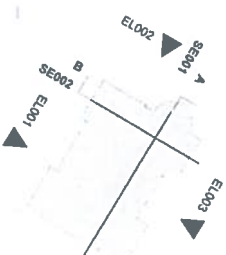
9000-DRG-02KH-EL002

A&Q PARTNERSHIP (LONDON) LTD

THE LUX BUILDING 24 MORTON SQUARE, LONDON, N1 1RU

14. 429 7513 2244 Fax: 429 7513 2442 Email: london@a&q.co.uk

ARCHITECTURAL DESIGN MAINTENANCE INTERIORS



KEY PLAN

NOTE

1. The building is to be repaired and restored to its original condition. The client is responsible for the accuracy of the information provided. The client is responsible for the accuracy of the information provided. The client is responsible for the accuracy of the information provided.

FOR CONSTRUCTION

REVISION	DATE	BY	DATE
1	15/03/2017	MC	15/03/2017
2	15/03/2017	MC	15/03/2017
3	15/03/2017	MC	15/03/2017

REVIS

+ REVISED DIMENSIONS

A&Q
PARTNERSHIP

CLIENT
MOUNT ANVIL LTD



PROJECT
KIDDERPORE AVENUE

DRAWING
Kidderpore Hall
West Elevation As Proposed

SCALE 1:50 @ A1 DATE 15/03/2017

DRAWING No 15 230

9000-DRG-02KH-EL002

A&Q PARTNERSHIP (LONDON) LTD

THE LUX BUILDING 24 MORTON SQUARE, LONDON, N1 1RU

14. 429 7513 2244 Fax: 429 7513 2442 Email: london@a&q.co.uk

ARCHITECTURAL DESIGN MAINTENANCE INTERIORS

LEVELS AS EXISTING

4th FLOOR

+107.300

LEVELS AS PROPOSED

+107.200

3rd FLOOR

+107.200

2nd FLOOR

+103.650

+103.650

1st FLOOR

+99.150

+99.150

0th FLOOR

+99.150

+99.150

PROPOSED WEST ELEVATION

PROPOSED LOWER WEST ELEVATION

REPAIR WORK KEY	
	Stonework - Repair
	Brickwork - Repair
	Repointing - Rake out and repoint to match existing
	Stained area to be cleaned
	Any type of fitting to be removed and brickwork made good
	Render - Repair
	Brickwork - New to match existing
	Structural Crack to be repaired to Structural Engineer's specification
	Cornice - Repair
	Decorative Brickwork to be removed to match existing brickwork
	Lighting Conduits to be removed and brickwork made good
	Notes: All cables to be removed and brickwork made good



NOTE

General Notes:

1. All types noted below are based on the British Standard, BS 5400. Similar and approved products will be considered by the client. Any alternative products must be approved by the client.
2. All types noted below are to be used in conjunction with all relevant BS 5400 and BS 5400:2000 drawings.
3. All types noted below are to be used in all wet areas. All types noted below are to be used in all wet areas. All types noted below are to be used in all wet areas.
4. All types noted below are to be used in all wet areas. All types noted below are to be used in all wet areas. All types noted below are to be used in all wet areas.
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7. All types noted below are to be used in all wet areas. All types noted below are to be used in all wet areas. All types noted below are to be used in all wet areas.

FOR CONSTRUCTION

REVISION	DATE	BY	CHKD	DATE
1	15/05/2017	15/05/2017	15/05/2017	15/05/2017

CLUB'S
SVP'S
SERVICE ENTRY
& CORRIDORS &
FALSE WALLS

A&Q
PARTNERSHIP

CLIENT
MOUNT ANVIL LTD



PROJECT
KIDDERPORE AVENUE

DRAWING
Level GD Proposed GA Plan

SCALE	DATE
1:50, 1:55 @ A1	January 2017
DRAWING No	15 220
DRAWN BY	GC
REV	REV
9000-DRG-03KH-G010	CI
A&Q PARTNERSHIP (LONDON) LTD	
THE LUX BUILDING, 24 HORTON SQUARE, LONDON, N1 6 NU	
TEL: 020 7813 2444 FAX: 020 7113 2445 EMAIL: info@aandq.co.uk	
ARCHITECTURE DESIGN MATERIALS INTERIORS	

KEY PLAN

FOR PLANNING

[illegible]

MOUNT ANVIL LTD



KIDDERPORE AVENUE

SVP Penetrations

SCALE	1:50, 1:10 @ A3	DATE
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DRAWING NO. _____ DRAWN BY _____

9000-DRG-00KH-DE009 A

Tel: 020 7613 2344 Fax: 020 7613 2642 Email: london@agp.co.uk



SVP Penetrations

SCALE 1:50, 1:10 @ A3 DATE

DRAWING NO. _____ DRAWN BY _____

9000-DRG-00KH-DE009 A

Tel: 020 7613 2344 Fax: 020 7613 2642 Email: london@agp.co.uk



KEY PLAN
NOTE:

IN LINE TILE VENT

FOR CONSTRUCTION

REVISION	DATE	CHD	DATE
C1	15/01/2017	MD	15/01/2017

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PARTNERSHIP

CLIENT
MOUNT AVAIL LTD



PROJECT
KIDDERPORE AVENUE

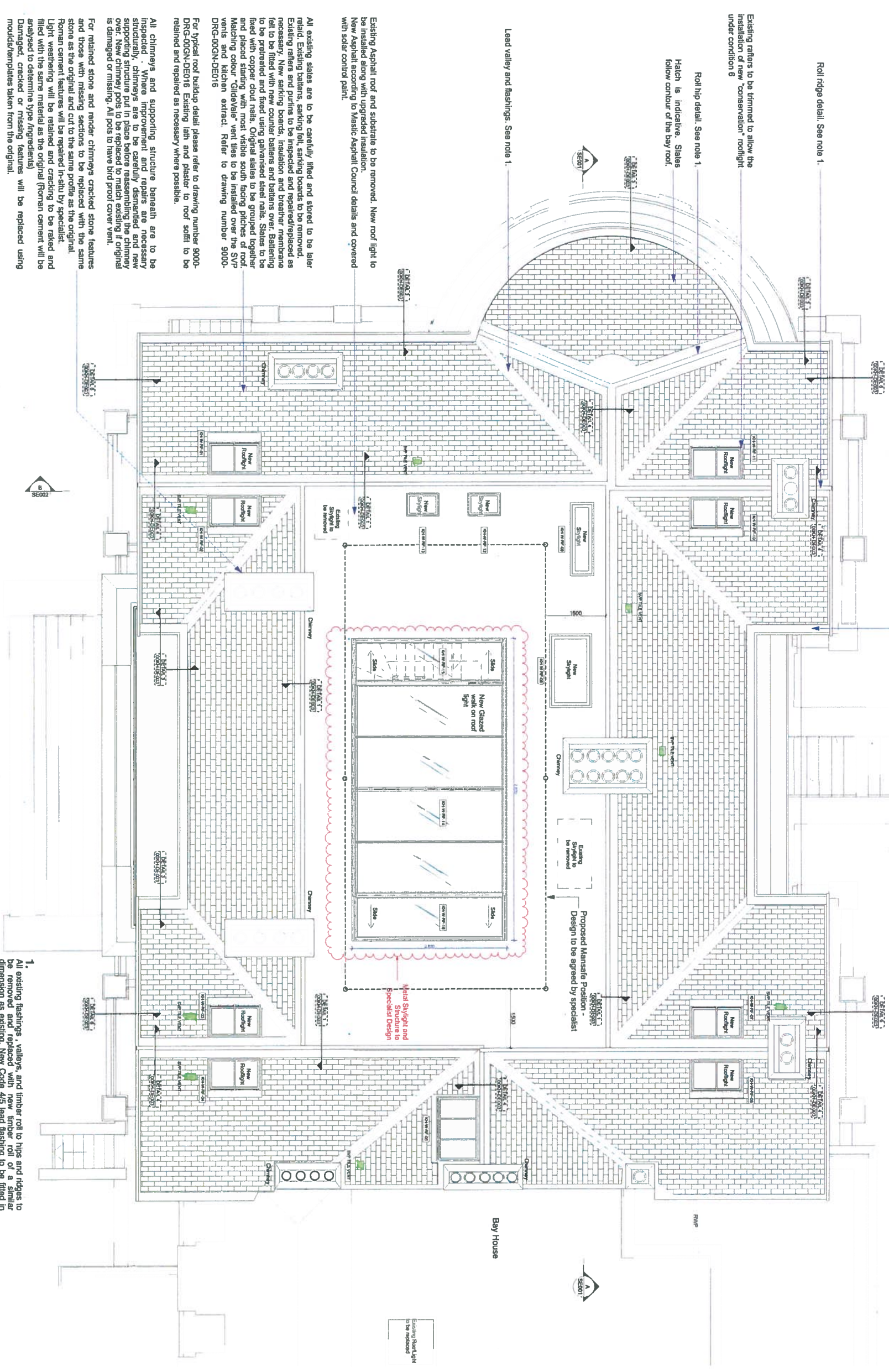
DRAWING
Kidderpore Hall
Level RF Proposed GA Plan

SCALE	DATE
1:50 @ A1	January 2017
DRAWING NO.	DATE
15 230	GC
9000-DRG-03KH-RF010	REV

A&Q PARTNERSHIP (LONDON) LTD
THE LUX BUILDING, 2-4 HORTON SQUARE, LONDON N1 6NU
TEL: 020 7533 2244 FAX: 020 7533 2444 Email: london@aq.co.uk
ARCHITECTURE DESIGN MASTERPLANNING INTERIORS

1. All existing flashings, valleys, and timber roll to hips and ridges to be removed and replaced with new timber roll of a similar dimension as existing. New Code 4/5 lead flashing to be fitted in accordance with the Lead Association details.

All existing leadwork to existing gutters to be renewed. New leadwork to be Code 4/5 as necessary and fitted in accordance with Lead Sheet Association details.



Roof ridge detail. See note 1.

Existing rafters to be trimmed to allow the installation of new "conservation" rooflight under condition 6

Roof hip detail. See note 1.
Hatch is indicative. States follow contour of the bay roof.

Lead valley and flashings. See note 1.

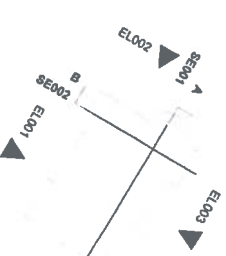
Existing Asphalt roof and substrate to be removed. New roof light to be installed along with upgraded insulation. New Asphalt according to Mastic Asphalt Council details and covered with solar control paint.

All existing slates are to be carefully lifted and stored to be later relaid. Existing battens, sarking felt, sarking boards to be removed. Existing rafters and putlogs to be inspected and repaired/replaced as necessary. New sarking boards, insulation and breather membrane felt to be fitted with new counter battens and battens over. Battening to be pre-treated and fixed using galvanised steel nails. Slates to be fixed with copper clad nails. Original slates to be grouped together and placed starting with most visible south facing pitches of roof. Matching colour "GlideVale" vent tiles to be installed over the SVP vents and kitchen extract. Refer to drawing number 9000-DRG-00GN-DE016

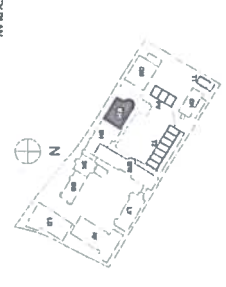
For typical roof building detail please refer to drawing number 9000-DRG-00GN-DE016. Existing lath and plaster to roof soffit to be retained and repeated as necessary where possible.

All chimneys and supporting structure beneath are to be inspected, where movement and repairs are necessary structurally, chimneys are to be carefully dismantled and new supporting structure put in place before reassembling the chimney over. New chimney pots to be replaced to match existing if original is damaged or missing. All pots to have bird proof cover vent.

