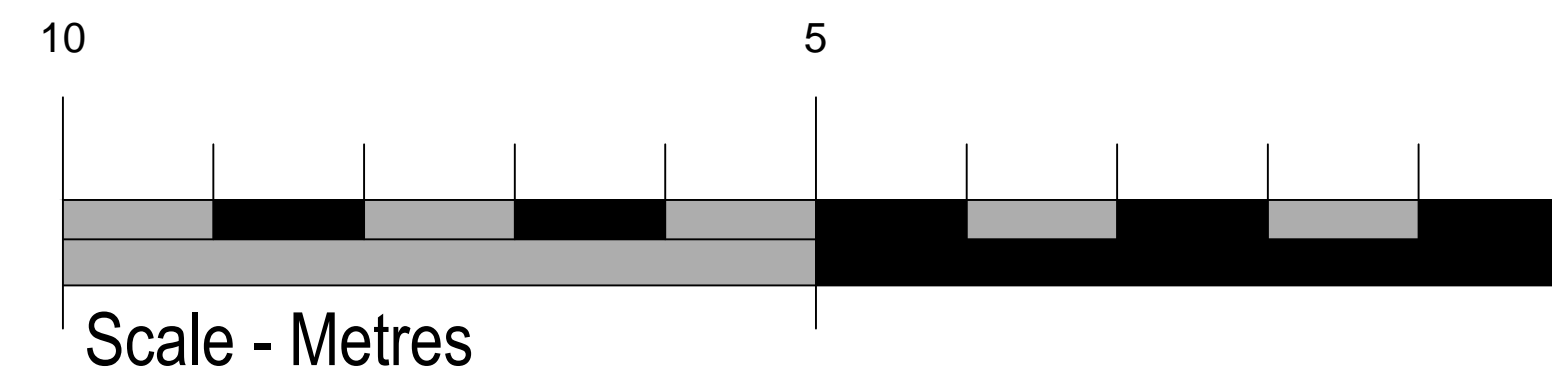


PARTIAL 3RD FLOOR PLAN AS EXISTING



revisions	date	no.

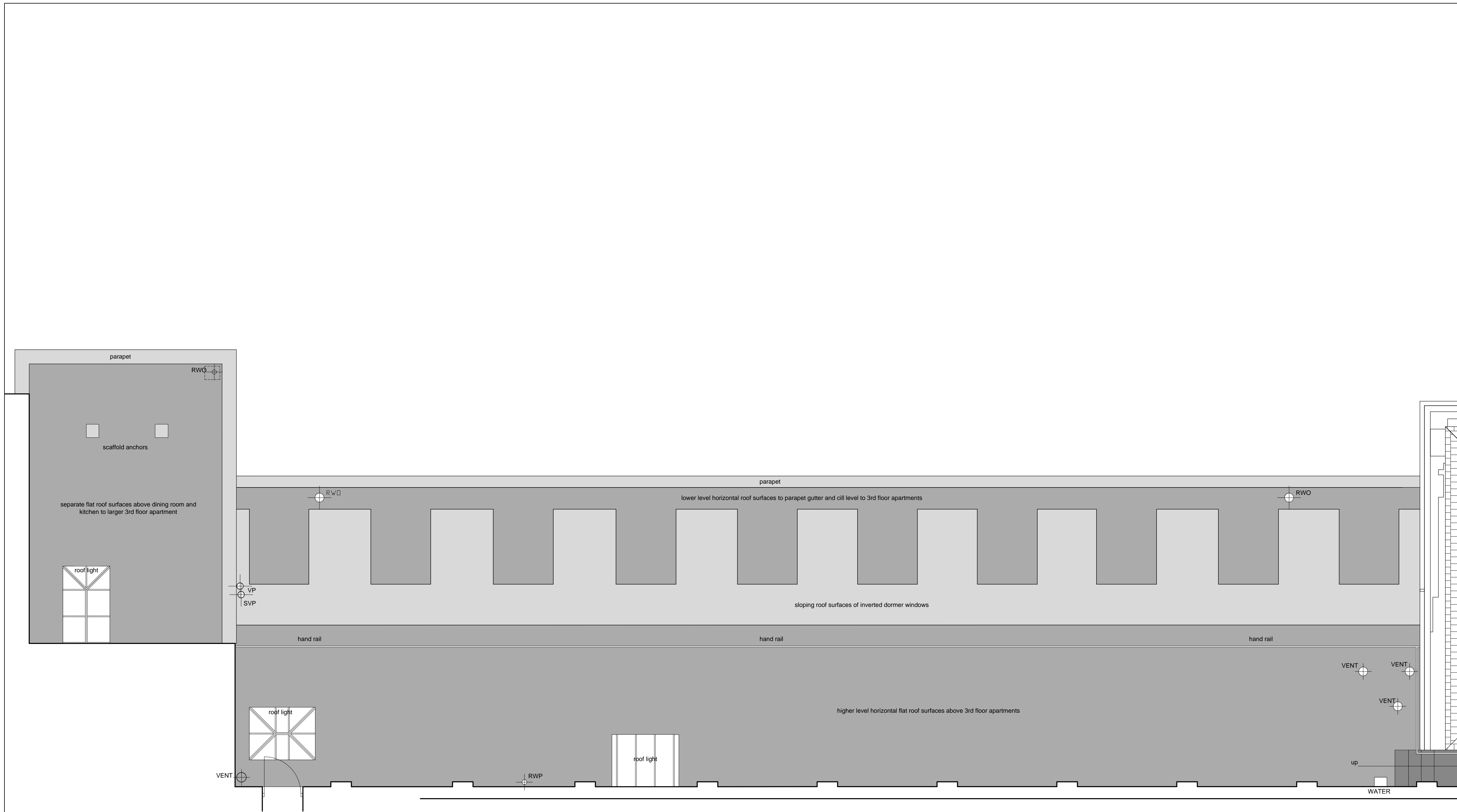
ABBOTT & ASSOCIATES
 Chartered Building Surveyors
 11 Cranmer Road Riverhead Sevenoaks Kent TN13 2AT
 Telephone: 01732 465455 Facsimile: 01732 460042
 E-mail: abbottassociates@btconnect.com

