

DATED

15 August

2017

(1) LONDON UNDERGROUND LIMITED

-and-

(2) UK REAL ESTATE LIMITED

-and-

(3) LLOYDS BANK PLC

-and-

**(4) THE MAYOR AND BURGESSES OF
THE LONDON BOROUGH OF CAMDEN**

DEED OF VARIATION

Relating to the Agreement dated 26 August 2014
Between the Mayor and the Burgesses of the
London Borough of Camden,
London Underground Limited, UK Real Estate Limited and Lloyds Bank PLC
under section 106 of the Town and
Country Planning Act 1990 (as amended) and section 278 of the Highways Act 1980
Relating to development at premises known as
1-5 Kings Cross Bridge, 281 Pentonville Road and 368 Grays Inn Road
London N1 9NW

Andrew Maughan
Head of Legal Services
London Borough of Camden
Town Hall
Judd Street
London WC1H 9LP

Tel: 020 7974 1918
Fax: 020 7974 2962

CLS/COM/00/1800.236
DoV Final



THIS DEED is made on the 15th day of August 2017

BETWEEN

1. **LONDON UNDERGROUND LIMITED** (Co. Regn. No. 01900907) of 55 Broadway, London SW1H 0BD (hereinafter called "the Freeholder") of the first part
2. **UK REAL ESTATE LIMITED** (Co. Regn. No. 1996553) of ~~22 Blenheim Terrace~~ Metropolitan Wharf, 70 Wapping Wall, London ~~SW8 0EB~~ E1W 3SS (hereinafter called "the Leaseholder") of the second part
3. **LLOYDS BANK PLC** (Co. Regn. No. 2065) of Pendeford Securities Centre, Pendeford Business Park, Wobaston Road, Wolverhampton WV9 5HZ (hereinafter called "the Mortgagee") of the third part
4. **THE MAYOR AND BURGESSES OF THE LONDON BOROUGH OF CAMDEN** of Town Hall, Judd Street, London WC1H 9LP (hereinafter called "the Council") of the fourth part

WHEREAS:

- 1.1 The Council, London Underground Limited, UK Real Estate Limited and Lloyds Bank PLC entered into an agreement dated 26 August 2014 pursuant to Section 106 of the Town and Country Planning Act 1990 (as amended).
- 1.2 The Freeholder is registered at the Land Registry as the freehold proprietor with Title absolute of the Property under Title Number NGL926828 and as the leasehold proprietor of part of the property under Title Numbers NGL932036 and NGL932037.
- 1.3 The Leaseholder is registered at the Land Registry as the leasehold proprietor with Title absolute of part the Property under Title Number NGL930857 subject to a charge to the Mortgagee and as the freehold proprietor of part of the property under Title Number NGL380341 subject to a charge to the Mortgagee.
- 1.4 The Mortgagee as mortgagee under a legal charge registered under Title Number NGL380341 dated 19 December 2014 and a legal charge registered under Title Number NGL930857 dated 27 March 2015 is willing to enter into this Agreement to give its consent to the same.

- 1.5 The Freeholder and the Leaseholder shall hereinafter be referred to as "the Owner".
- 1.6 The Owner is the freehold and the leasehold owner of and is interested in the Property for the purposes of Section 106(9) of the Act.
- 1.7 The Council is the local planning authority for the purposes of the Act and considers it expedient in the interests of the proper planning of its area that the development of the Property should be restricted or regulated in accordance with this Deed.
- 1.8 A new planning application in respect of the Property and to amend the Original Planning Permission was submitted to the Council by the Owner and validated on 3 March 2017 for which the Council resolved to grant permission conditionally under reference 2017/1206/P subject to the conclusion of this Deed.
- 1.9 This Deed of Variation is made by virtue of the Town and Country Planning Act 1990 Section 106A (as amended) and is a planning obligation for the purposes of that section.
- 1.10 Without prejudice to the terms of the other covenants contained in the Existing Agreement the parties hereto have agreed to vary the terms of the Existing Agreement as hereinafter provided.

2. INTERPRETATION

- 2.1 All words and phrases defined in the Existing Agreement shall have the same meaning in this Deed save where the context otherwise dictates and for the avoidance of any doubt the Existing Agreement shall remain in full force and effect save as varied by this Deed.
- 2.2 All reference in this Deed to clauses in the Existing Agreement are to clauses within the Existing Agreement.
- 2.3 Where in this Deed reference is made to a clause schedule or recital such reference (unless the context otherwise requires) is a reference to a clause schedule or recital of this Agreement.

2.4 Headings are for ease of reference only and are not intended to be construed as part of this Deed and shall not be construed as part of this Agreement and shall not effect the construction of this Deed.

2.5 Unless the context otherwise requires references to the singular shall include the plural and vice versa.

2.6 It is hereby agreed between the Parties that save for the provisions of clauses 1, 2, 4, 5 and 6 hereof all of which shall come into effect on the date hereof the covenants undertakings and obligations contained within this Deed shall become binding upon the Owner upon the Implementation Date.

2.7 References in this Deed to the Owner and Mortgagee shall include their successors in title.

2.8 In this Deed the following expression shall unless the context otherwise states have the following meaning now allocated to it.