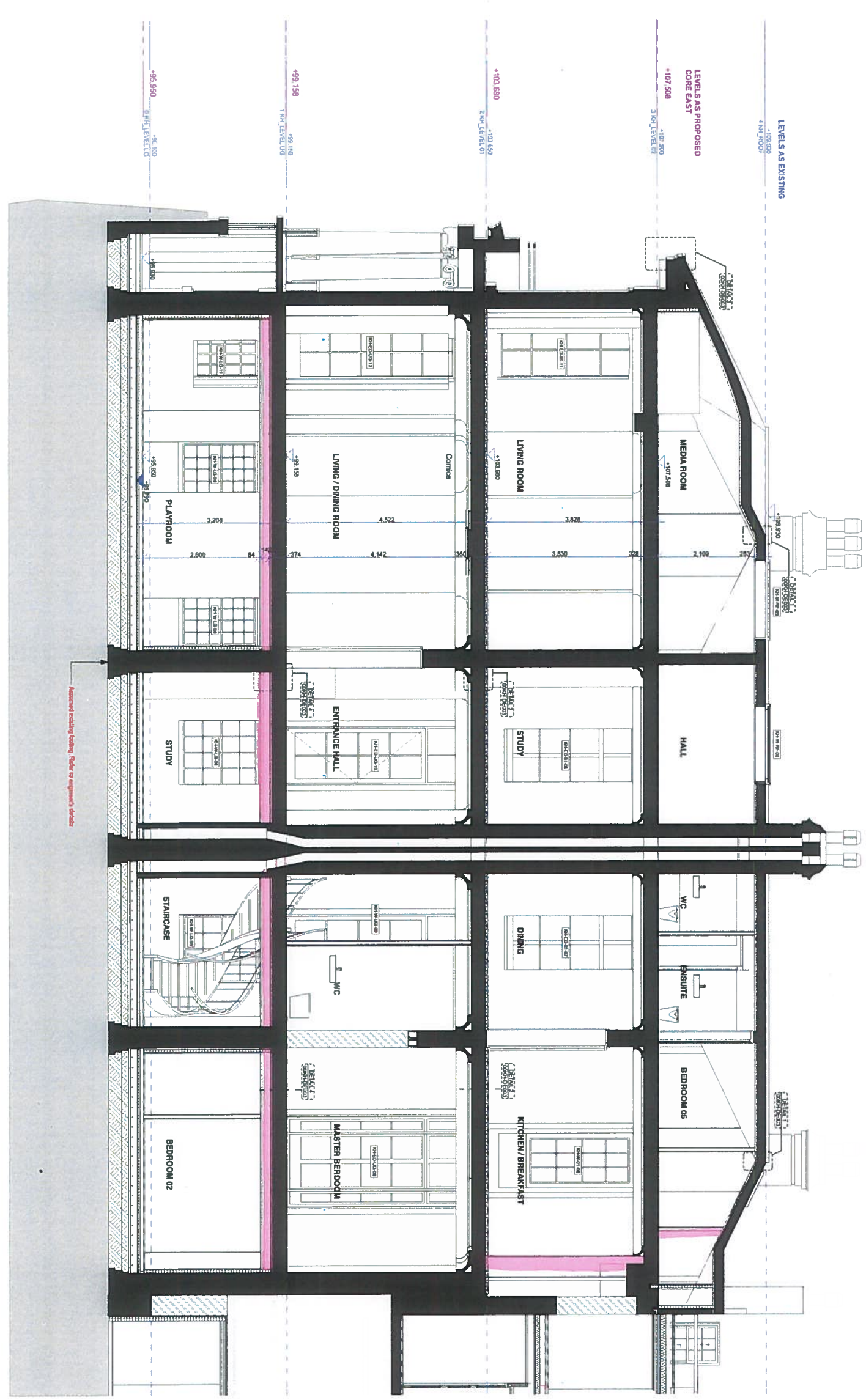
For retained stone and render chimneys cracked stone features and those with missing sections to be replaced with the same stone as the original and cut to the same profile as the original. Roman cement features will be repaired in-situ by specialist. Light weathering will be retained and cracking to be raked and filled with the same material as the original (Roman cement will be analysed to determine type/ingredients). Damaged, cracked or missing features will be replaced using mould/templates taken from the original.



KEY PLAN
NOTE



100mm
40
10
0
10
40
100mm
DASHED LINE ORIGINAL SHEET SIZE
Dimensions stated shall be dimensions to the face of the wall unless otherwise stated.
Dimensions shall be subject to the Architect's design and shall be subject to the Architect's design and shall be subject to the Architect's design.



LEVELS AS EXISTING

4th Floor

3rd Floor

LEVELS AS PROPOSED
COME EAST

3rd Floor

2nd Floor

1st Floor

0th Floor

Assumed existing building. Refer to separate drawings.

FOR CONSTRUCTION

REVISION	DATE	CHD	DATE
C1	10/10/2017	WPC	10/10/2017

A&Q
PARTNERSHIP

CLIENT
MOUNT ANVIL LTD



PROJECT
KIDDERPORE AVENUE

DRAWING
Kidderpore Hall
Section A-A as Proposed

SCALE	1:50 @ A1	DATE	January 2017
DRAWING NO	15 230	DC	REV
9000-DRG-04KH-SE001	C1		
A&Q PARTNERSHIP (LONDON) LTD THE LUX BUILDING, 24 HORTON SQUARE, LONDON N1 6NU Tel: 020 713 2244 Fax: 020 713 2242 Email: london@a&q.co.uk ARCHITECTURAL DESIGN MASTERPLANNING INTERIORS			



KEY PLAN

NOTE

FOR CONSTRUCTION

REVISION	DATE	CHD	DATE
C1	15/01/2017	15/01/2017	15/01/2017

Issued to Construction

15/01/2017

A&Q

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CLIENT

MOUNT ANVIL LTD



PROJECT

KIDDERPORE AVENUE

DRAWING

Kidderpoire Hall

Section B-B As Proposed

SCALE

1:50 @ A1

DATE

January 2017

DRAWING NO

15 230

QC

REV

C1

9000-DRG-04KH-SE002

C1

A&Q PARTNERSHIP (LONDON) LTD

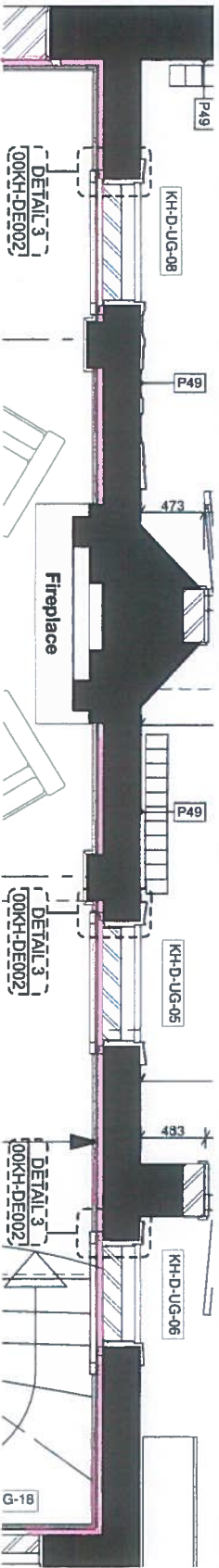
THE LUX BUILDING, 24 NOTION SQUARE, LONDON, N1 1NU

TEL: 020 7173 2447 FAX: 020 7173 2447 EMAIL: info@a&q.co.uk

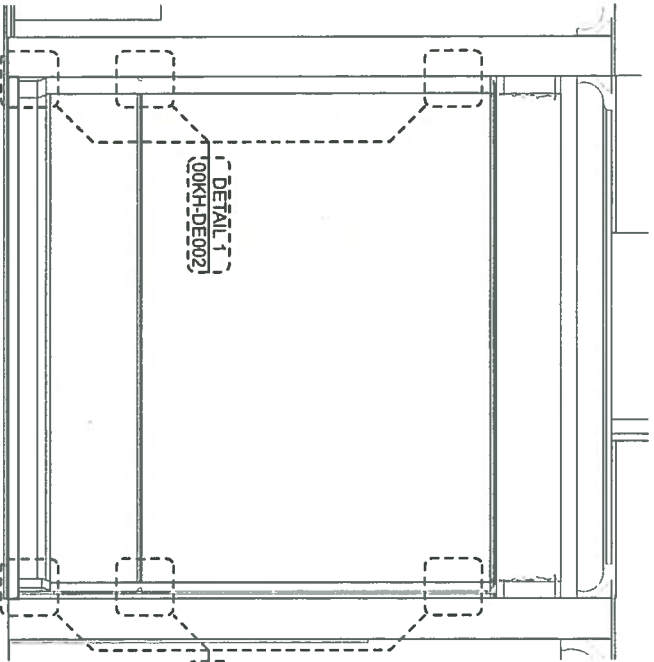
ARCHITECTURE DESIGN MASTERPLANNING INTERIORS



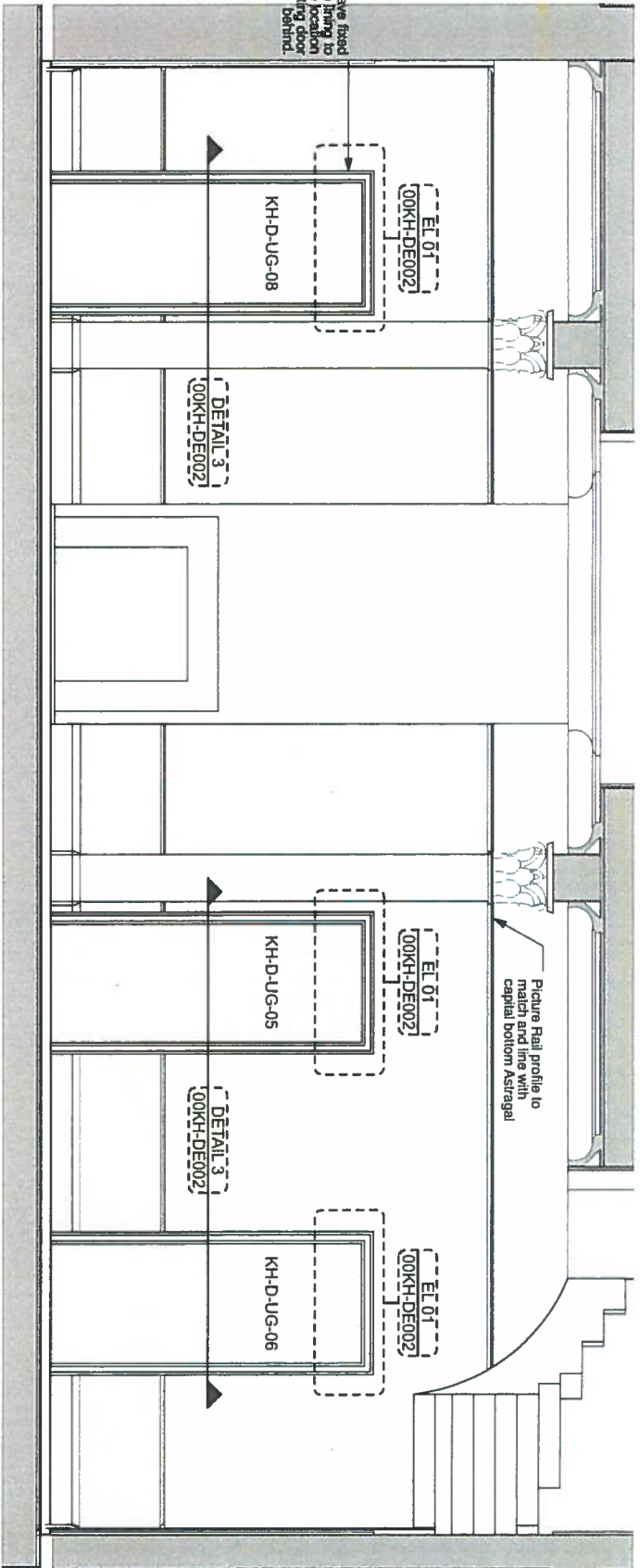
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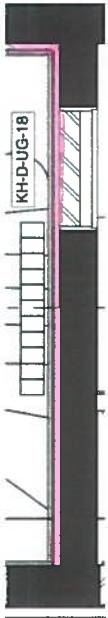
1:50 EXTRACT OF UPPER GROUND PLAN