job title
 Freemasons' Hall
 Great Queen Street
 London
 WC2B 5AZ

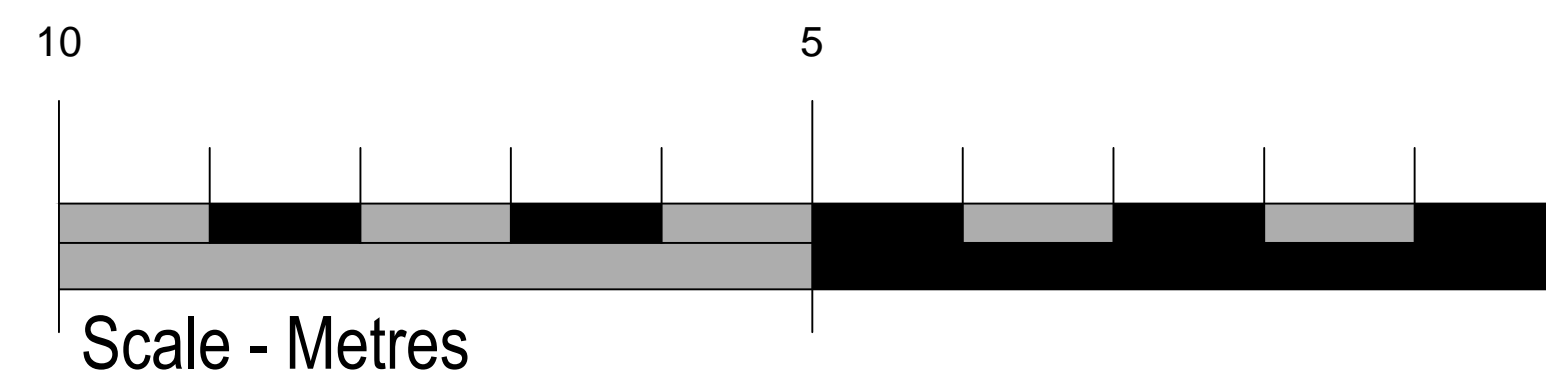
dwg title
 Third floor plan of vacant apartments as existing.

scales
 1:50 at A1

dwg no 1042.05	date May 2017	drawn PA
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ROOF PLAN OVER 3RD FLOOR APARTMENTS AS EXISTING



revisions	date	no.