2.8.1 "Deed" this Deed of Variation made pursuant to Section 106A of the Act

2.8.2 "Existing Agreement" the Section 106 Agreement under the Town and Country Planning Act 1990 (as amended) dated 26 August 2014 made between the Council and London Underground Limited, UK Real Estate Limited and Lloyds Bank PLC

2.8.3 "Original Planning Permission" means the planning permission granted by the Council on 26 August 2014 referenced 2014/0371/P allowing the Erection of three storey building comprising retail/restaurant (Class A1/A3) at ground floor and office (Class B1a) at first and second floors and roof top plant, following demolition of existing building as shown on drawing numbers Site Plan ref. P01;

Basement Plan ref. P02; Ground Floor Plan ref. P03; Roof Level Plan ref. P04; Tunnel Level ref. P05; Elevation South ref. P06; Elevation East ref. P07; Elevation North ref. P08; Typical Cross Section ref. P09; Typical Long Section ref. P10; Basement Plan ref. P20; Ground Floor Plan ref. P21; Roof Plan ref. P22; Elevation South ref. P23; Elevation East ref. P24; Elevation North ref. 25; Section East-West ref. P26; Section North-South ref. P27; Basement Plan ref. P30; Ground Floor Plan ref. P31b; First Floor Plan ref. P32; Second Floor Plan ref. P33; Roof Plan ref. P34; Plant Level Plan ref. P35; Elevation South ref. P36; Elevation East ref. P37; Elevation North ref. P38; Section Short ref. P39; Section Stairs ref. P40; Ground Floor Plan Retail ref. P41a; Planning Statement prepared by Savills (dated Jan 2013); Transport Statement prepared by TPP Consulting (dated Dec 2013); Air Quality Assessment prepared by Ramboll (dated Dec 2013); BREEAM Pre-Assessment prepared by dsa Engineering (dated Nov 2013); Energy and Sustainability Statement prepared by dsa Engineering (dated Nov 2013); Daylight and Sunlight Assessment prepared by Savills (dated 16 Dec 2013); External Building Fabric and Plant Assessment prepared by RBA Acoustics (ref 5686/EBF); and Vibration and Re-Radiated Noise Assessment prepared by RBA Acoustics (ref 5686/VIB); Design and Access Statement by Latitude (ref: 1209_13.11.22); Email from Savills (dated 17/03/2014)

3. VARIATION TO THE EXISTING AGREEMENT

3.1 The following definitions contained in the Existing Agreement shall be varied as follows:

3.1.1 "Development" shall mean the development authorised by the planning permission with reference 2014/0371/P dated 26 August 2014 as amended by:

Variation of Condition 2 (approved plans) of planning permission reference: 2014/0371/P dated 26/08/2014 (for the erection of a three storey building comprising retail/restaurant (Class A1/A3) at ground floor and office (Class B1a) at first and second floors and roof top plant, following demolition of existing building) to amend the access from street to basement levels; raise the ground floor slab to allow access to underground tunnels; provision of basement services (cycle/refuse storage); alterations to upper floor layout; infill of approved void between first and second floor levels; provision of a full length facade to the ground floor elevation facing Kings Cross Bridge; revised materials for office entrance on Grays Inn Road and an increase in the height of approved plant screen, and Variation of Condition 3 (method statement) to allow some above ground development to commence prior to the submission/approval of the method statement for development proposed below ground level as shown on drawing numbers:- Existing Plans - Site Plan ref. P01; Basement Plan ref. P02; Ground Floor Plan ref. P03; Roof Level Plan ref. P04; Tunnel Level ref. P05; Elevation South ref. P06; Elevation East ref.

P07; Elevation North ref. P08; Typical Cross Section ref. P09; Typical Long Section ref. P10;

Demolition Plans - Basement Plan ref. P20; Ground Floor Plan ref. P21; Roof Plan ref. P22; Elevation South ref. P23; Elevation East ref. P24; Elevation North ref. P25; Section East-West ref. P26; Section North-South ref. P27;

Proposed Plans - Basement Plan ref. P30 H; Ground Floor Plan ref. P31 H; First Floor Plan ref. P32 F; Second Floor Plan ref. P33 F; Roof Plan ref. P34 G; Plant Level Plan ref. P35 G; Elevation South ref. P36 E; Elevation East ref. P37 E; Elevation North ref. P38 F; Section Short ref. P39 F; Section Stairs ref. P40 E; Ground Floor Plan Retail ref. P41 C;

Documents - Planning Statement prepared by Savills (dated Jan 2013); Transport Statement prepared by TPP Consulting (dated Dec 2013); Air Quality Assessment prepared by Ramboll (dated Dec 2013); BREEAM Pre-Assessment prepared by dsa Engineering (dated Nov 2013); Energy and Sustainability Statement prepared by dsa Engineering (dated Nov 2013); Daylight and Sunlight Assessment prepared by Savills (dated 16 Dec 2013); External Building Fabric and Plant Assessment prepared by RBA Acoustics (ref 5686/EBF); and Vibration and Re-Radiated Noise Assessment prepared by RBA Acoustics (ref 5686/VIB); Design and Access Statement by Latitude (ref: 1209_13.11.22) & Design and Access Statement by Latitude (1209_07_15_Rev A), Email from Savills (dated 17/03/2014)

3.1.2 "Planning Permission" the planning permission for the Development under reference number 2017/1206/P granted by the Council in the form of the draft annexed hereto

3.1.3 "Planning Application" the application for Planning Permission in respect of the Property submitted on 28 February 2017 by the Owner and given reference number 2017/1206/P

3.2 All references in Clause 5 and Clause 6 of the Existing Agreement to "planning reference "2014/0371/P" shall be replaced with "planning reference "2017/1206/P".