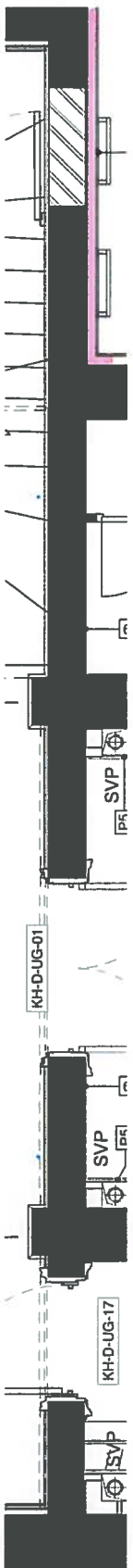
1:50 SOUTHWEST INTERNAL ELEVATION



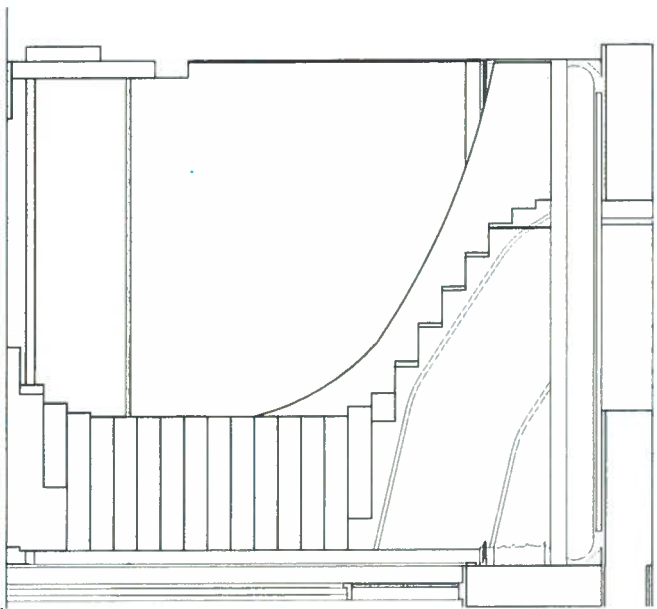
1:50 NORTHWEST INTERNAL ELEVATION



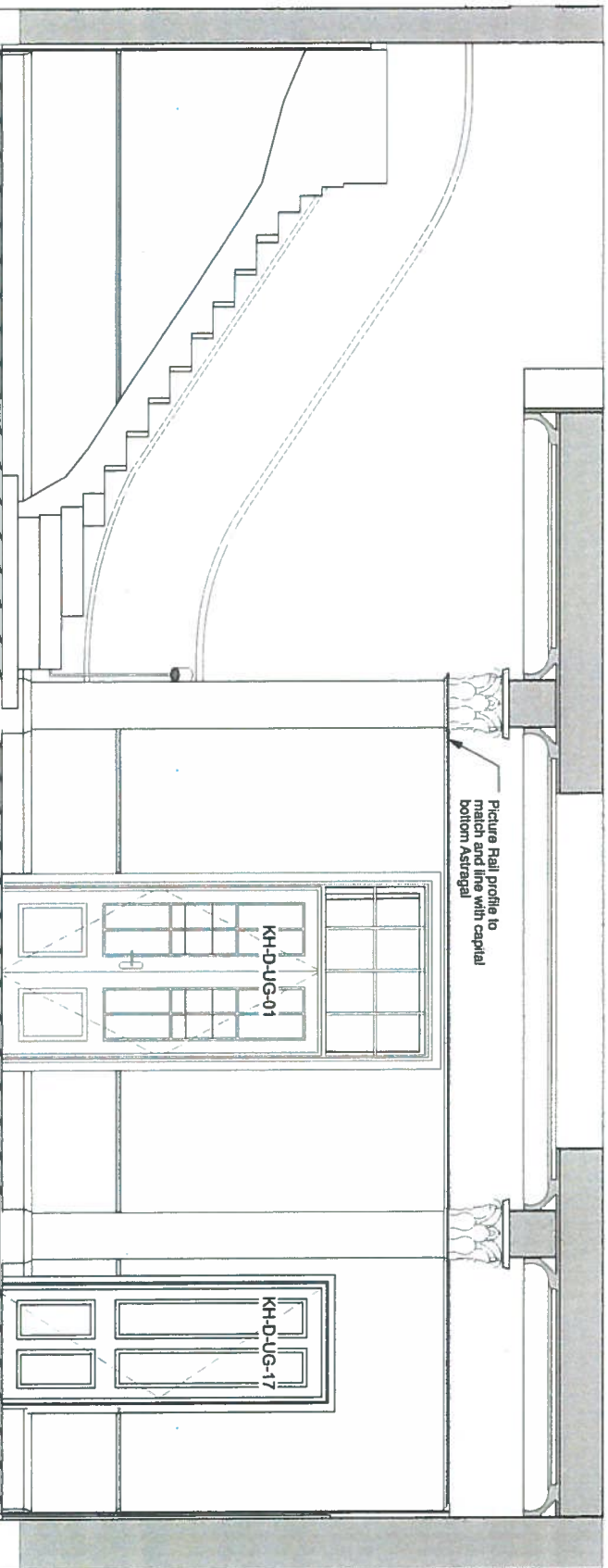
1:50 EXTRACT OF UPPER GROUND PLAN



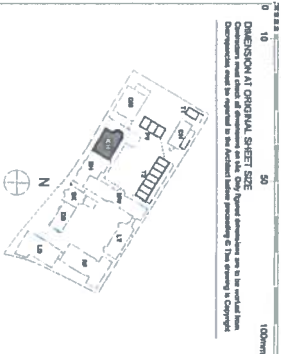
1:50 EXTRACT OF UPPER GROUND PLAN



1:50 NORTHEAST INTERNAL ELEVATION



1:50 SOUTHEAST INTERNAL ELEVATION



KEY PLAN

NOTE: ALL INFORMATION SHOWN ON THIS DRAWING IS SUBJECT TO DESIGN DEVELOPMENT

Area of new acoustic lining.

Existing Sliding & Dado profiles to be replicated onto lining.

Please refer to 9000-DRG-00KH-DE002

FOR CONSTRUCTION

REVISION	DRN	CHD	DATE
C1	Issued for Construction	NV	14/01/23

A&O

PARTNERSHIP

CLIENT

MOUNT ANVIL LTD

MOUNT ANVIL

PROJECT

KIDDERPORE AVENUE

DRAWING

Kidderpore Hall

Main Entrance Hall 1 of 2

SCALE	1:50 @ A3	DATE	18 January
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DRAWING No.	15 230	DATE	18 January
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REV	1	DATE	18 January
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REV	1	DATE	18 January
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REV	1	DATE	18 January
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REV	1	DATE	18 January
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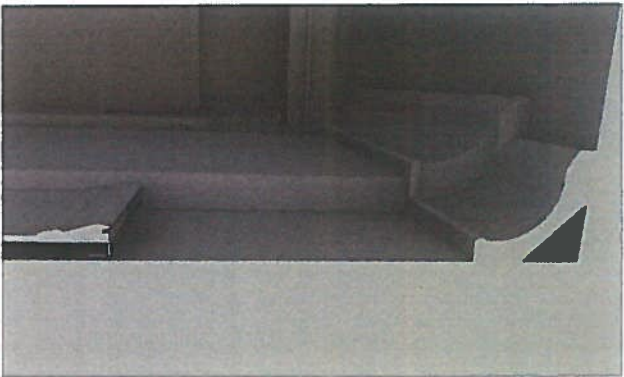
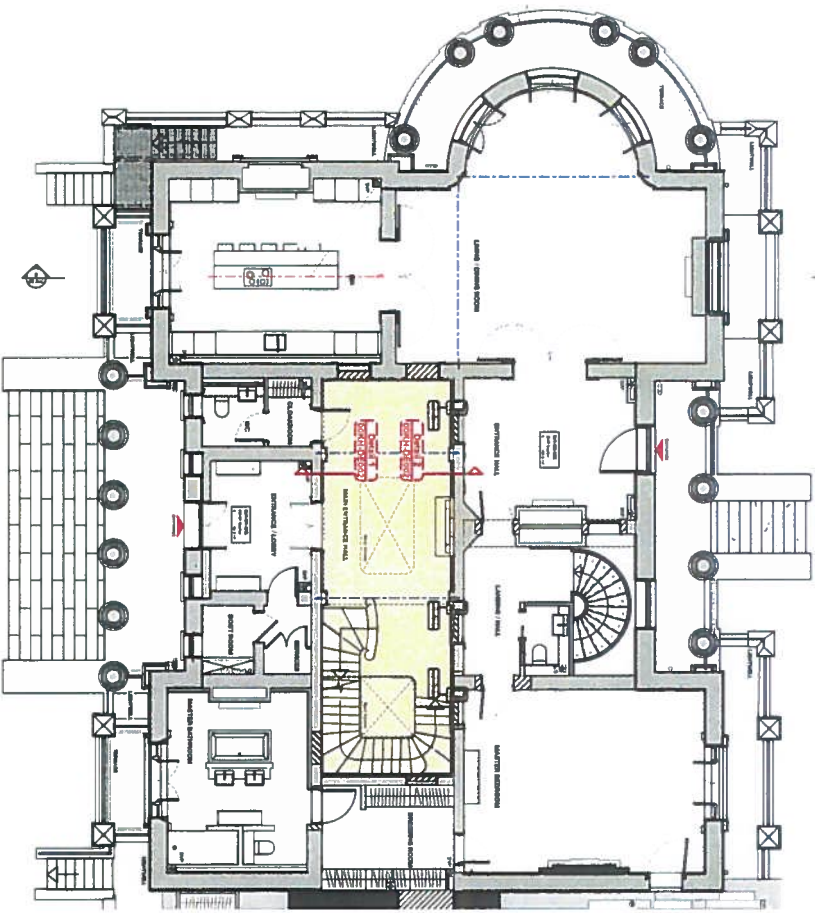
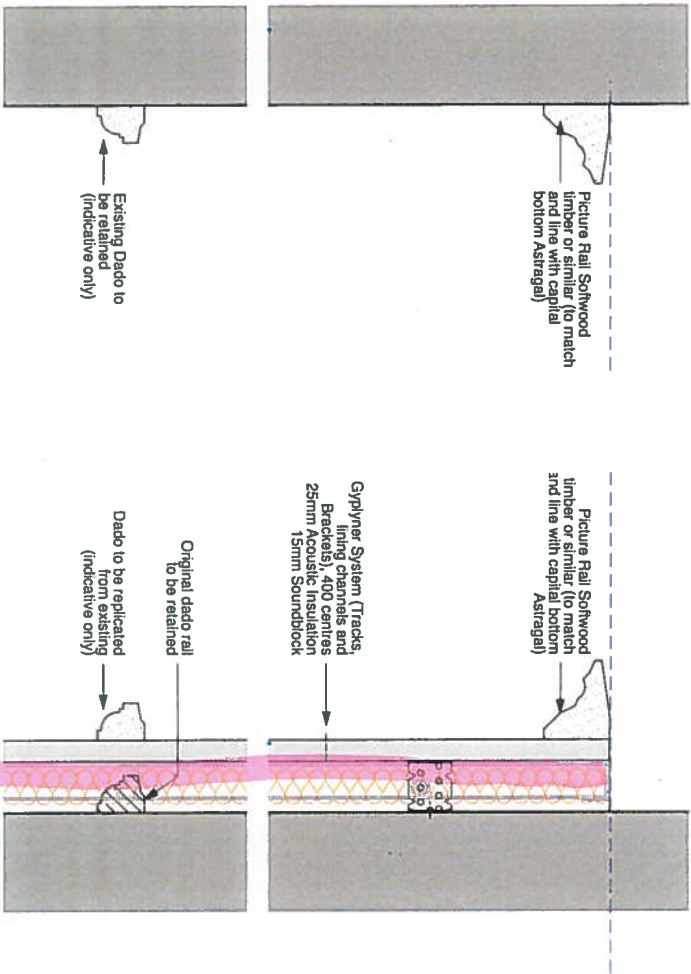


IMAGE 03



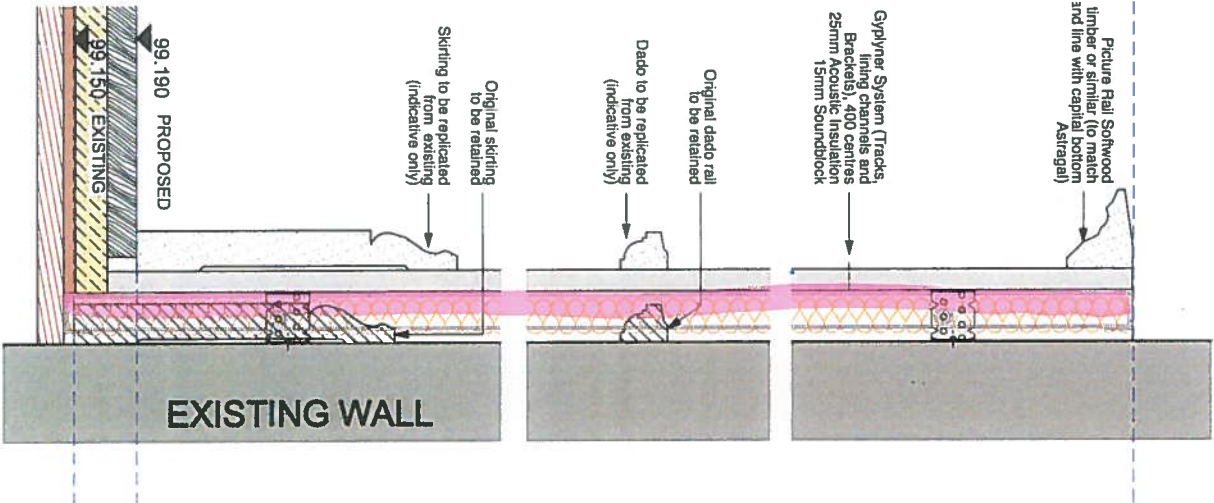
KH LEVEL UG

1:200



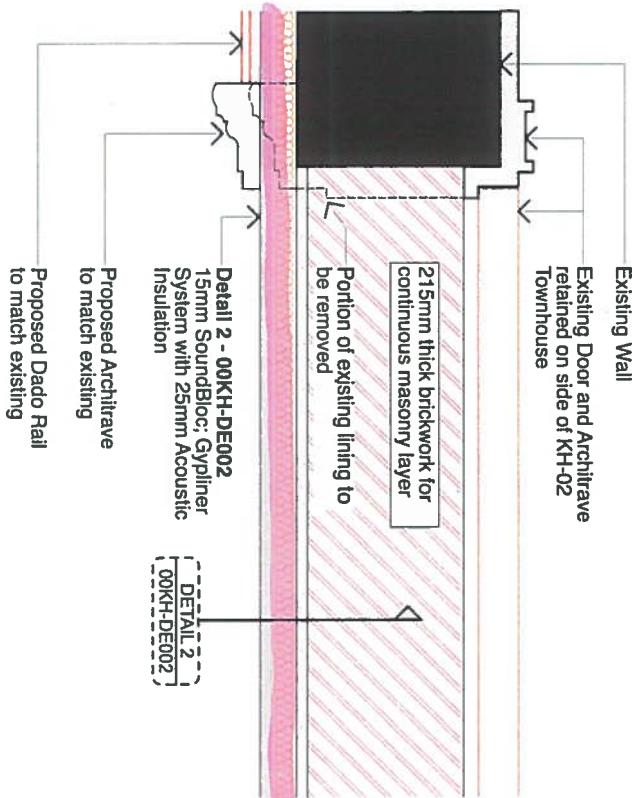
Detail 01

1:5



Detail 02

1:5

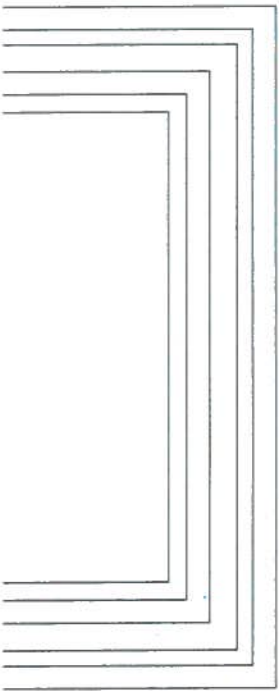


Detail 03 - Blocked Door Jamb

1:10



Existing Hallway Door



EL 01 - Architrave to match existing Hallway Doors

1:10



KEY PLAN

NOTE: INFORMATION SHOWN ON THIS DRAWING IS SUBJECT TO DESIGN DEVELOPMENT

FOR CONSTRUCTION

REVISION	DRN	CHD	DATE
C1	Issued for Construction	AV	18/01/2021

A&Q
PARTNERSHIP
CLERT
MOUNT ANVIL LTD



PROJECT
KIDDERPORE AVENUE

DRAWING
Kidderpore Hall
Main Entrance Hall 2 of 2

SCALE 1:200 1:5 1:10 @ A3
DATE 18 January
DRAWING NO. 15 230
REV. AV
9000-DRG-00KH-DE002
A&Q PARTNERSHIP (LONDON) LTD
THE LUX BUILDING, 34 NOTION SQUARE, LONDON N1 6NU
TEL: 020 7193 2344 FAX: 020 7193 2442 Email: london@ajqp.co.uk
ARCHITECTURE DESIGN MATERIALS/PAINTING INTERIORS

