

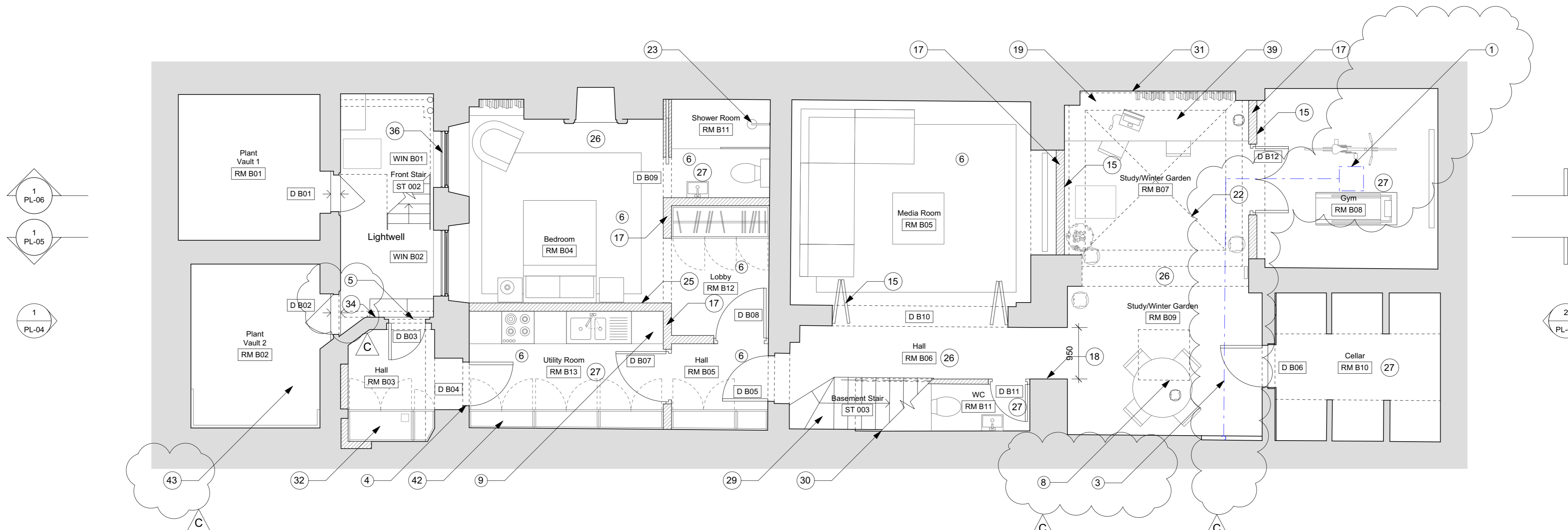
**Notes**

- A.C. unit centred on non-original ceiling in gym, fitted with discrete flush white grate.
- AC ductwork to be discretely boxed within timber lined wall and fitted bookshelves.
- AC ductwork to run through ceiling void.
- Carefully remove and replace existing door between existing WC and media room, and replace with painted timber door suitable to period of house.
- Carefully remove and replace existing external door between existing WC and light well, and replace with painted hardwood door suitable to period of house.
- Ceiling finish: plasterboard lining, with 2-3mm skim coat and paint finish
- Double glazed door
- Existing A.C.
- Fitted joinery to new utility room. Associated service connections required to connect to existing below ground drainage route.
- Flush timber door
- Full height double glazed fixed windows in timber structure
- Garden wall lined now within new extension to be insulated and lined
- New coir entrance mat
- New external stone flooring to garden terrace, or similar.
- New folding doors to media room
- New GF WC fittings in existing location.
- New internal partition: timber stud partition lined in plywood and plasterboard, with 2-3mm skim coat. Paint finish.
- New opening in wall from hall to Structural Engineer's design
- New painted plaster soffit around rooflight
- New PPC metal staircase and balustrade
- New replacement walk on roof light glass
- New roof light glass (above)
- New sanitary ware and associated service connections required to connect to existing below ground drainage route
- New shallow timber joinery to entrance lobby
- New skirting in painted timber to match existing
- New stone flooring or similar.
- New tiled floor finish to W.C.
- New tiled floor to hall
- New timber floor finish to basement staircase
- Painted plaster finish to staircase wall
- Painted plaster wall finish
- Painted timber fitted joinery to new entrance hall
- Repair and redecorate existing staircase in front lightwell, and railings in paint to match existing.
- Replace existing 3no. light fixtures to front light well with new discrete suitable external lighting
- Replace existing 3no. light fixtures with 2no. new discrete suitable external light fixture by new stair entrance
- Replacement painted metal security bars to media room windows
- Rooflight above
- Staircase including steps and balustrade to be redecorated. New carpet runner to staircase
- Timber desk, lining and book cases to study
- Timber lined wall
- Timber lined wall and book shelves
- Upgrade existing electrical distribution board
- Vaults dry lined with damp proofing membrane