3.3 The following definition shall be added to the Existing Agreement:¶

3.3.1 "Above Ground Works
Method Statement"

*given document number
LB40147 - MST - 0003* ✓
the method statement prepared by J Murphy & Sons and agreed with the Freeholder and the Council detailing the procedures required to enable above ground development to commence, a copy of which is annexed hereto as Appendix 1

3.4 The following obligation shall be added as a new Clause 4.8 to the Existing Agreement:¶

4.8 ABOVE GROUND WORKS¶

¶

4.8.1. The Leaseholder acknowledges and agrees that any works carried out before Condition 3 (method statement) of the Planning Permission is required to be discharged shall be carried out in accordance with the Above Ground Works Method Statement unless otherwise agreed in writing with the Freeholder and the Council.

3.5 The following words shall be added at the start of Clause 5.4 of the Existing Agreement:
"Subject to the provisions of Clause 6.9.2."

3.5 In all other respects the Existing Agreement (as varied by this Deed) shall continue in full force and effect.

4. **COMMENCEMENT**

4.1 Without prejudice to the effect of Clause 3.5 in the Existing Agreement the provisions in this Deed shall take effect on the implementation of the Planning Permission referenced 2017/1206/P.

5 **PAYMENT OF THE COUNCIL'S LEGAL COSTS**

5.1 The Owner agrees to pay the Council (on or prior to completion of this Deed) its reasonable legal costs incurred in preparing this Deed

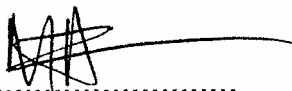
6. **REGISTRATION AS LOCAL LAND CHARGE**

6.1 This Deed shall be registered as a Local Land Charge

IN WITNESS WHEREOF the Council and the Owner has caused their respective Common Seals to be affixed and the Mortgagee has caused this Deed to be executed as a Deed the day and year first above written.

EXECUTED AS A DEED BY)
LONDON UNDERGROUND LIMITED)
in the presence of:-)





5595

CONTINUATION OF THE DEED OF VARIATION IN RELATION TO 1-5 KINGS CROSS BRIDGE,
281 PENTONVILLE ROAD AND 368 GRAYS INN ROAD LONDON N1 9NW

EXECUTED AS A DEED BY acting by its)
UK REAL ESTATE LIMITED ^ attorney)
in the presence of:- Lucy Barber)

[Signature]

[Signature]
.....
(Director) witness

..... LAURA PARRISH
(Director/Secretary) Name

Address: 31 HILL STREET
LONDON W1J 5LS

EXECUTED AS A DEED by the
Attorney Authorised on behalf of
LLOYDS BANK PLC

[Signature]

[Signature]
.....
Duly Authorised Signatory

Witness: *[Signature]*
Name: LINDA NYAMERIKYE
Address: Lloyds Bank
10 Gresham Street
London, EC2V 7AE

THE COMMON SEAL OF THE MAYOR
AND BURGESSES OF THE LONDON
BOROUGH OF CAMDEN
was hereunto affixed by Order:-)
)
)
)

[Signature]
.....
Duly Authorised Officer





Savills
33 Margaret Street
London
W1G 0JD

Application Ref: **2017/1206/P**
Please ask for: **Robert Lester**
Telephone: 020 7974 2188

Dear Sir/Madam

5 July 2017
DRAFT
DECISION

Town and Country Planning Act 1990 (as amended)

**Variation or Removal of Condition(s) Granted subject to a Section 106 Legal
Agreement and Warning of Enforcement Action**

Address:
1-5 Kings Cross Bridge
281 Pentonville Road and 368 Grays Inn Road
London
N1 9NW

Proposal:

Variation of Condition 2 (approved plans) of planning permission reference: 2014/0371/P dated 26/08/2014 (for the erection of a three storey building comprising retail/restaurant (Class A1/A3) at ground floor and office (Class B1a) at first and second floors and roof top plant, following demolition of existing building) to amend the access from street to basement levels; raise the ground floor slab to allow access to underground tunnels; provision of basement services (cycle/refuse storage); alterations to upper floor layout; infill of approved void between first and second floor levels; provision of a full length facade to the ground floor elevation facing Kings Cross Bridge; revised materials for office entrance on Grays Inn Road and an increase in the height of approved plant screen, and Variation of Condition 3 (method statement) to allow some above ground development to commence prior to the submission/approval of the method statement for development proposed below ground level.