- Notes:
1. All existing construction, structure, build up etc. are to be confirmed on site PRIOR to proceeding with the work. Nothing is to be read in conjunction with all relevant Architect CA drawings and specifications with all relevant drawings and specifications produced by the structural engineer and M&E consultant.
 2. This drawing is to be read in conjunction with all relevant drawings and specifications produced by the structural engineer and M&E consultant.
 3. This drawing is to be read in conjunction with all relevant drawings and specifications produced by the structural engineer and M&E consultant.
 4. This drawing is to be read in conjunction with the relevant fabric survey produced by EERG.
 5. This drawing is to be read in conjunction with the relevant condition investigation report produced by Hutton & Hutton.

ALL DETAILS TO BE APPROVED BY
ACOUSTICIAN PRIOR TO
INSTALLATION.

FOR CONSTRUCTION

REVISION	DRAWN	CHKD	DATE
T1 Part Issue	ST	TW	18.11.16
C1 Issued for construction	TW	ACP	17.01.17
C2 Existing floor boards retained	NC	ACP	20.04.17
C3 Existing glazing retained	NC	NC	03.07.17

DEVELOPMENT

A&Q PARTNERSHIP

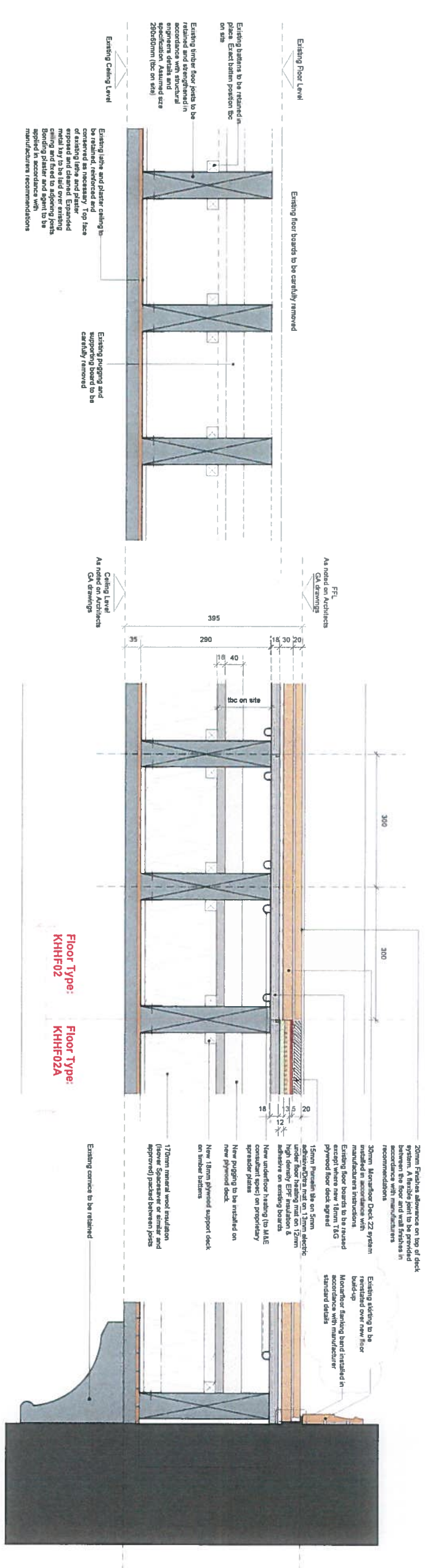
CLIENT
MOUNT ANVIL LTD

MOU
NTA
NVIL

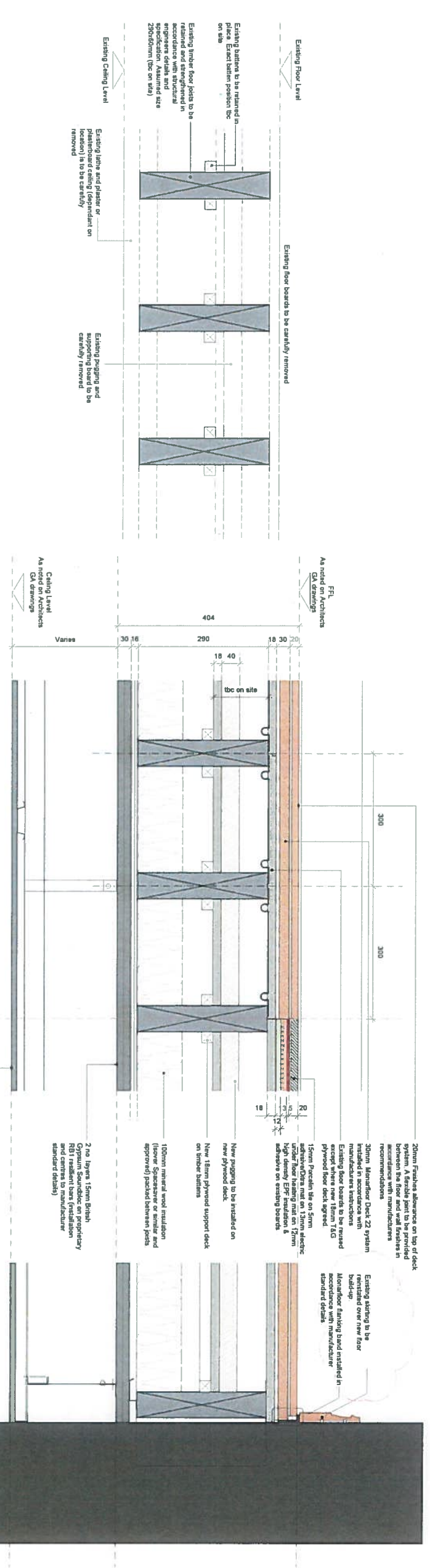
PROJECT
KIDDERPORE AVENUE

DRAWING
Kidderpore Hall
Separating Floor Details

SCALE 1:5 @ A1 DATE May 2016
DRAWING No ST DRAWN BY
15 230
9000-DRG-00KH-DE004 REVISION C3
A & Q PARTNERSHIP (LONDON) LTD
THE LUX BUILDING, 24 HORTON SQUARE, LONDON N 1 6 NU
Tel: 020 713 2244 Fax: 020 713 2442 Email: london@a&q.co.uk
ARCHITECTURAL DESIGN MASTERPLANNING INTERIORS



Detail 2: First Floor, Upgrade of Existing Floor
1:5 @ A1



Detail 3: Ground Floor, Preparation of Existing Floor
1:5 @ A1



Floor Type: KHHF03A - First Floor.
(as above but with new timber joists as per structural engineers' specification)

Floor Type: KHHF01
KHHF01A

Floor Type: KHHF02
KHHF02A

- Notes:
1. All existing construction, structure, build ups etc are to be confirmed on site PRIOR to proceeding with the work.
 2. This drawing is to be read in conjunction with all relevant Architect GA drawings and specifications.
 3. This drawing is to be read in conjunction with all relevant drawings and specifications produced by the relevant fabric survey produced by ESG.
 4. This drawing is to be read in conjunction with the relevant condition investigation report produced by Hutton & Hutton.

ALL DETAILS TO BE APPROVED BY
ACOUSTICIAN PRIOR TO
INSTALLATION.

FOR CONSTRUCTION

REVISION	DRN	CHNO	DATE
C1 Part Issue	TV	ACB	17.01.17
C2 Existing Floor Beams retained	KC	ACB	20.04.17
C3 Existing Slabbing retained	KC	KC	02.07.17

REVISED DRAWINGS

A&Q

PARTNERSHIP

CLIENT
MOUNT ANVIL LTD



PROJECT
KIDDERPORE AVENUE

DRAWING
Kidderpore Hall
Non-Separating Floor Details

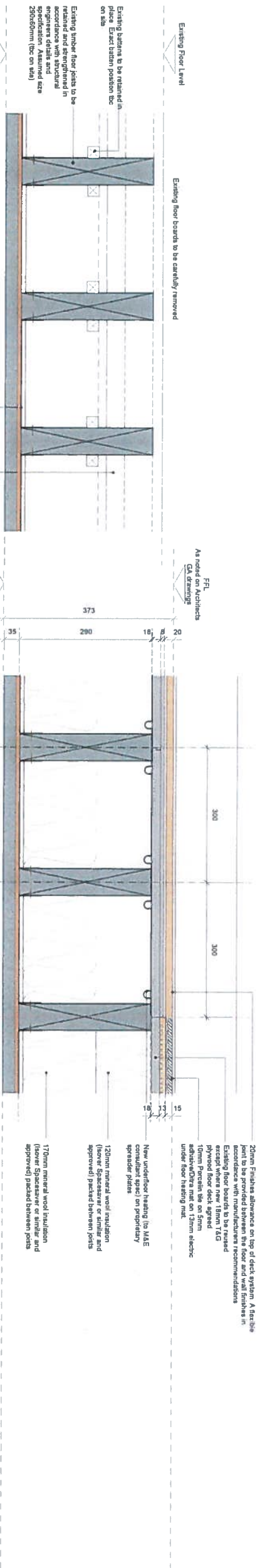
SCALE 1:5 @ A1 DATE May 2018

DRAWING No TV DRAWN BY

9000-DRG-00KH-DE005 REVISION

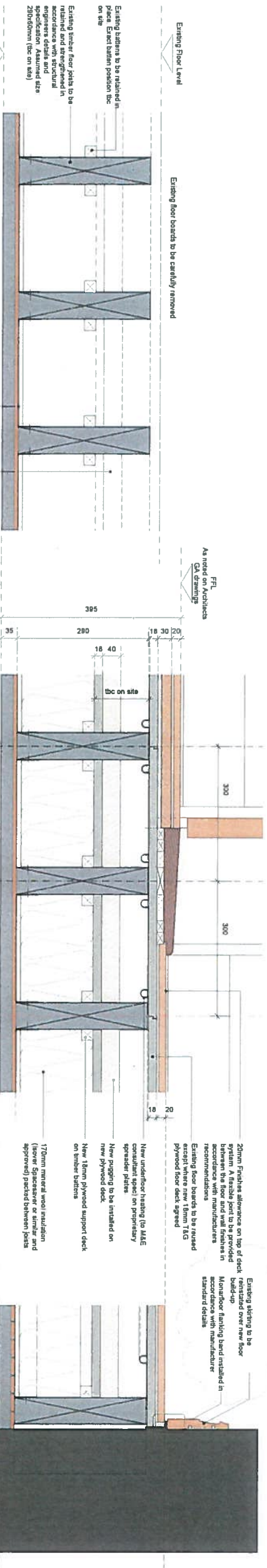
A & Q PARTNERSHIP (LONDON) LTD

THE LUX BUILDING, 24 HORTON SQUARE, LONDON, N1 4 NU
Tel: 020 7113 2244 Fax: 020 7113 3442 Email: info@aq-partnership.co.uk
ARCHITECTURE DESIGN MASTERPLANNING INTERIORS



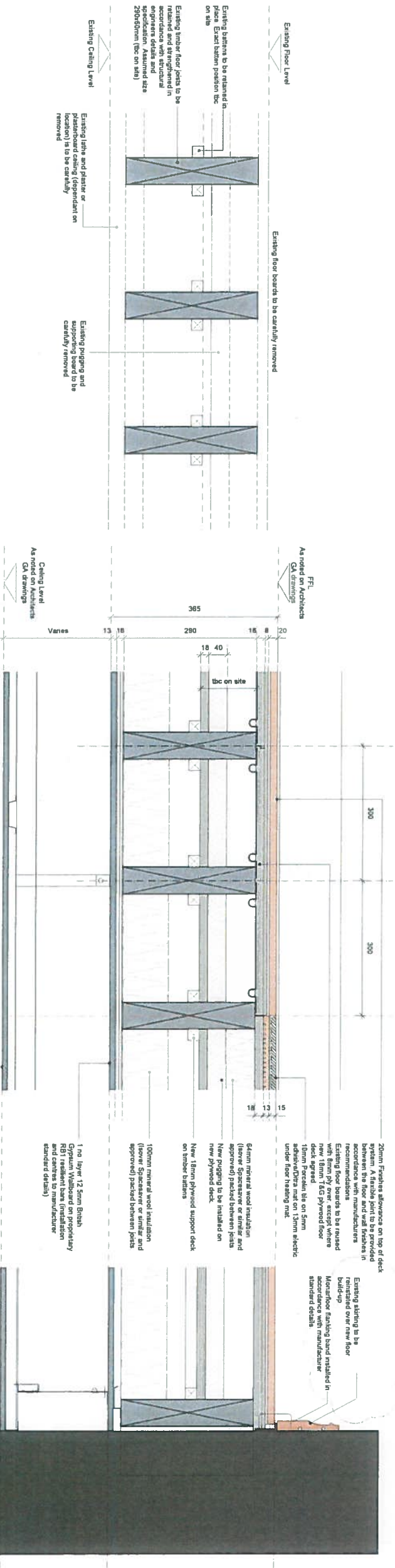
Detail 2: Second Floor, Upgrade of Existing Floor
1:5 @ A1