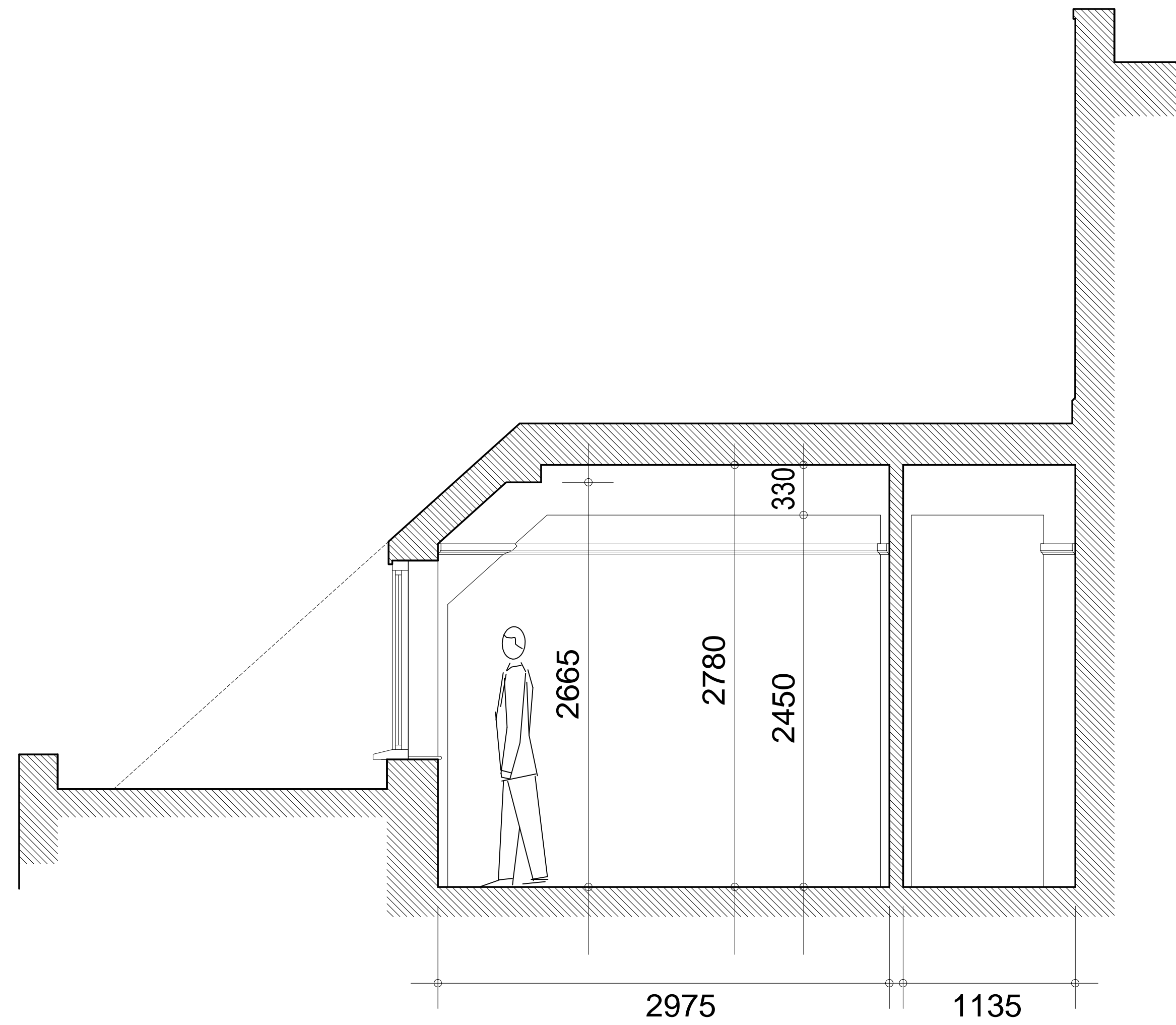
ABBOTT & ASSOCIATES
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dwg title
 Roof plan above vacant third floor
 apartments as existing.

scales
 1:50 at A1

dwg no 1042.06	date May 2017	drawn PA
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SECTION CC - CROSS SECTION AS EXISTING



Scale Bar - Metres

revisions	date	no.

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 Freemasons' Hall
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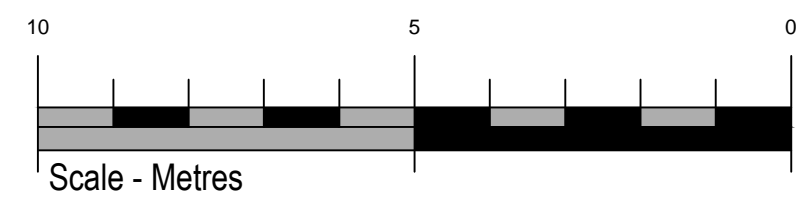
dwg title
 Cross section CC as existing.

scales
 1:25 at A1

dwg no 1042.08	date May 2017	drawn PA
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Elevation E as existing - Wild Court



revisions	date	no.

revisions	date	no.