Drawing Nos: Existing Plans - Site Plan ref. P01; Basement Plan ref. P02; Ground Floor Plan ref. P03; Roof Level Plan ref. P04; Tunnel Level ref. P05; Elevation South ref. P06;

Executive Director Supporting Communities

Elevation East ref. P07; Elevation North ref. P08; Typical Cross Section ref. P09; Typical Long Section ref. P10;

Demolition Plans - Basement Plan ref. P20; Ground Floor Plan ref. P21; Roof Plan ref. P22; Elevation South ref. P23; Elevation East ref. P24; Elevation North ref. P25; Section East-West ref. P26; Section North-South ref. P27;

Proposed Plans - Basement Plan ref. P30 H; Ground Floor Plan ref. P31 H; First Floor Plan ref. P32 F; Second Floor Plan ref. P33 F; Roof Plan ref. P34 G; Plant Level Plan ref. P35 G; Elevation South ref. P36 E; Elevation East ref. P37 E; Elevation North ref. P38 F; Section Short ref. P39 F; Section Stairs ref. P40 E; Ground Floor Plan Retail ref. P41 C;

Documents - Planning Statement prepared by Savills (dated Jan 2013); Transport Statement prepared by TPP Consulting (dated Dec 2013); Air Quality Assessment prepared by Ramboll (dated Dec 2013); BREEAM Pre-Assessment prepared by dsa Engineering (dated Nov 2013); Energy and Sustainability Statement prepared by dsa Engineering (dated Nov 2013); Daylight and Sunlight Assessment prepared by Savills (dated 16 Dec 2013); External Building Fabric and Plant Assessment prepared by RBA Acoustics (ref 5686/EBF); and Vibration and Re-Radiated Noise Assessment prepared by RBA Acoustics (ref 5686/VIB); Design and Access Statement by Latitude (ref: 1209_13.11.22) & Design and Access Statement by Latitude (1209_07_15_Rev A), Email from Savills (dated 17/03/2014).

The Council has considered your application and decided to grant permission subject to the following condition(s):

Conditions and Reasons:

- 1 The development hereby permitted must be begun not later than the end of three years from the 26th August 2014

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 For the purposes of this decision, condition 2 (approved plans) of planning permission 2014/0371/P dated 26th August 2014 shall be replaced with the following condition:

REPLACEMENT CONDITION 2

The development hereby permitted shall be carried out in accordance with the following approved plans:

Existing Plans - Site Plan ref. P01; Basement Plan ref. P02; Ground Floor Plan ref. P03; Roof Level Plan ref. P04; Tunnel Level ref. P05; Elevation South ref. P06; Elevation East ref. P07; Elevation North ref. P08; Typical Cross Section ref. P09; Typical Long Section ref. P10;

Demolition Plans - Basement Plan ref. P20; Ground Floor Plan ref. P21; Roof Plan ref. P22; Elevation South ref. P23; Elevation East ref. P24; Elevation North ref.

P25; Section East-West ref. P26; Section North-South ref. P27;

Proposed Plans - Basement Plan ref. P30 H; Ground Floor Plan ref. P31 H; First Floor Plan ref. P32 F; Second Floor Plan ref. P33 F; Roof Plan ref. P34 G; Plant Level Plan ref. P35 G; Elevation South ref. P36 E; Elevation East ref. P37 E; Elevation North ref. P38 F; Section Short ref. P39 F; Section Stairs ref. P40 E; Ground Floor Plan Retail ref. P41 C;

Documents - Planning Statement prepared by Savills (dated Jan 2013); Transport Statement prepared by TPP Consulting (dated Dec 2013); Air Quality Assessment prepared by Ramboll (dated Dec 2013); BREEAM Pre-Assessment prepared by dsa Engineering (dated Nov 2013); Energy and Sustainability Statement prepared by dsa Engineering (dated Nov 2013); Daylight and Sunlight Assessment prepared by Savills (dated 16 Dec 2013); External Building Fabric and Plant Assessment prepared by RBA Acoustics (ref 5686/EBF); and Vibration and Re-Radiated Noise Assessment prepared by RBA Acoustics (ref 5686/VIB); Design and Access Statement by Latitude (ref. 1209_13.11.22) & Design and Access Statement by Latitude (1209_07_15_Rev A), Email from Savills (dated 17/03/2014).

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 No construction below ground level shall take place until a detailed design and method statement for all foundations and other development proposed below ground level which takes account of the adjoining operations and structures of London Underground, has been submitted to and approved by the local planning authority in consultation with the relevant rail infrastructure undertaker. The development shall thereafter be carried out in accordance with the approved design and method statements.

Reason: To ensure that the development does not impact on existing transport infrastructure in accordance with the requirements of policy DP17 of the London Borough of Camden Local Development Framework Development Policies and emerging policy T3 of the London Borough of Camden Local Plan.

- 4 The A1/A3 use hereby permitted shall not be carried out outside the following times: 07:00 - Midnight Mondays to Saturdays and 08:00 - 23:30 on Sundays and Bank Holidays.

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policies CS5 and CS7 of the London Borough of Camden Local Development Framework Core Strategy and policy DP12 and DP26 of the London Borough of Camden Local Development Framework Development Policies and emerging policies A1, A4 and TC4 of the London Borough of Camden Local Plan.

- 5 Noise levels at a point 1 metre external to sensitive facades shall be at least 5dB(A) less than the existing background measurement (LA90), expressed in dB(A) when all plant/equipment (or any part of it) is in operation unless the plant/equipment hereby permitted will have a noise that has a distinguishable, discrete continuous note (whine, hiss, screech, hum) and/or if there are distinct

impulses (bangs, clicks, clatters, thumps), then the noise levels from that piece of plant/equipment at any sensitive façade shall be at least 10dB(A) below the LA90, expressed in dB(A).

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policies DP26 and DP28 of the London Borough of Camden Local Development Framework Development Policies and emerging policy A1, A4 and TC4 of the London Borough of Camden Local Plan.