Floor Type: KHHF05
Floor Type: KHHF05A



Detail 3: First Floor, Preparation of Existing Floor
1:5 @ A1

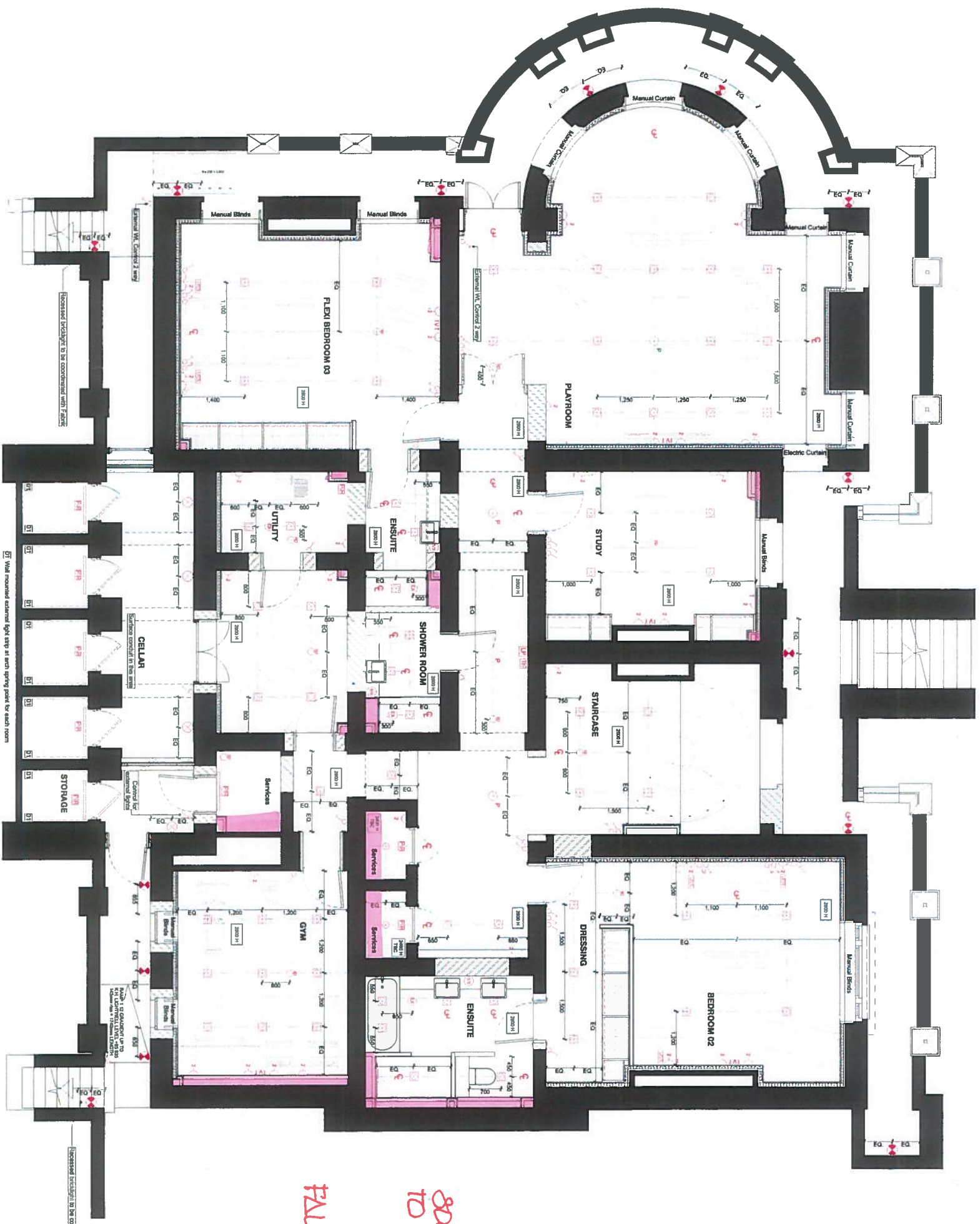
Floor Type: KHHF02
Floor Type: KHHF06



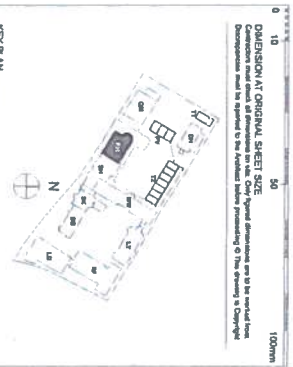
Detail 6: Ground Floor, Preparation of Existing Floor
1:5 @ A1

Floor Type: KHHF04
Floor Type: KHHF04A

GROUND NON-SEPARATING FLOOR FLOOR BUILD UP



NOTE
Refer to larger drawings for lobby, staircase, kitchen and electrical layout.
For further Early Equipment Please Refer to BMT Drawings.
Redundant Lighting is provided in Living, Dining, Kitchen and Master Bedroom for future use in a new layout. This lighting is provided for future use and is not to be installed.
Structural requirements for parties TBC by SE.
Wiring for the system is to be installed in Living, Dining, Kitchen and Master Bedroom for future use in a new layout. This wiring is provided for future use and is not to be installed.
Wiring and connection point to all lighting for the system is to be installed in Living, Dining, Kitchen and Master Bedroom for future use in a new layout. This wiring is provided for future use and is not to be installed.
Disables Lights in Living and Master Bedroom.
Automatic Lights in Living and Master Bedroom. LED lights to all windows.
Automatic Lighting to provide safety out of all rooms and lighting within rooms as required. This is to be installed in Living, Dining, Kitchen and Master Bedroom for future use in a new layout. This lighting is provided for future use and is not to be installed.
Refer to Detailed Electrical Layout drawings.



LEGEND

Lighting & Fire Alarm

2 way switch	3 way switch	4 way switch	5 way switch	6 way switch	7 way switch	8 way switch	9 way switch	10 way switch	11 way switch	12 way switch	13 way switch	14 way switch	15 way switch	16 way switch	17 way switch	18 way switch	19 way switch	20 way switch	21 way switch	22 way switch	23 way switch	24 way switch	25 way switch	26 way switch	27 way switch	28 way switch	29 way switch	30 way switch	31 way switch	32 way switch	33 way switch	34 way switch	35 way switch	36 way switch	37 way switch	38 way switch	39 way switch	40 way switch	41 way switch	42 way switch	43 way switch	44 way switch	45 way switch	46 way switch	47 way switch	48 way switch	49 way switch	50 way switch	51 way switch	52 way switch	53 way switch	54 way switch	55 way switch	56 way switch	57 way switch	58 way switch	59 way switch	60 way switch	61 way switch	62 way switch	63 way switch	64 way switch	65 way switch	66 way switch	67 way switch	68 way switch	69 way switch	70 way switch	71 way switch	72 way switch	73 way switch	74 way switch	75 way switch	76 way switch	77 way switch	78 way switch	79 way switch	80 way switch	81 way switch	82 way switch	83 way switch	84 way switch	85 way switch	86 way switch	87 way switch	88 way switch	89 way switch	90 way switch	91 way switch	92 way switch	93 way switch	94 way switch	95 way switch	96 way switch	97 way switch	98 way switch	99 way switch	100 way switch
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FOR CONSTRUCTION

REVISION

NO.	DATE	DESCRIPTION
1	15/03/17	Initial Design
2	15/03/17	Revised Design
3	15/03/17	Final Design

sockets & switches towards also shown.
FALSE CEILING OVER US

A&Q PARTNERSHIP

CLIENT: MOUNT ANVIL LTD

PROJECT: KIDDERPORE AVENUE

DRAWING: Kidderpore Hall Level LG RCP

SCALE: 1:50 @ A1

DATE: April 2017

DRAWN BY: NV

15 230

9000-DRC-23KH-LG030

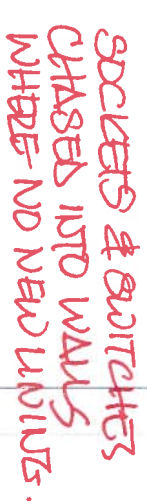
A&Q PARTNERSHIP (LONDON) LTD

THE LUX BUILDING, 24 HORTON SQUARE, LONDON, N1 8 NU

Tel: 020 7513 2244 Fax: 020 7513 2342 Email: London@aq.co.uk

ARCHITECTURE DESIGN MASTERPLANNING INTERIORS

MTA NVIL



REVISION	DRN	CHKD	DATE
C1 based for Construction	NY	TW	1/28/12017
C2 identified as Deleted	NY	KC	05/02/2017
C3 MC's approved following Udgard comments to existing construction 1/24/17	QC	TW	1/20/162017

[illegible]

SCALE 1.50 @ A1

DRAFTING No. _____

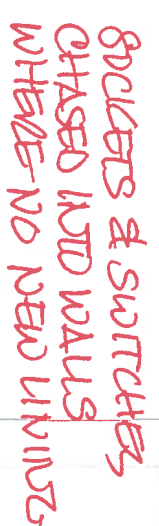
15 230

9000-DRG-23KH-UG

AND PARTNERSHIPS

THE LUX BUILDING, 24 HORTON

Tel: 020 7613 2244 Fax: 020 7613 2



EXPANDED ORIGINAL SHEET

Customers are asked to please do not use this copy for drawing as to the original then
the original is the only one that is valid. If you need to make a copy, please use the original
copy to make a copy. If you need to make a copy, please use the original copy to make a copy.

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FOR CONSTRUCTION

	REVISION	DRN	CHRD	DATE
C1	Issued by Construction	IV	TW	1/19/2017
C2	RCF updated following design amendments to working construction 17-04-07	DC	TW	1/26/2017

A&O
PARTNERSHIP

PROJECT
KIDDERPORE AVENUE

DRAWING
Kidderpore Hall
Level 01 RCP

SCALE 1:50 @A1

DATE April 2017

DRAWN BY NY

REV

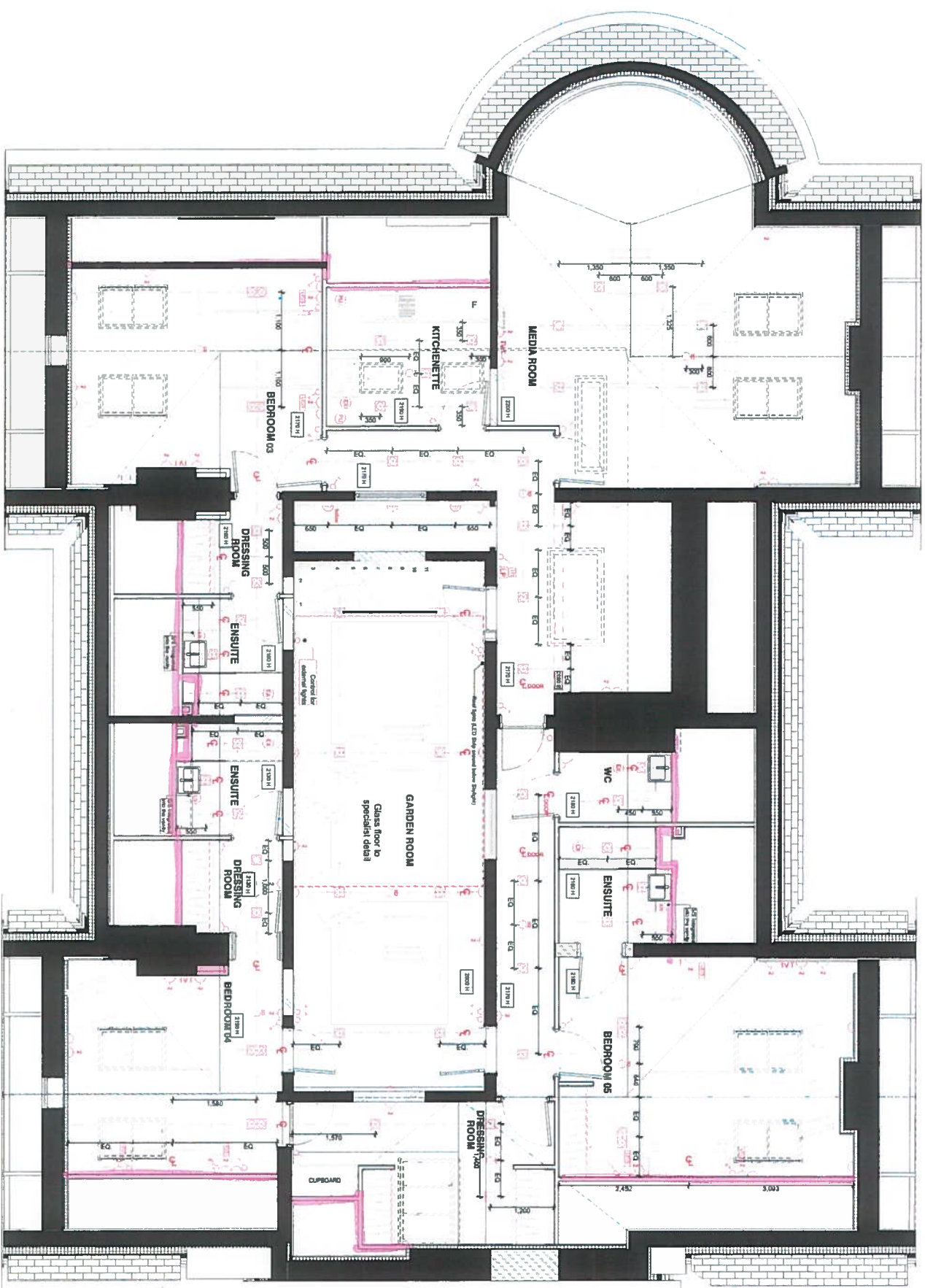
DRAWING No. 15.230

9000-DRG-23KH-01030

CR

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THE LUX BUILDING, 24 NOTTON SQUARE, LONDON, N1 6JH
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ARCHITECTURE DESIGN MASTERPLANNING INTERIORS