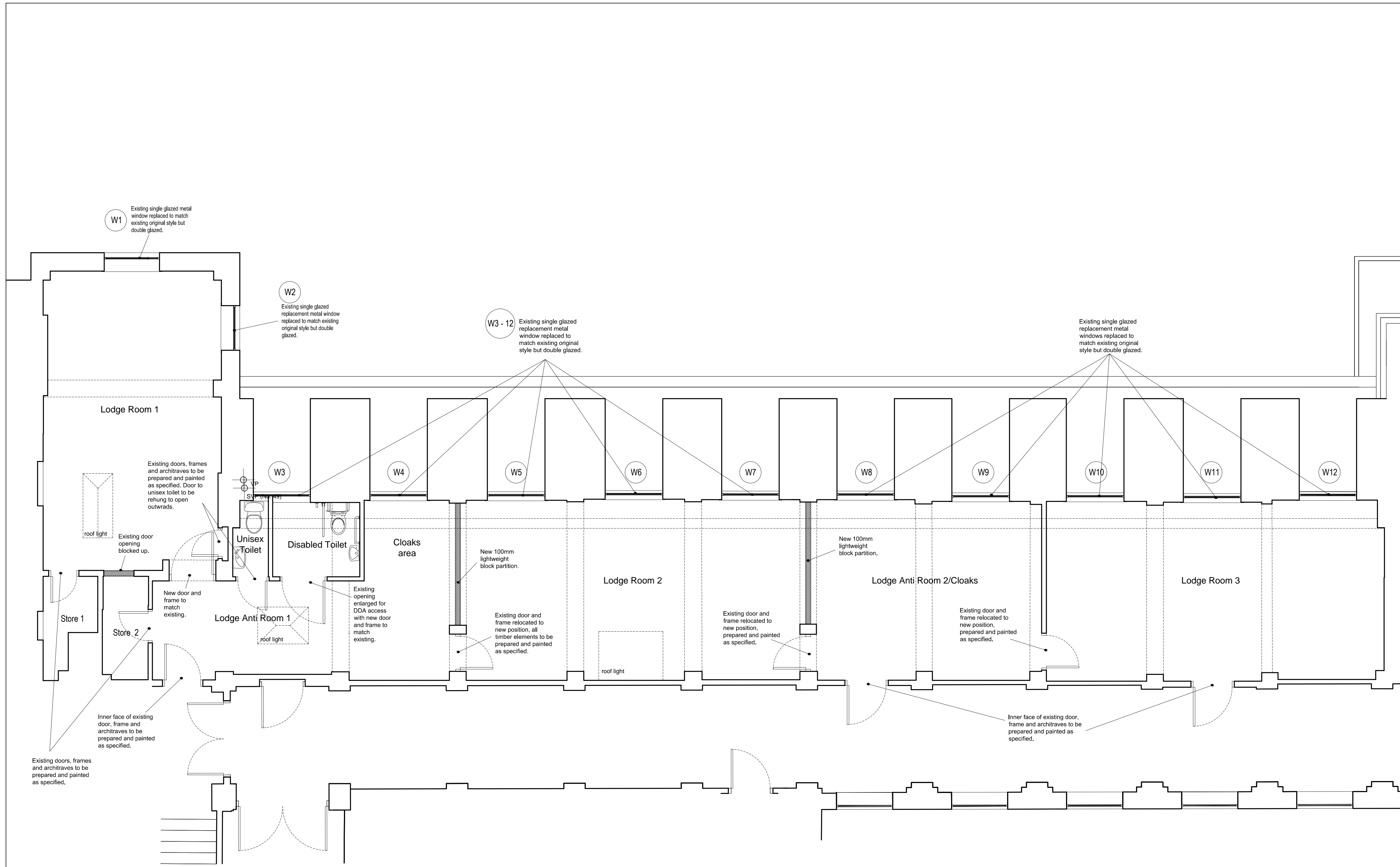
ABBOTT & ASSOCIATES
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dwg title
 Wild Court elevation as existing.

scales
 1:100 at A1

dwg no	date	drawn
1042.09	May 2017	PA



GENERAL BUILDERS WORK ARRANGEMENT DRAWING

Window numbers added.	11.08.17	A
revisions	date	no.

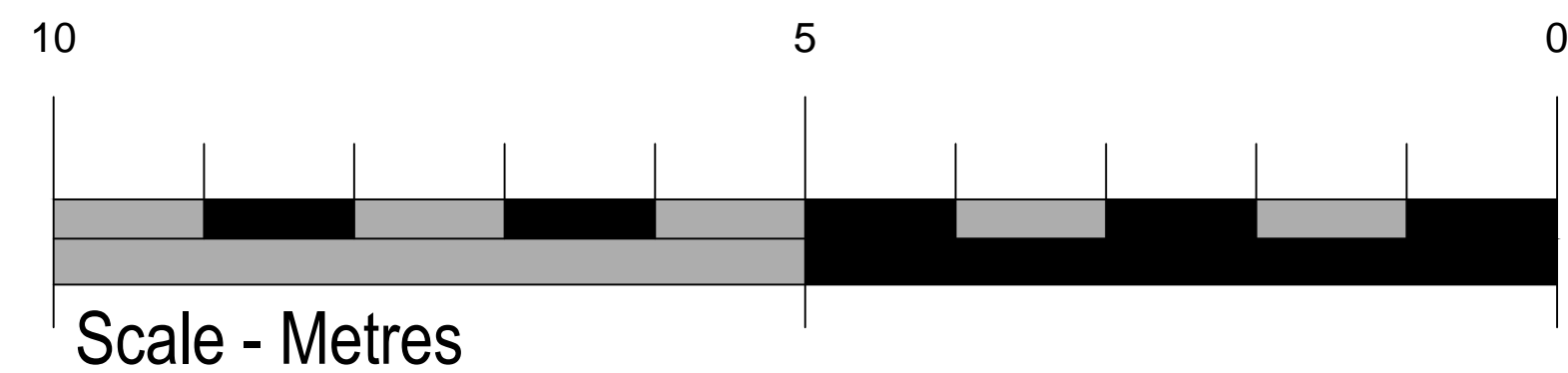
ABBOTT & ASSOCIATES
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 E-mail: abbottassociates@btconnect.com

job title
 Freemasons' Hall
 Great Queen Street
 London
 WC2B 5AZ

dwg title
 Third floor plan of vacant apartments
 showing general builders work
 arrangements.