- 6 Prior to first occupation of the building, detailed plans showing the location and extent of photovoltaic cells to be installed on the building shall have been submitted to and approved by the Local Planning Authority in writing. The measures shall include the installation of a meter to monitor the energy output from the approved renewable energy systems. The cells shall be installed in full accordance with the details approved by the Local Planning Authority and permanently retained thereafter.

Reason: To ensure the development provides adequate on-site renewable energy facilities in accordance with the requirements of policy CS13 of the London Borough of Camden Local Development Framework Core Strategy and policy DP22 of the London Borough of Camden Local Development Framework Development Policies and emerging policies CC1 and CC2 of the London Borough of Camden Local Plan.

- 7 No lights, meter boxes, flues, vents or pipes, and no telecommunications equipment, alarm boxes, television aerials or satellite dishes shall be fixed or installed on the external face of the buildings, without the prior approval in writing of the local planning authority.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies and emerging policies D1 and D2 of the London Borough of Camden Local Plan.

- 8 No doors shall open out onto the public highway apart from the doors for the bin store and TfL access shown on the drawings hereby approved.

Reason: To safeguard the public highways surrounding the site in accordance with the requirements of policies DP21 and DP29 of the London Borough of Camden Local Development Framework Development Policies and emerging policies A1 and T1 of the London Borough of Camden Local Plan.

- 9 Detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the Council before the relevant part of the work is begun:

a) Plan, elevation and section drawings, including jambs, head and cill, of all new external windows and doors at a scale of 1:20 with typical glazing bar details at 1:1.

b) Samples and manufacturer's details of new facing materials including windows and door frames, glazing, natural stone and metal cladding with a full scale sample panel of all stone facing finishes of no less than 1m by 1m including junction with window opening demonstrating the proposed colour, texture, face-bond and pointing.

A sample panel of all facing materials should be erected on-site and approved by the Council before the relevant parts of the work are commenced and the development shall be carried out in accordance with the approval given.

The relevant part of the works shall then be carried in accordance with the approved details.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies and emerging policies D1 and D2 of the London Borough of Camden Local Plan.

- 10 Prior to the first use of the premises for an A3 use hereby permitted, full details of a scheme for ventilation, including manufacturers specifications, noise levels and attenuation, shall be submitted to and approved by the Local Planning Authority in writing. The use shall not proceed other than in complete accordance with such scheme as has been approved. All such measures shall be maintained in accordance with the manufacturers' recommendations.

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policies CS5 and CS7 of the London Borough of Camden Local Development Framework Core Strategy and policies DP12, DP26 and DP28 of the London Borough of Camden Local Development Framework Development Policies and emerging policies A1, A4 and TC4 of the London Borough of Camden Local Plan.

- 11 The cycle storage provision shown on the approved plans and documents shall be provided at the site prior to the first occupation of any of the new office floorspace, and permanently retained thereafter.

Reason: To ensure the development provides adequate cycle parking facilities in accordance with the requirements of policy CS11 of the London Borough of Camden Local Development Framework Core Strategy and policy DP17 of the London Borough of Camden Local Development Framework Development Policies and emerging policy T1 of the London Borough of Camden Local Plan.

- 13 Details of refuse storage and management arrangements for the site shall be submitted to and approved in writing by the local planning authority prior to the first use of the development. The development shall thereafter be implemented only in

accordance with the approved details.

Reason: To ensure the development has adequate refuse storage and management arrangements in the interests of local amenity and highway safety in accordance with policy CS18 of the London Borough of Camden Local Development Framework Core Strategy and policies DP26, DP28 and DP12 of the London Borough of Camden Local Development Framework Development Policies and emerging policies A1, CC5 and T4 of the London Borough of Camden Local Plan.

Informative(s):

1 Reasons for granting permission.

The external alterations include the alterations to the roof top plant enclosure comprising a minor increase in its height, alterations to the facade of the ground floor elevation facing Kings Cross Bridge to provide a fully glazed frontage for the ground floor commercial unit, a revised profile to the top of the recessed link on the Pentonville Road elevation, alterations to the office entrance on Grays Inn Road including a full height glazed section with metal mesh finish and the provision of a mullion on Grey's Inn Road.

The approved access to the underground tunnels and refuse storage located on the eastern elevation facing Kings Cross Bridge would be removed and replacement access to the underground tunnels would be provided from Pentonville Road. The approved secondary office escape stair which exited onto Pentonville Road would be removed and replaced with a secondary access to basement level.

Alterations to the internal layout are proposed including the provision of basement level services and storage for the office and restaurant/retail uses comprising cycle/refuse storage and services including lift shaft/switch room and water booster room. These amendments propose no increase in the size of the basement. The ground floor slab would also be raised by approx. 700mm to allow sufficient headroom below to allow access to the underground tunnels.

The internal alterations also include amendments to provide a larger office reception at ground floor level with a new ground - second floor atrium, alterations to the location and layout of the stair and lift access core and toilets and the infilling of the approved void at first and second floor levels.

The proposed variation of Condition 3 (method statement) would allow some above ground development to commence prior to the submission/approval of the method statement for development proposed below ground level.

The amended scheme proposes the same mix of uses as the approved permission with flexible retail/restaurant use at ground floor level and office use at first and second floor level. The amended scheme would provide 128 sq. m additional office floorspace due to the infilling of the void at first and second floor levels.

- 2 The acceptability of the scheme in land use terms remains as per the approved permission.. The additional office floorspace provided in the amended scheme would not compromise the mix of uses overall and would not conflict with the land use requirements for the site.