[illegible][illegible]

FOR CONSTRUCTION

REVISION	DRWN	CHNGD	DATE
C1	MY	TV	17/01/07
C2	CC	TV	19/04/07

A&O
PARTNERSHIP
CLIENT MOUNT ANVIL LTD

MOUNT ANVIL LTD

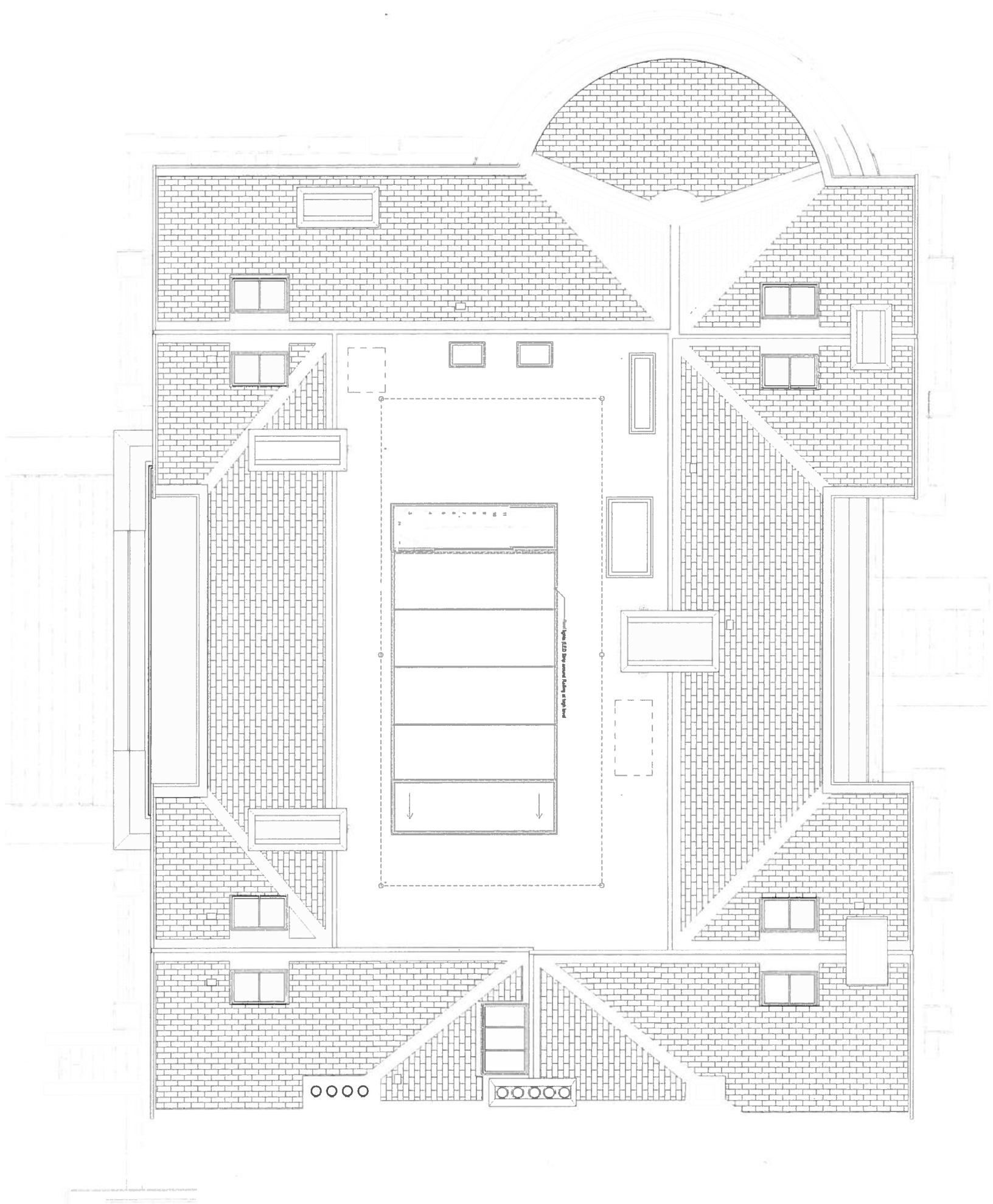
PROJECT
KIDDERPORE AVENUE

DRAWING
Kidderpore Hall
Level 02 RCP

SCALE	150 @ A1	DATE	April 2017
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15 230
9000-DRG-23KH-02030

ARCHITECTURE DESIGN MASTERPLANNING INTERIORS

[illegible]

DIMENSION AT ORIGINAL SHEET SIZE
 Construction must comply with dimensions on this. Only listed dimensions are to be varied from.
 Discrepancies must be reported to the Architect before proceeding. © This drawing is Copyrighted.



LEGEND
Lighting & Fire Alarm

Lighting & Fire Alarm	
	Hand detector
	Exit detector
	Air supply to
	Linear fire detector for supply
	to extract air
	Emergency Light
	Fire Detector Smokeless
	beam & detecting motion
	Manual Fire alarm unit and
	Transmission Sensor
	Fire-gate Detector and LED
	Fire Alarm
	Fire Alarm
	Fire Alarm
	Fire Alarm
	Fire Alarm
	Fire Alarm
	Hand detector
	Exit detector
	Air supply to
	Linear fire detector for supply
	to extract air
	Emergency Light
	Fire Detector Smokeless
	beam & detecting motion
	Manual Fire alarm unit and
	Transmission Sensor
	Fire-gate Detector and LED
	Fire Alarm
	Fire Alarm
	Fire Alarm
	Fire Alarm
	Fire Alarm
	Fire Alarm
	Hand detector
	Exit detector
	Air supply to
	Linear fire detector for supply
	to extract air
	Emergency Light
	Fire Detector Smokeless
	beam & detecting motion
	Manual Fire alarm unit and
	Transmission Sensor
	Fire-gate Detector and LED
	Fire Alarm
	Fire Alarm
	Fire Alarm
	Fire Alarm
	Fire Alarm
	Fire Alarm

FOR CONSTRUCTION

	REVISION	DRN	CHFD	DATE
C1	Issued for Construction	IV	TW	11/01/00
C2	RCR approved following owner's comments to engineering construction 11/04/07	DC	TW	1/04/08

A&O
PARTNERSHIP

MOUNT ANVIL LITE

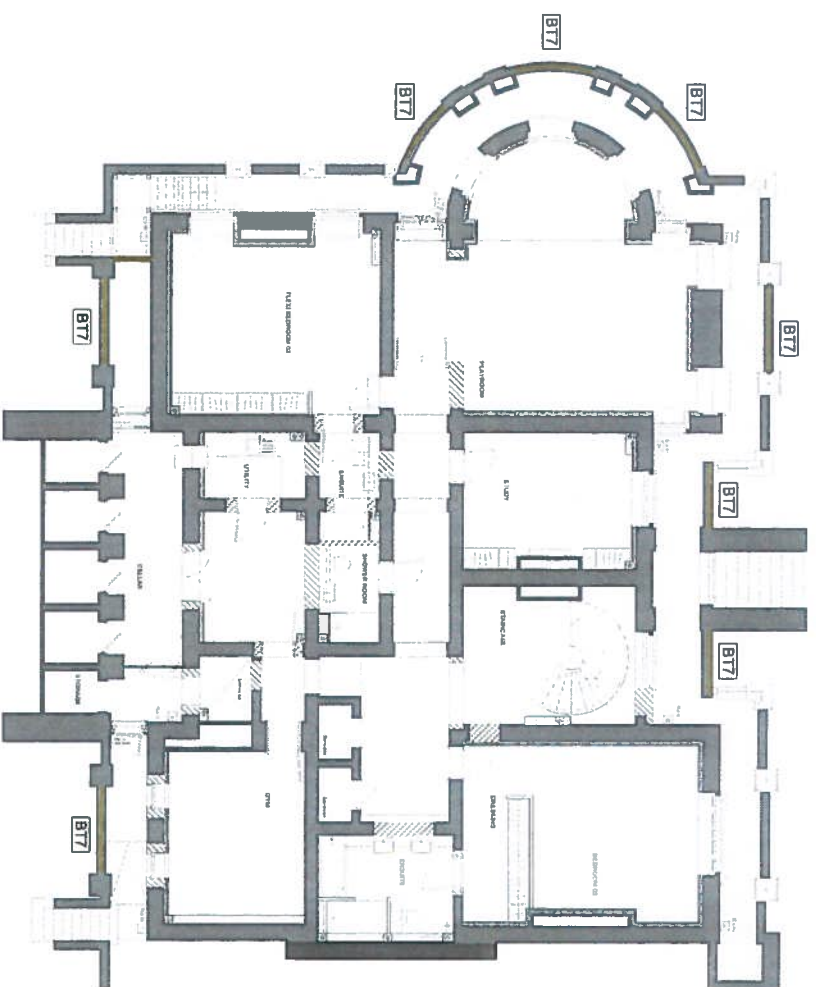
KIDDERPORE AVENUE

DRAWING
Kiddarpore H:
Level RF RCF

SCALE	1:50 @ A1	DATE
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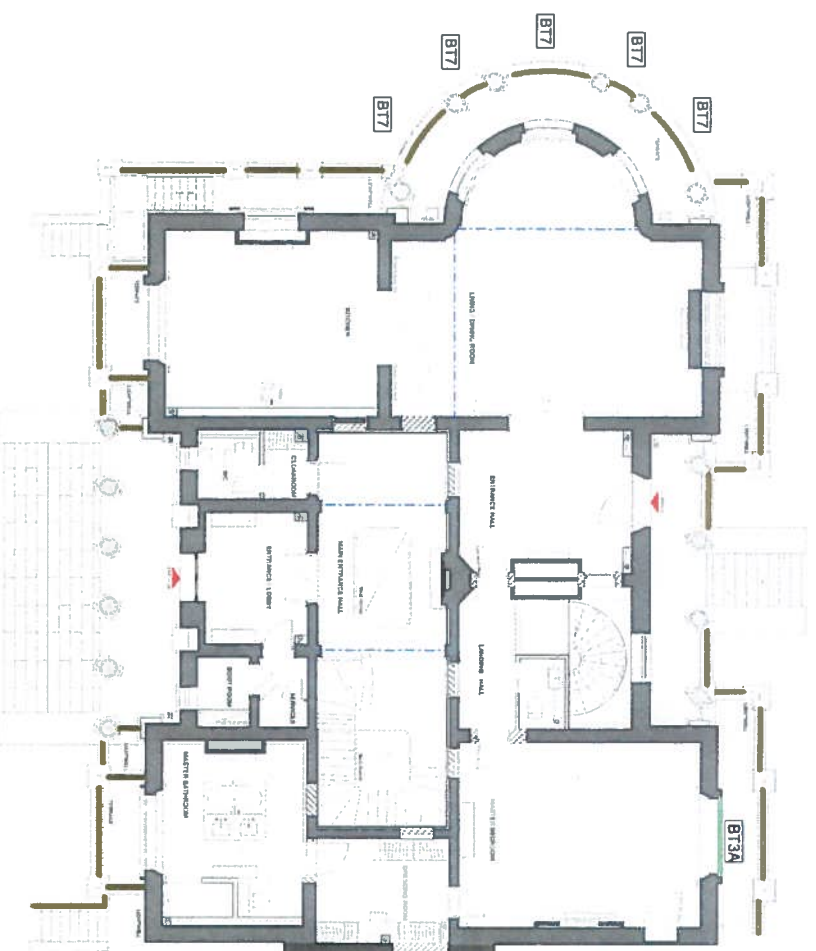
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9000-DRG-23KH-RF030

ABQ PARTNERSHIP (LONDON), LTD
THE LUX BUILDING, 24 HORTON SQUARE, LONDON N1 6JF
Tel: 020 7613 2244 Fax: 020 7613 2642 Email: london@abq.co
ARCHITECTURE DESIGN MASTERPLANNING INTERIORS