scales
 1:50 at A1

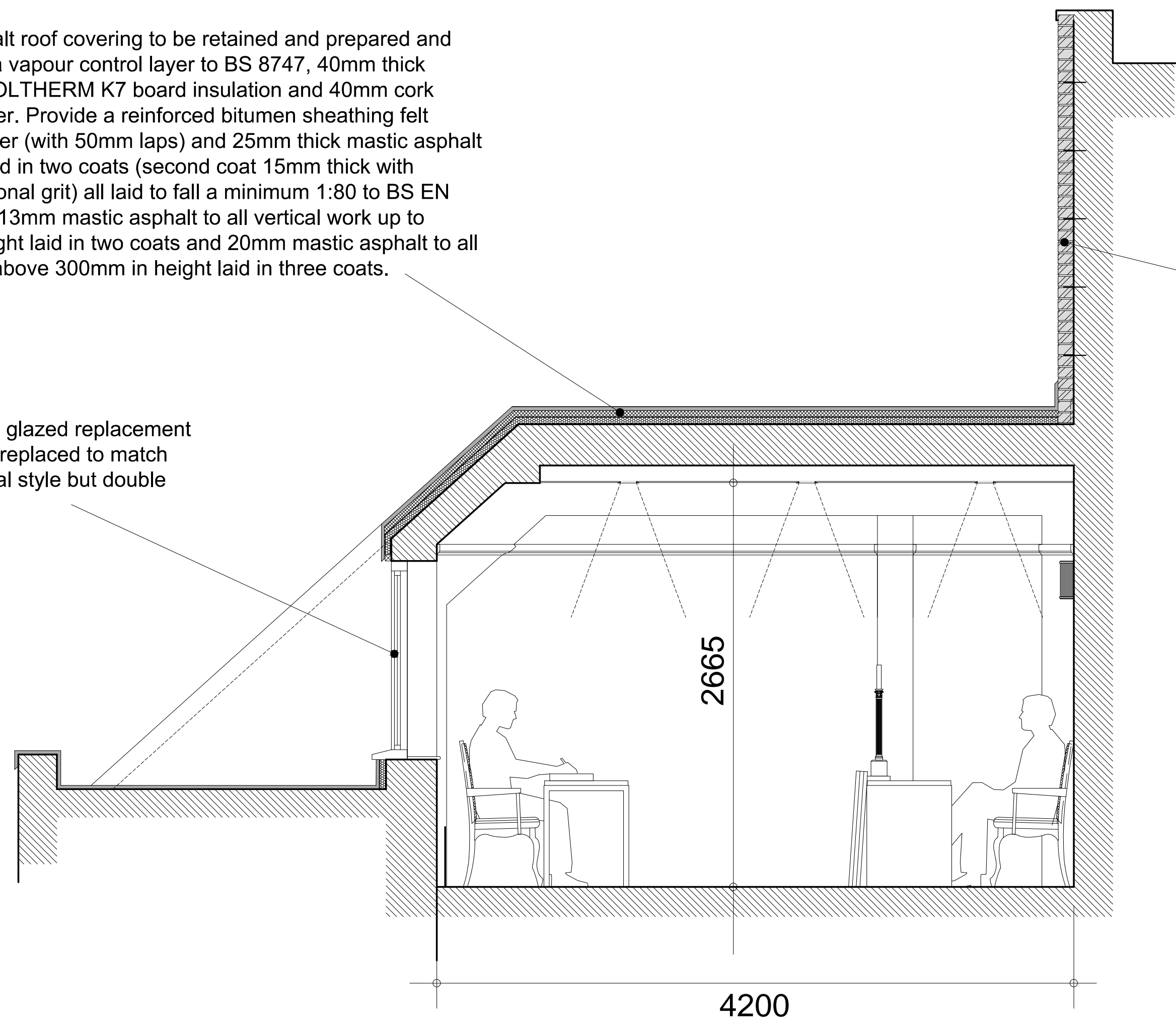
dwg no	date	drawn
1042.11/A	May 2017	PA



Existing asphalt roof covering to be retained and prepared and overlaid with a vapour control layer to BS 8747, 40mm thick Kingspan KOOLTHERM K7 board insulation and 40mm cork board overlayer. Provide a reinforced bitumen sheathing felt separating layer (with 50mm laps) and 25mm thick mastic asphalt to BS 6925 laid in two coats (second coat 15mm thick with 10-15% additional grit) all laid to fall a minimum 1:80 to BS EN BS6229. Use 13mm mastic asphalt to all vertical work up to 300mm in height laid in two coats and 20mm mastic asphalt to all vertical work above 300mm in height laid in three coats.