The proposed minor material amendments to the design would enhance the appearance of the development. The new fully glazed frontage at ground floor level on the Kings Cross Bridge elevation would provide a continuous active frontage for the ground floor commercial unit. The alterations to the office access on the Grays Inn Road elevation would provide a distinctive recessed vertical glazed link to the adjacent building containing a new triple level atrium for the office reception. This would be constructed from high quality Okatech glass with dark-umber metal mesh.

The roof top plant enclosure is set back on the roof of the building and the minor increase in its height by 0.6 m would not result in a significant increase in the scale or bulk of the building. The other external alterations including the revised profile to the top of the recessed link on the Pentonville Road elevation and additional mullion on the Grays Inn Road elevation would complement the original design. Overall, the amended design would respect the character, setting, context and form of the building and neighbouring buildings and would preserve the character of the conservation area. The amendments would also not result in any harmful impact on the amenity of neighbouring properties.

The amendments would not result in significant changes to the approved scheme in transport terms. The main transport related amendment would be an increase in on-site cycle parking provision. The approved scheme provided 6 cycle parking spaces at ground floor level for the office use and 4 off-site cycle parking spaces on the highway outside the adjacent Scala building for the ground floor commercial use. The revised scheme would provide 10 cycle parking spaces in the basement for the office use together with the 4 off-site cycle parking spaces previously secured. Although this would represent a shortfall against policy requirements, it is noted that this is a highly constrained site and the amended scheme would increase the level on-site cycle parking provision overall compared to the previous approval.

The refuse storage has been relocated to basement level. There would be adequate refuse storage capacity, however due its location at basement level a planning condition requiring details of refuse management and collection arrangements will be required prior to the first use of the development.

- 3 The provision of basement level cycle storage for the office use would not provide level access (as the lift would not go to basement level) a disabled shower would be provided at first floor level and cycle storage could also be provided for disabled persons at upper floor level which will have lift access. A platform lift would be provided for the ground floor commercial unit to ensure that level access is still provided.

The application also proposes the Variation of Condition 3 (method statement) to allow some above ground development to commence prior to the submission/approval of the method statement for development proposed below ground level. This is considered to be acceptable as a method statement for above ground works (demolition) has been submitted and agreed by London Underground. An amendment to the legal agreement is also proposed to add a clause stating that above ground development shall only take place in accordance with a method statement which has been agreed with London Underground.

Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

The comments received and the planning history of the site has been taken into account when coming to this decision.

As such, the proposed development is in general accordance with policies G1, C6, E1, E2, A1, A2, A3, A4, D1, D2, D3, CC1, CC2, CC3, CC4, CC5, TC1, TC2, TC4, T1, T2, T3, T4 and DM1 of the London Borough of Camden Local Plan. The proposed development also accords with the London Plan 2016 and the National Planning Policy Framework.

- 4 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/councilcontacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 5 Your attention is drawn to the fact that there is a separate legal agreement with the Council which relates to the development for which this permission is granted. Information/drawings relating to the discharge of matters covered by the Heads of Terms of the legal agreement should be marked for the attention of the Planning Obligations Officer, Sites Team, Camden Town Hall, Argyle Street, WC1H 8EQ.
- 6 You are reminded that filled refuse sacks shall not be deposited on the public footpath, or forecourt area until within half an hour of usual collection times. For further information please contact the Council's Environment Services (Rubbish Collection) on 020 7974 6914/5. or on the website <http://www.camden.gov.uk/ccm/content/contacts/councilcontacts/environment/contact-street-environment-services.en>.
- 7 This consent is without prejudice to, and shall not be construed as derogating from, any of the rights, powers, and duties of the Council pursuant to any of its statutory

functions or in any other capacity and, in particular, shall not restrict the Council from exercising any of its powers or duties under the Highways Act 1980 (as amended). In particular your attention is drawn to the need to obtain permission for any part of the structure which overhangs the public highway (including footway). Permission should be sought from the Council's Engineering Service Network Management Team, Town Hall, Argyle Street WC1H 8EQ, (tel: 020 7974 2410) or email highwayengineering@camden.gov.uk.

- 8 You are reminded of the need to provide adequate space for internal and external storage for waste and recyclables. For further information contact Council's Environment Services (Waste) on 020 7974 6914/5 or see the website <http://www.camden.gov.uk/ccm/content/environment/waste-andrecycling/twocolumn/new-recycling-rubbish-and-reuse-guide.en>.
- 9 This permission is granted without prejudice to the necessity of obtaining consent under the Town and Country Planning (Control of Advertisements) (England) Regulations 2007. Application forms may be obtained from the Council's website, www.camden.gov.uk/planning or the Camden Contact Centre on Tel: 020 7974 4444 or email env.devcon@camden.gov.uk.
- 10 Your attention is drawn to the need for compliance with the requirements of the Environmental Health regulations, Compliance and Enforcement team, [Regulatory Services] Camden Town Hall, Argyle Street, WC1H 8EQ, (tel: 020 7974 4444) particularly in respect of arrangements for ventilation and the extraction of cooking fumes and smells.
- 11 You are advised that this proposal will be liable for the Mayor of London's Community Infrastructure Levy (CIL). The increase in floorspace on this s.73 minor material amendment application (compared to the original permission ref 2014/0371/P dated 26/08/2014) would be subject to Camden CIL.
- 12 The Inspector's report on the Local Plan was published on 15 May 2017 and concludes that the plan is 'sound' subject to modifications being made to the Plan. While the determination of planning applications should continue to be made in accordance with the existing development plan until formal adoption, substantial weight may now be attached to the relevant policies of the emerging plan as a material consideration following publication of the Inspector's report, subject to any relevant recommended modifications in the Inspector's report.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