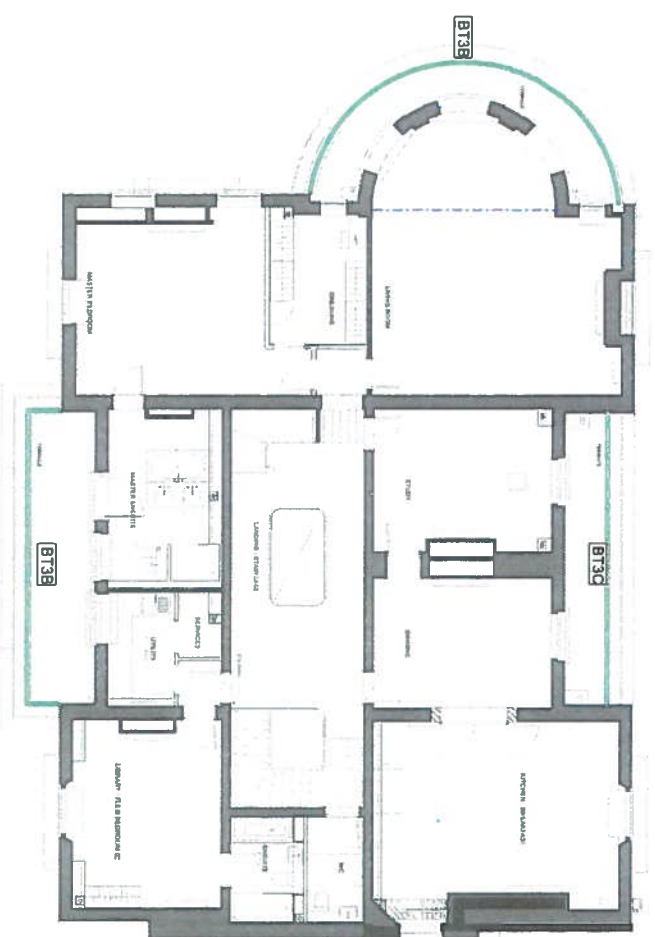
KH LOWER GROUND FLOOR

1:200



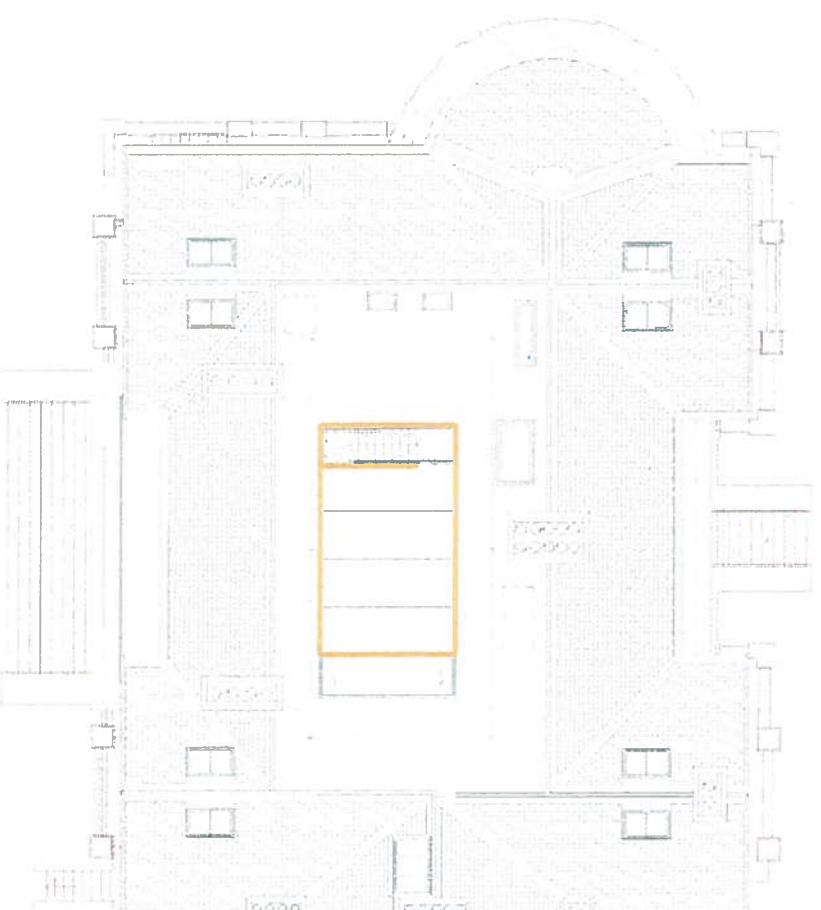
KH UPPER GROUND FLOOR

1:200



KH FIRST FLOOR

1:200

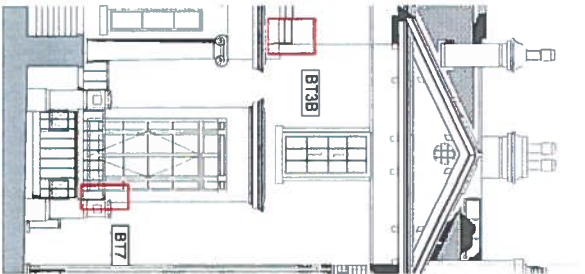


KH ROOF PLAN

1:200

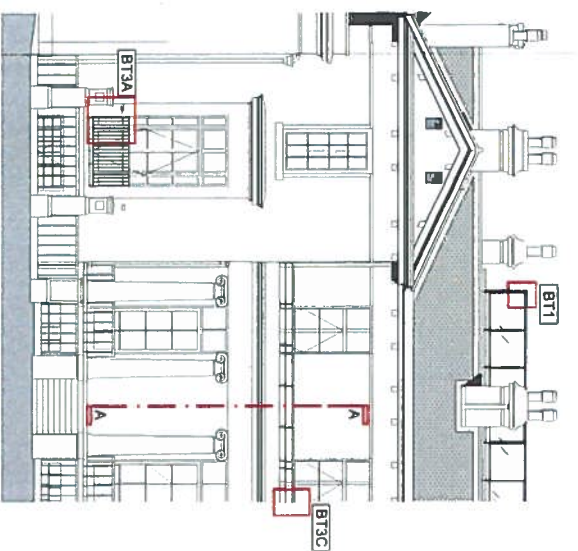
- BT1
BT2
BT3
BT4
BT5
BT6
BT7

Balustrading Types
 Glazed balustrade
 MS Metal railing PPC painted black to New Build
 MS metal railings hand painted black generally to Heritage Buildings. *
 Side-fixed MS Metal railing PPC painted black to New Build
 MS Metal handrails PPC painted black generally to New Build
 Translucent glazed privacy screens - etched glass to both sides
 Existing Railing to be Refurbished
 * Refer to B13 Variation on Drawing 9000-DWG-00KH-DE901 &



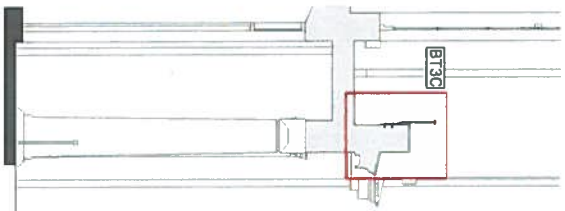
1:200

EXTRACT OF FRONT ELEVATION



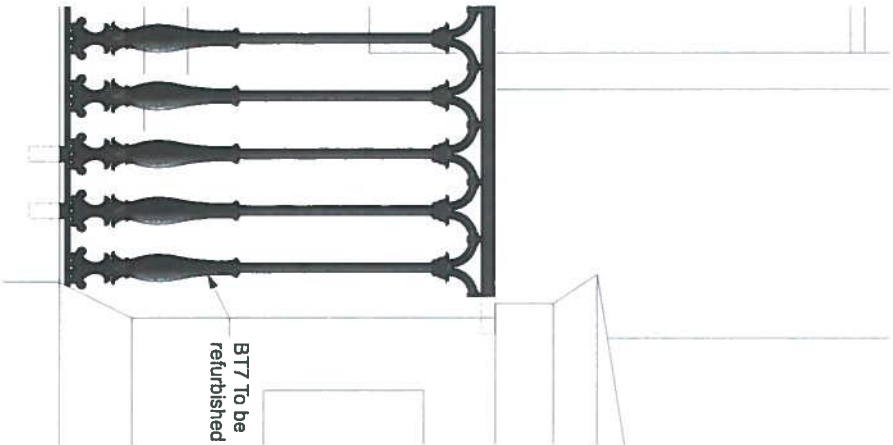
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EXTRACT OF REAR ELEVATION



1:100

SECTION A-A

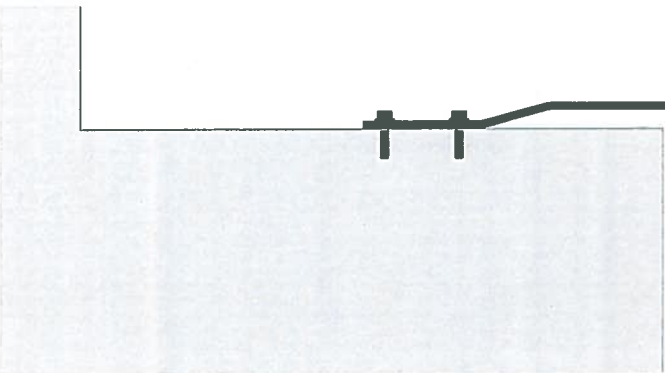


BT7 Heritage Balustrade - KH

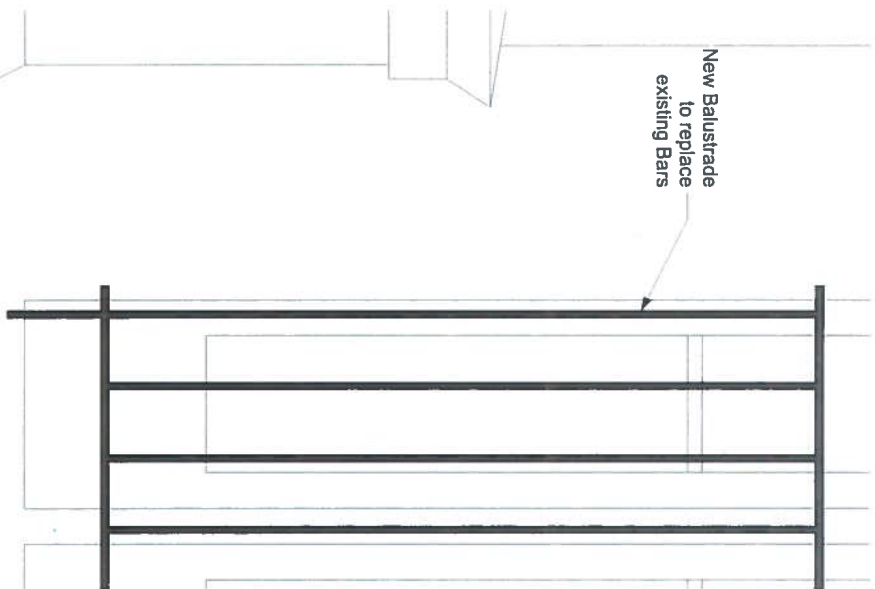
1:10



FRONT ELEVATION

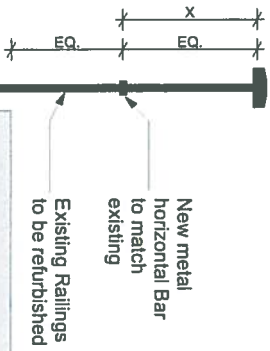


BT3B New Heritage Balustrade - KH 1:10

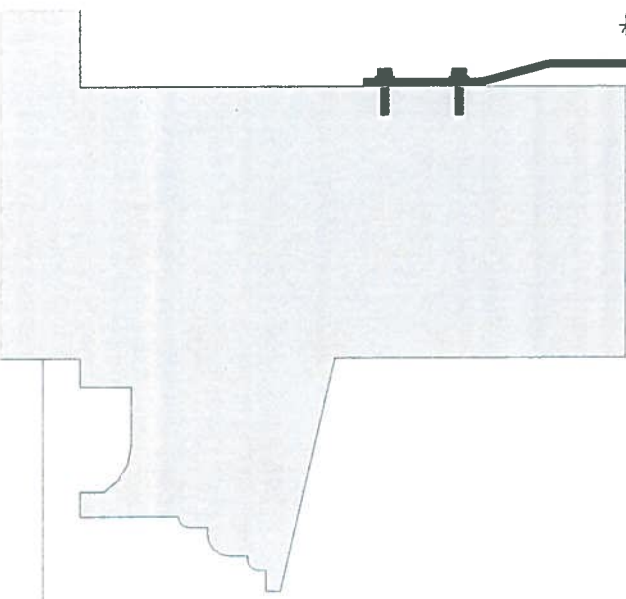


BT3A Heritage Balustrade - KH

1:10



REAR ELEVATION



BT3C Heritage Balustrade - KH 1:10



KEY PLAN

NOTE: ALL INFORMATION SHOWN ON THIS DRAWING IS SUBJECT TO DESIGN DEVELOPMENT

To be read in conjunction with A&Q Partnership Specification Clause L30

- EXISTING BALUSTRADE TO BE CAREFULLY STRIPPED AND CHECKED FOR STRUCTURAL STABILITY. REMEDIAL WORK TO BE UNDERTAKEN AS NECESSARY.
- EXISTING FIXINGS TO BE INSPECTED FOR STRUCTURAL INTEGRITY. REMEDIAL WORK TO BE UNDERTAKEN AS NECESSARY.
- RAILINGS PAINTED BLACK WITH HAMMERITE PAINT (OR SIMILAR APPROVED). PRIMER AND TOP COAT TO BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