Existing single glazed replacement metal window replaced to match existing original style but double glazed.

New 1/2 brick wall (Ibstock C0382A TRADESMAN LIGHT 73mm) laid in gauged stretcher bond in cement:lime mortar 1:1:6 to BS EN 998-2. Fix new wall to existing using Helifix StarTie stainless steel wall ties positioned every 900mm horizontally and 450mm vertically in accordance with the manufacturers instructions.



SECTION FF - CROSS SECTION AS PROPOSED



Scale Bar - Metres

revisions	date	no.

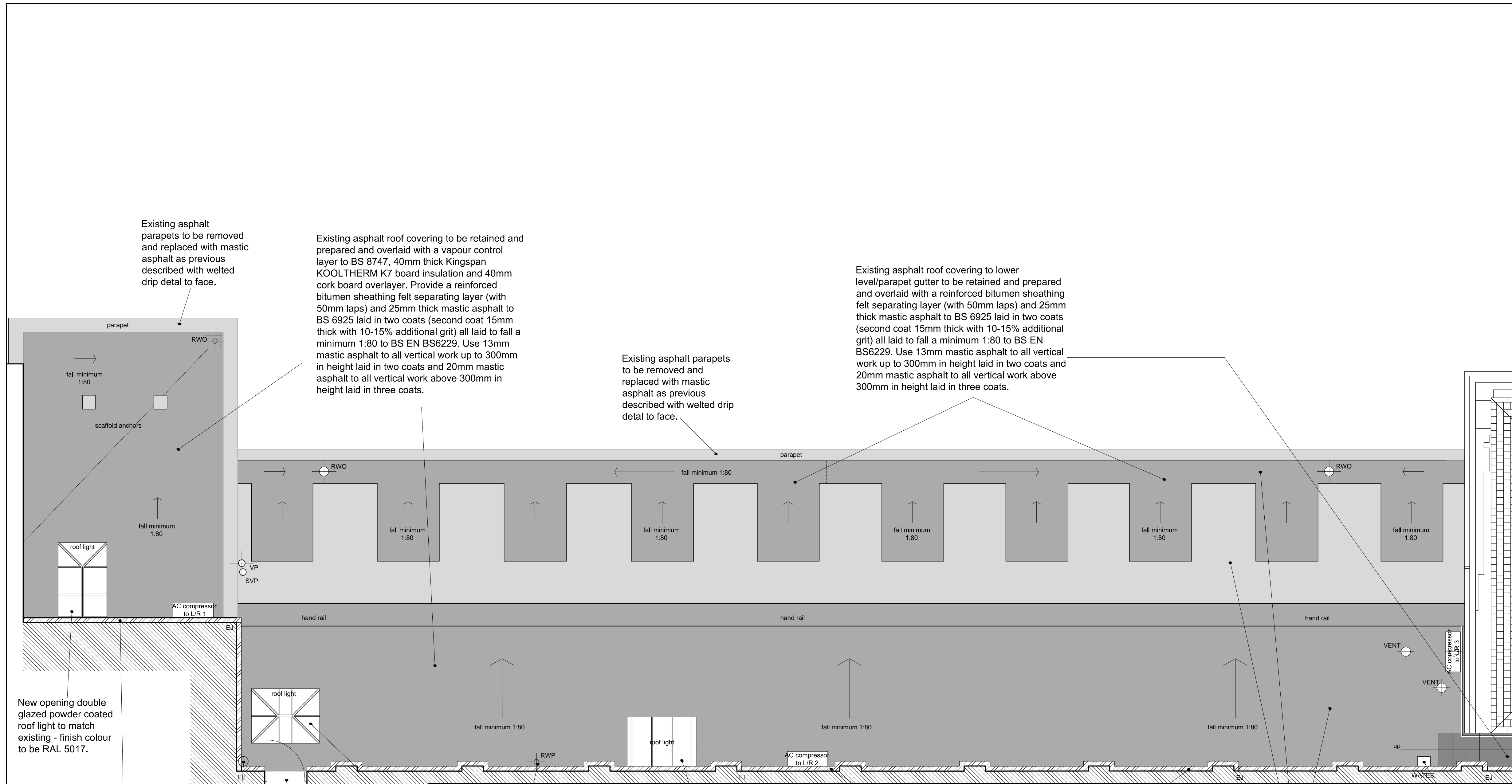
ABBOTT & ASSOCIATES
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dwg title
 Cross section FF as proposed.

scales
 1:25 at A1

dwg no 1042.16	date May 2017	drawn PA
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New opening double glazed powder coated roof light to match existing - finish colour to be RAL 5017.

New 1/2 brick wall (Ibstock C0382A TRADESMAN LIGHT 73mm) laid in gauged stretcher bond in cement:lime mortar 1:1:6 to BS EN 998-2. Fix new wall to existing using Helifix StarTie stainless steel wall ties positioned every 900mm horizontally and 450mm vertically in accordance with the manufacturers instructions. Provide 10mm wide expansion joints every 6.0M from each end or change in direction and 12.0M apart. Joint to be filled with bitumen impregnated fibre board and grey one part flexible polymer sealant.