ENFORCEMENT ACTION TO BE TAKEN

The Council has authorised the Planning Department to instruct the Borough Solicitor to issue an Enforcement Notice alleging breach of planning control

You can find advice in regard to your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Director of Regeneration and Planning

DRAFT

DECISION

APPENDIX 1

¶

ABOVE GROUND WORKS METHOD STATEMENT



MURPHY

KINGS CROSS BRIDGE PHASED DEMOLITION

| | |
|-----------------|-------------------------------|
| CLIENT | UK REAL ESTATE |
| CONTRACT TITLE | KINGS CROSS BRIDGE |
| CONTRACT NUMBER | LBU0147 |
| OPERATING UNIT | S4 Construction & Development |

METHOD STATEMENT

PHASED DEMOLITION OF 1-5 KINGS CROSS BRIDGE, ABOVE GROUND LEVEL WORKS.

Michael Monaghan

Project Manager

29/05/2017

Sean Cronin

Commercial Manager

30/5/2017

Bryan McNamee

Operational Manager

30/05/2017

| | | | |
|--------|----------|----------|---------------------------------------|
| AUTHOR | REVIEWER | APPROVER | ACCEPTED BY CLIENT (if applicable) |
|--------|----------|----------|---------------------------------------|

DOCUMENT No.

LBU0147-MST-0003

CURRENT REVISION

00

CURRENT STATUS CODE

Click here to enter text.

SECURITY CLASSIFICATION

Choose an item.

REVISION HISTORY

| REVISION | STATUS CODE | DATE | REVISION DESCRIPTION |
|----------|-------------|------------|----------------------|
| 00 | | 29/05/2017 | For comments |

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| 05 | London Underground |
| 06 | Potter Rapper Partnership |
| 07 | Ramboll -Jackie Heath |
| 08 | |
| 09 | |
| 10 | |
| 11 | |

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1 Introduction – Scope of Works

This method statement details the procedures required to enable the demolition of Disused Kings Cross Bridge, while still giving access to London Underground during demolition and construction of new building. This is so they can access East and West bound platforms of the Metropolitan Line. As works progress access to Disused Platform/West Bound will cease as this will be achieved from St Chads Place entrance. East bound needs to be maintained to enable access to signal box on East bound platform.

2 Reference Documents

Health and Safety at Work Act 1974

Manual Handling operations Regs. 1992

COSHH Regs. 2002

PUWER Regs. 1998

LOLER

CDM Regs. 2015

3 Pre-commencement Requirements

LU to approve the access sequence is acceptable.

Disconnection/termination of all services.

Waterproofing of Basement slab will be agreed, and acceptable removal of standing water agreed.

All operatives to be full site inducted.

All operatives to be briefed on the sequencing works.

All to understand the importance and needs of London Underground to have segregated access to stairs to be able to access and egress from basement.

4 Resources – Materials, Plant and Labour

4.1 Materials

- Hand tools.
- Hose pipes

- Plywood and timber.

4.2 Plant

- Hiab Lorry
- Petrol Saws
- Grinders
- Concrete breakers.
- Electric Breakers.
- Compressors.
- ETC

4.3 Personnel and Labour

- Demolition Contractors.
- J Murphy and Sons(management, engineers and general operatives)

5 Methodology

To enable access to be maintained for London Underground during the works of demolition and construction the sequence of works to follow are:

- Hoarding will be erected to agreed location with TfL to create site boundary.
- Demolition scaffold will be erected to outer perimeter of the building, leaving access to existing door to basement used by London Underground. *Refer to Appendix C for perimeter scaffold drawing.*
- Crash deck to underside of roof will be installed on the ground floor slab as shown in attached drawings. *Refer to Appendix C for temporary works drawings.*
- The building will be then demolished in a sequence, leaving the roof and wall areas to the existing access staircase in place. *Refer to Appendix B for demolition sequence drawings*
- The demolition will be done in an agreed sequence with the demolition contractor.
- They will saw cut areas of the roof slab. This will be done by installing packing timbers of crash deck.
- A pallet truck will be used to lift the cut slab and move towards the perimeter scaffold.
- A Hiab Crane will then lift the slab and place on back of it trailer.
- Where this is not possible the slab will be broken by using concrete breakers. This will then be cleared into rubble bags that are placed on pallets, so pallet truck can then lift and move towards the perimeter scaffold for again lifting with the Hiab.
- Steel work will be deal with buy cutting up into manageable pieces and again moved towards perimeter scaffold for lifting by Hiab.
- Walls and columns will be broken down and cleared once scaffold is adapted to create a safe working platform.
- Once demolition of the roof area and walls to the rest of the structure is down to ground floor slab level, the need to create a new access will begin.
- Firstly to be installed is a partition to the bottom and door to both the East and West platform levels.