FOR CONSTRUCTION

REVISION	DRN	CHD	DATE
01	Initial Design	W	15/05/2017
02	Revised Design	KC	15/05/2017

REVISED DRAWINGS

A&Q

PARTNERSHIP

CLIENT

MOUNT ANVIL LTD



PROJECT

KIDDERPORE AVENUE

DRAWING
Kidderspoore Hall
Heritage Metalwork Details

SCALE 1:10, 1:200, 1:1000

DATE
June 2017

DRAWING No
15 230

DRAWN BY
GC

REV
9000-DRG-16KH-DE002

CS

A&Q PARTNERSHIP (LONDON) LTD
THE LUX BUILDING 2-4 NOTTON SQUARE, LONDON, N1 8 HU
TEL: 020 7513 2244 FAX: 020 7513 2442 Email: london@aq.co.uk

ARCHITECTURE DESIGN MASTERPLANNING INTERIORS



KEY PLAN

NOTE

FOR CONSTRUCTION

REVISION	DATE	BY	DATE
C1	10/01/2017	CS	10/01/2017

A&Q

PARTNERSHIP

CLIENT

MOUNT ANVIL LTD

PROJECT

KIDDERPORE AVENUE

MOUNT ANVIL

DRAWING

Kidderpore Hall

LG West Lightwell Stairs

SCALE	DATE
1/20 @ A1	January 2017

DRAWING NO	DRAWN BY
15 230	CS

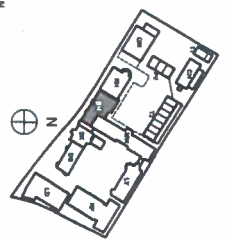
REV	DATE
9000-DRG-01KH-AL003	CS

A&Q PARTNERSHIP (LONDON) LTD

THE LUX RISE BUILDING, 24 MORTON SQUARE, LONDON, N1 6 HU

TEL: 020 7613 2244 FAX: 020 7613 2843 Email: london@aq.co.uk

ARCHITECTURE DESIGN MASTERPLANNING INTERIORS



NOTE:
Refer to Gas elevations for air brick locations.

FOR CONSTRUCTION

REVISION	DATE	BY	DATE
1	20/07/16	20/07/16	20/07/16
2	20/07/16	20/07/16	20/07/16
3	20/07/16	20/07/16	20/07/16
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18	20/07/16	20/07/16	20/07/16
19	20/07/16	20/07/16	20/07/16
20	20/07/16	20/07/16	20/07/16

A&Q
PARTNERSHIP

MOU
MOUNT ANVIL LTD

PROJECT
KIDDERPORE AVENUE

DRAWING
Generally Applicable
Typical Details - New Air Bricks to existing Walls

SCALE 1:10 @ A3

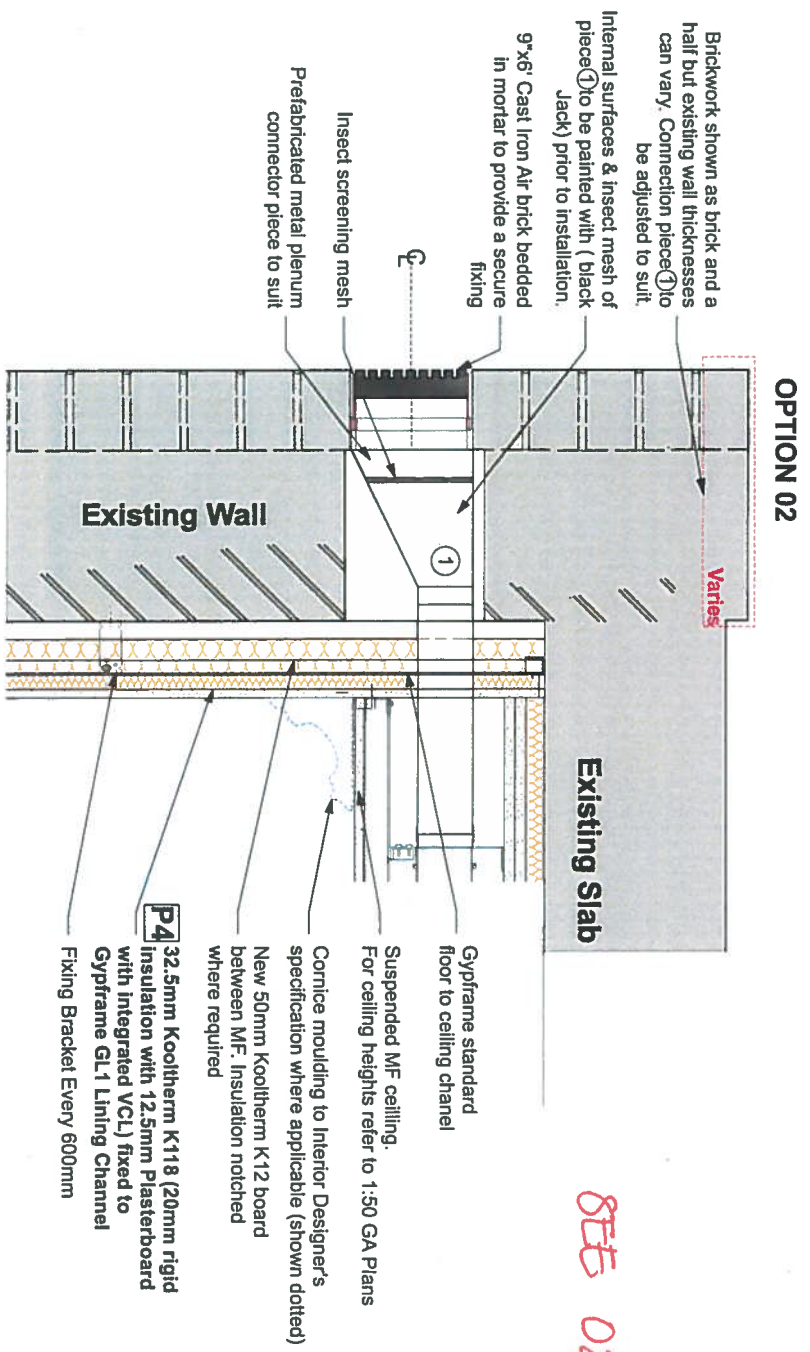
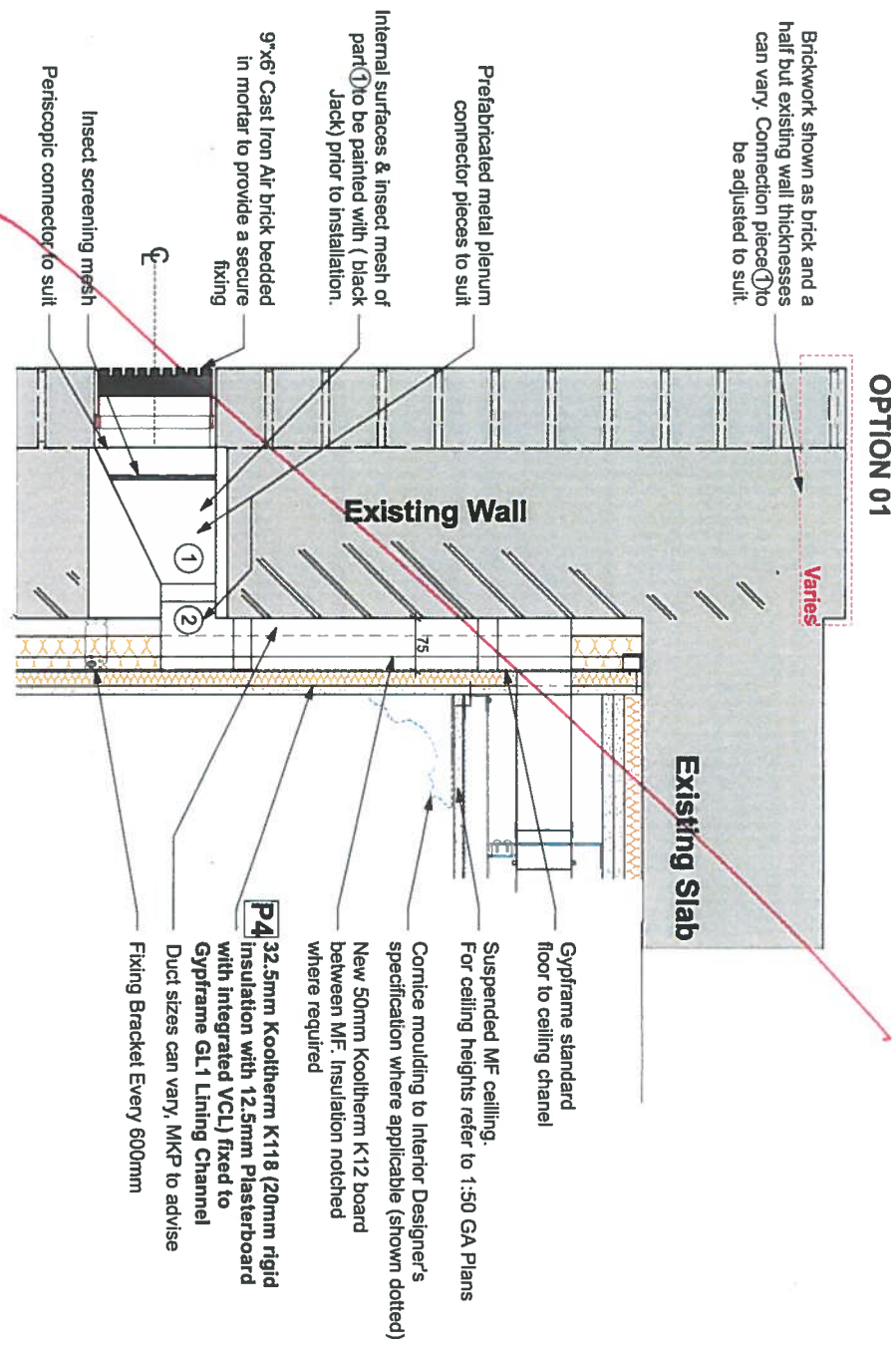
DATE May 2017

DRAWING No. 15 230

GC REV

9000-DRG-00GN-DE022 CI

A&Q PARTNERSHIP (LONDON) LTD
THE LUX BUILDING, 24 MORTON SQUARE, LONDON, N1 8 8H
Tel: 020 7173 2244 Fax: 020 7173 2245 Email: london@a&q.co.uk
ARCHITECTURE DESIGN MASTERPLANNING INTERIORS



SEE 02LH - E001 FOR LOCATION

TYPICAL EXTRACT GRILLE DETAILS

1:10

FOR CONSTRUCTION

	REVISION	DRN	DRND	DATE
CT	Issued for Construction	LC	ADP	March 73

FOR CONSTRUCTION

1	1. The first step in the process of developing a new product is to identify a market need. This is often done through market research, which can be conducted in a variety of ways, including surveys, focus groups, and interviews.
2	2. Once a market need has been identified, the next step is to develop a product concept. This involves creating a detailed description of the product, including its features, benefits, and target market.
3	3. The third step is to develop a business plan. This document outlines the company's strategy for developing and marketing the product, as well as its financial projections.
4	4. The fourth step is to secure funding. This can be done through a variety of sources, including venture capitalists, angel investors, and banks.
5	5. The fifth step is to develop a prototype. This is a physical model of the product that can be used to test its design and functionality.
6	6. The sixth step is to conduct a pilot test. This involves testing the product with a small group of potential customers to gather feedback and make any necessary adjustments.
7	7. The seventh step is to launch the product. This involves marketing the product to a wider audience and making it available for purchase.
8	8. The eighth step is to monitor the product's performance. This involves tracking sales, customer feedback, and other key metrics to ensure the product is meeting its goals.
9	9. The ninth step is to make improvements. Based on the feedback received, the company may need to make changes to the product or its marketing strategy.
10	10. The tenth step is to scale the product. This involves increasing production and distribution to reach a larger market.

A&O
PARTNERSHIP

CLIENT
MOUNT ANVIL LTD

PROJECT
KIDDERPORE AVENUE

DRAWING
Generally Applicable
Typical Details - New Tile Vent to existing Roofs

SCALE	110 @ 13	DATE
-------	----------	------

May 2017

GC
15 230

9000-DRG-00GN-DE023 C1

ADD PARTNERSHIP (LONDON) LTD

THE LUX BUILDING, 24 HOXTON SQUARE, LONDON N1 6ML

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ARCHITECTURE DESIGN MASTERPLANNING INTERIORS

SEE 2007 PLAN FOR LOCATIONS

- Existing ridge to retain Existing Roof structure to be retained and refurbished in specific cases (indicative).
- Roof Structure to check for stability by Structural Engineer

—UPVC soaker tray

Universal in-line Vent Tile
by Glidevale

Glidevale Flexi pipe to run in the ceiling void or within rafter.

Existing clay tile relaid or replaced to match existing were necessary

Typical Roof build up for existing Building, Refer to 9000-DWG-00GN-DE016

TYPICAL EXTRACT GRILLES DETAIL

1:10

FOR CONSTRUCTION