Existing cast iron vent from water tank housing to be removed.

Existing door and frame to be removed and replaced to match existing, complete with hardwood threshold/cill. Provide matching stone lintel above door opening to new 1/2 brick walling, ensure 150mm end bearing.

New opening double glazed powder coated roof light to match existing - finish colour to be RAL 5017.

Existing cast iron nwp and hopper to be refurbished and repainted WHITE/BLUE to match inner courtyard colours and related to facilitate new brick skin. Include for new BR Code 4 lead chute at top level.

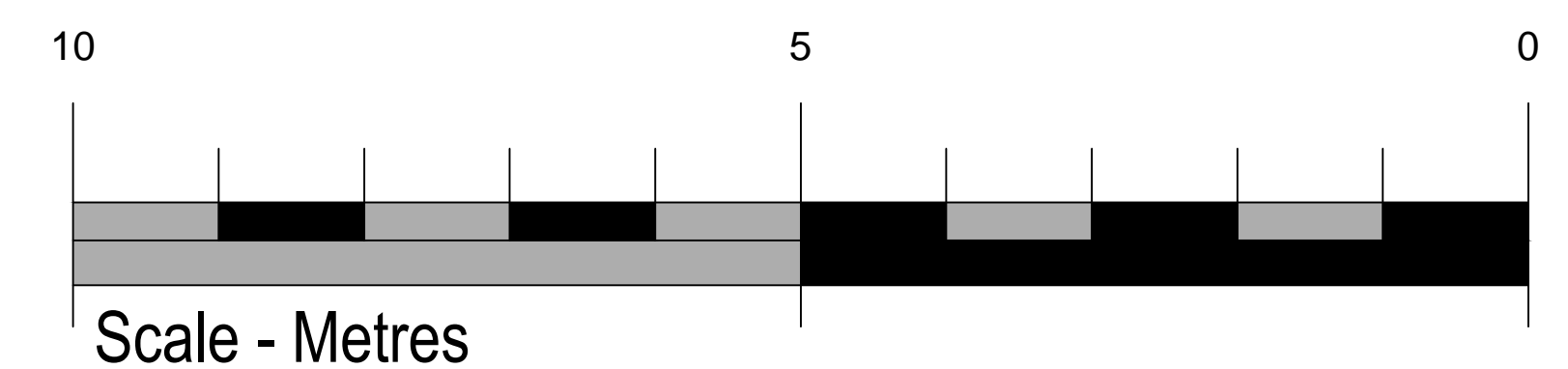
New opening double glazed powder coated roof light to match existing - finish colour to be RAL 5017.

New 1/2 brick wall (Ibstock C0382A TRADESMAN LIGHT 73mm) laid in gauged stretcher bond in cement:lime mortar 1:1:6 to BS EN 998-2. Fix new wall to existing using Helifix StarTie stainless steel wall ties positioned every 900mm horizontally and 450mm vertically in accordance with the manufacturers instructions.

Existing asphalt roof covering to be prepared and overlaid with a vapour control layer to BS 8747, 40mm thick Kingspan KOOLTHERM K7 board insulation and 40mm cork board overlayer. Provide a reinforced bitumen sheathing felt separating layer (with 50mm laps) and 25mm thick mastic asphalt to BS 6925 laid in two coats (second coat 15mm thick with 10-15% additional grit) all laid to fall a minimum 1:80 to BS EN BS6229. Use 13mm mastic asphalt to all vertical work up to 300mm in height laid in two coats and 20mm mastic asphalt to all vertical work above 300mm in height laid in three coats.

Existing timber housing to water pipe to be replaced. Water pipe/tap to be adjusted to facilitate new brick skin.

ROOF PLAN OVER 3RD FLOOR APARTMENTS AS PROPOSED



revisions	date	no.

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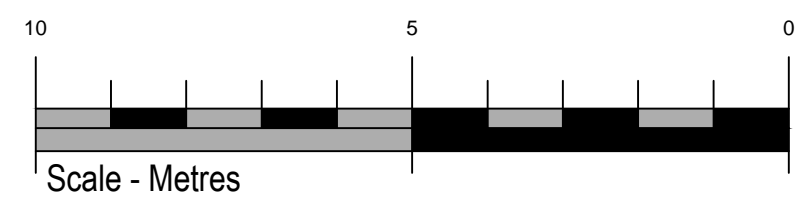
dwg title
Roof plan above vacant third floor apartments showing proposed re-roofing works.

scales
1:50 at A1

dwg no 1042.17	date May 2017	drawn PA
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Elevation E as proposed - Wild Court



revisions	date	no.