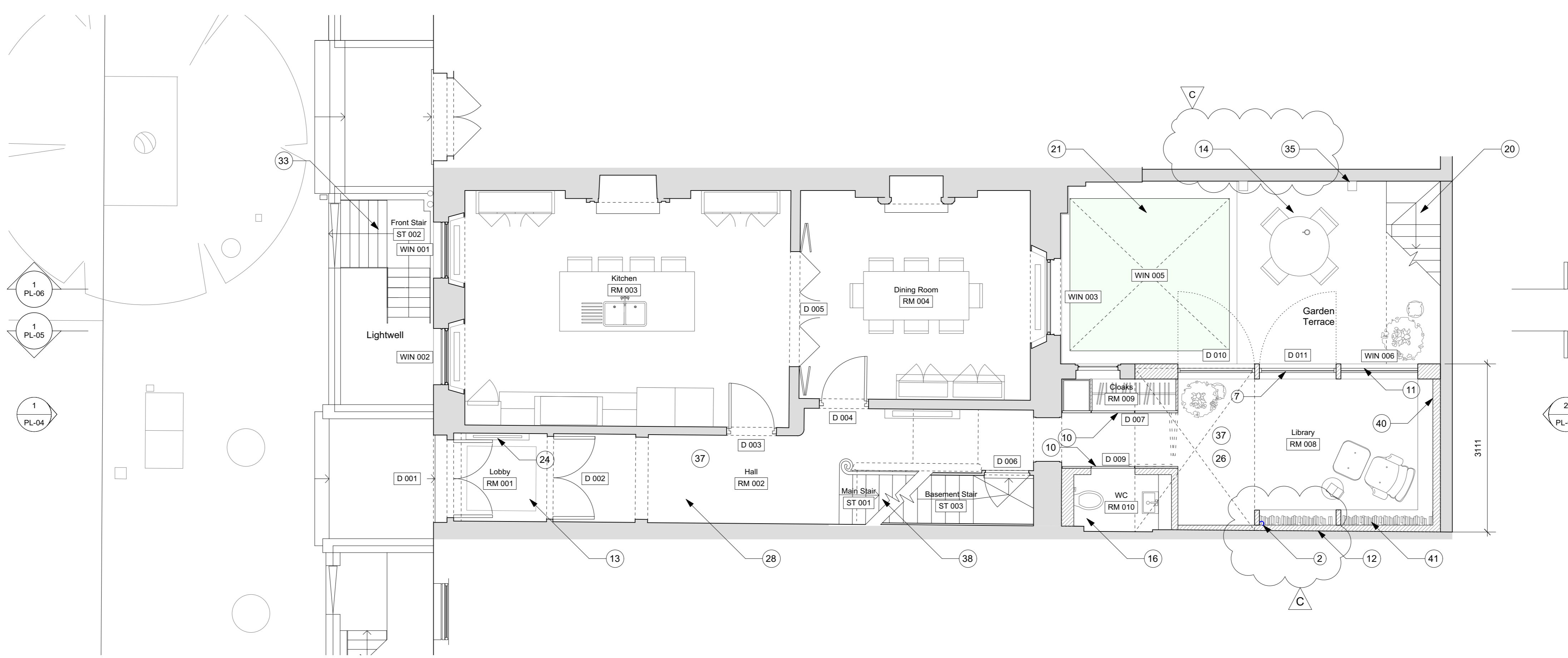
— A.C.

**General Notes**

- New openings to be created in line with Structural Engineer's design and specification
- Allow for new connections to below ground drainage
- Heating and cooling  
Existing poor quality visible external condenser units associated with redundant air conditioning units to be carefully removed from rear elevation.  
Air conditioning to be installed to all bedrooms, with external condenser units positioned discretely in valley of roof, not visible from street level or front the rear of the property  
Air conditioning to be installed to LGF gym, with external condenser unit positioned discretely within new extension roof terrace planter.  
Existing radiators and heating systems to be retained. Master bedroom and bathrooms to be supplied with new wet underfloor heating system installed between existing floor joists. New rooms to basement to be fitted with new flat panel radiators connected to existing hot water heating system.
- Fire Alarm  
Existing commercial Chubb fire alarm system including 'break glass' panels to be carefully removed and replaced with discrete domestic fire and smoke alarm system.
- Replace non-original floor finishes throughout lower ground floor



1 Basement Plan As Proposed  
Scale 1:50 @ A1 / 1:100 @ A3



2 Ground Floor Plan As Proposed  
Scale 1:50 @ A1 / 1:100 @ A3

**Notes**  
Use figured dimensions only. Do not scale from this drawing. Issued for purpose indicated only. All dimensions to be checked on site. Architect to be notified of any discrepancies before construction commences. Structural and services information is indicative only - refer to consultants' drawings and specification for details and setting out. All work and materials to be in accordance with current applicable statutory legislation and to comply with all relevant codes of practice and British and European standards. Information contained within this drawing is the sole copyright of IF\_DO (IF Design Office Ltd) and not to be reproduced without expressed wishes.

**Revisions**

A	Issued for planning	04/05/17
B	Issued for planning - revised as clouded	21/07/17
C	Issued for planning - revised as clouded	08/08/17

**Consultants**

**Key Plan**

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**Project**  
17 John Street

**Client**  
Michael + Juliette Graham

**Drawing Title**  
Proposed Basement + Ground Floor Plans

**Scale** 1:50 @ A1 / 1:100 @ A3 **Drawn** GG

**Date** February 2017 **Check** SC

Issued for	Proj. No.	Dwg. No.	Rev
Planning	1601	PL-01	C