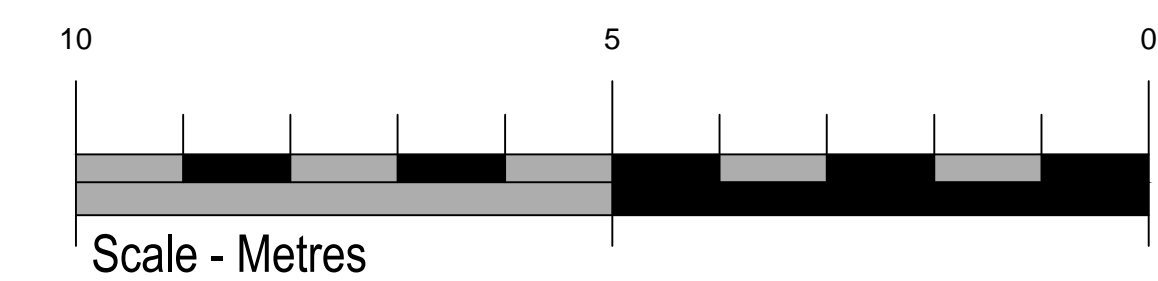
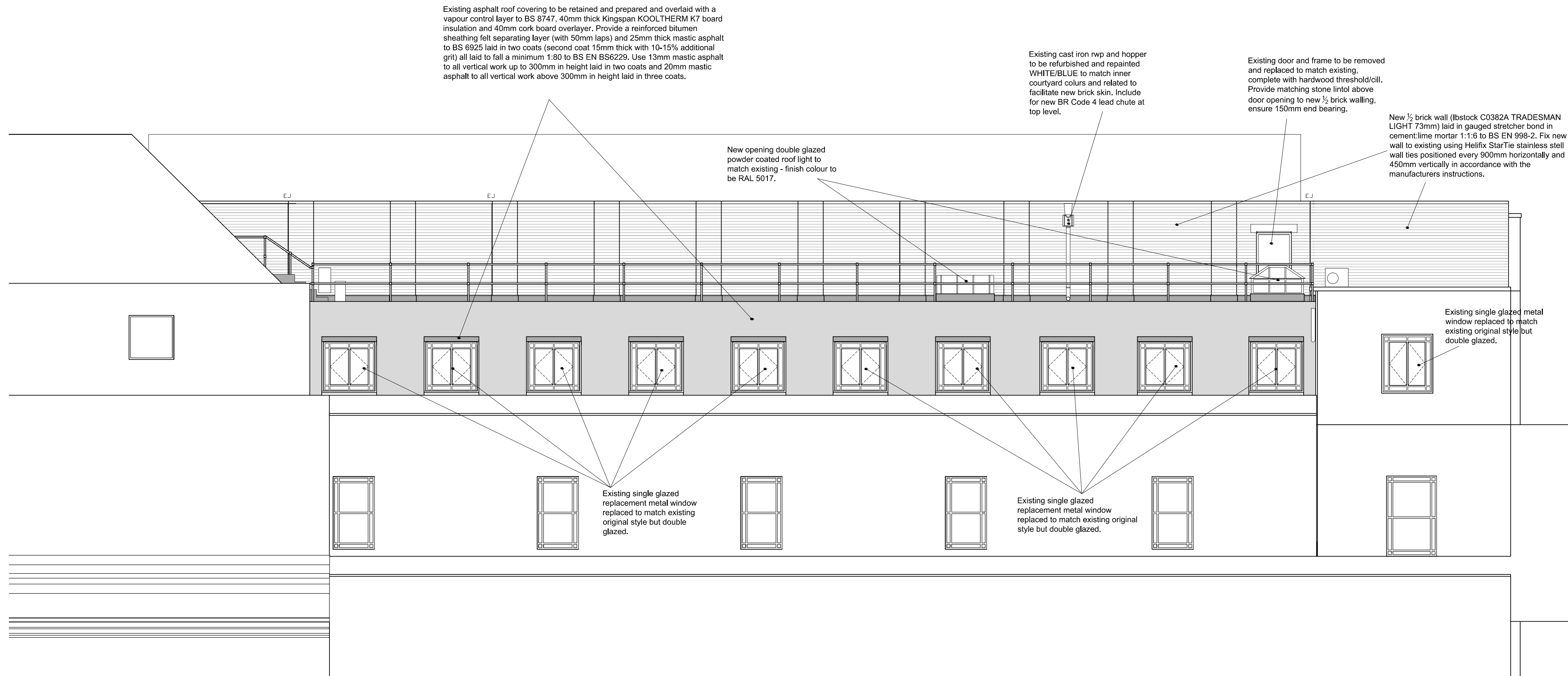
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 WC2B 5AZ

dwg title
 Wild Court elevation as proposed.

scales
 1:100 at A1

dwg no 1042.18	date May 2017	drawn PA
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revisions	date	no.

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job title
 Freemasons' Hall
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 London
 WC2B 5AZ

dwg title
 Partial elevation of third floor apartments
 and adjacent roof area of Wild Court as
 proposed.

scales
 Not to scale

dwg no 1042.19	date May 2017	drawn PA
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