KINGS CROSS BRIDGE

PHASED DEMOLITION

- Once installed the crash deck between underside of ground floor slab and basement slab will begin. Making sure a safe access is provided to both platforms while the install of scaffold progresses.
- Once scaffold and protected walk way zone is formed under the crash deck the slab will be removed as per Ramboll sequence drawing. This area will have temporary lights fitted. These will have a battery backup system due to any possible power failure.
- Once the slab is removed, the new temporary staircase will be installed, and a protected enclosure made to protect London Underground staff accessing the basement area.
- Access will be terminated to westbound platform as the access to this platform will be from rear of Scala building.
- Demolition will then continue.
- This will be approached in a similar sequence to the removal of roof slab and walls.
- Walls and columns are to be cut down to an agreed level by structural engineer.
- All works will be done in a safe and controlled manner.
- This will be done in an operation of evenly taking the building down.
- No over loading of crash decks will be allowed. So as works progress, removal of demolition materials will progress.
- Once demolition is fully complete, and process of new build starts. The works will continue in sequence till the basement area is formed and building is made watertight.
- Once achieved the new partitions to basement erected. Access back to West bound platform will be given.
- If any of the sequences needs to change for any unknown reason works will stop and London Underground will be informed, and a new agreed approach to works will need to be approved.

This Methodology may change once an approved Demolition Contractor is given the contract.

New Method Statement will be issued with any new amendments then.

6 Programme

T.B.C

7 Quality

Please refer to the Quality Plan and Inspection and Test Plan.

8 Safety

8.1 Personal Protective Equipment (PPE)

Safety Records the following safety records will be maintained:

- Signing in sheets
- Site Induction
- Operatives Training/CSCS/CPCS cards
- Toolbox Talks
- PPE Issue Records
- Weekly portable plant inspections
- Weekly lifting equipment inspections

KINGS CROSS BRIDGE

PHASED DEMOLITION

- Weekly Scaffold inspections
- Weekly Ladder Inspections
- Equipment Certification
- Method Statements and Risk Assessments including briefing records
- COSHH Assessments
- Permits to Dig
- Hot Works Permits
- Permit to load
- Permit to strike

8.2 Personal Protective Equipment (PPE)

The minimum PPE requirements for these works are as following:

Hard Hat to EN 397
 Hi-vis vest or Jacket to EN 471
 Steel toe-capped safety boots to EN 345
 Eye protection to EN 166
 Gloves to EN 388
 Masks to EN 149 FFP3

All PPE shall meet the requirements of the relevant legislation and shall be suitable for the task in hand

8.3 Emergency Contact Details

| | |
|--------------------|--|
| Emergency Services | 999, or 112 (on mobile phones) |
| Local Police | 2 Tolpuddle Street, London N1 0YY |
| Local Hospital | University College Hospital 235 Euston Road, London, NW1 2BU. |
| Local Doctor | 999 (Ambulance Service) |

8.4 First Aider and Fire Warden Details

| | | |
|-------------|------------------|--------------|
| First Aider | Michael Monaghan | 07834 496176 |
| Fire Warden | Michael Monaghan | 07834 496176 |

9 Environmental

9.1 Environmental Records

- Environmental Management Plan (EMP) – Prior to commencing the works on site JMS will issue the client representative with an EMP for approval.
- Site Waste Management Plan - All waste will be properly segregated and disposed of in the appropriate bins or skips. The disposal of onsite material will go to a registered tip and the documentation required for complying with local bylaws and statutory requirements in line with the Environmental Protection Act (EPA) 1990 will be adhered to. Material ordering is to be kept to a minimum for what is required to ensure limited wastage. Materials to be correctly stored to again avoid damage therefore limiting waste.
- Licensing Records
- Waste Transfer Notes
- Environmental Toolbox Talks
- Site Inspections
 - COSHH Assessments
 - Petrol
 - Cement
 - Paint
 - Wood dust

9.2 Environmental Inspections and Audits

Environmental inspections will be made daily by the Site Manager/supervisors as they are supervising the works. Weekly yard checks will be made and documented for record purposes and kept in the site folders.

9.3 Plant / Material / Chemical Storage and Use

- All non-operated plant and any chemicals (e.g. petrol, diesel, plasticisers etc.) are to have drip trays placed underneath. Drip trays to be kept intact and free from water.
- All chemicals are to be locked in a COSHH store when not in use. COSHH sheets available in the site office.
- Chemical/material application/storage/use and guidelines are to be carried out to the COSHH assessments and data sheets.
- Do not allow any substances, i.e. cement, diesel, oil etc. to enter into watercourses. Notify any leaks from tanks, plant etc. If a problem occurs, report it to your foreman/supervisor immediately. Remove leaking containers from site as soon as possible.
- Diesel fuel storage tanks for onsite plant are to comply with the Control of Pollution (Oil Storage) Regulations 2001, using a tank that complies with either BS799 (steel tanks) or OFS T100 (plastic tanks).
- When re-fuelling, park away from any watercourse or drain. If re-fuelling by hand use a funnel or container with a spout to prevent spillage. Where possible, use drip trays under non-operated plant.
- Never leave a vehicle unattended whilst refuelling.
- Spill kits to be readily available to ensure spillages can be treated immediately.
- The specified PPE will be issued to operatives whilst they are working with chemicals or substances hazardous to health.
- Storage of Flammable liquids, or combustible materials are not to be stored in the buildings. They must be stored in suitable lockable containers, in designated area.

9.4 Noise and Vibration

Noise and vibration will be kept to a minimum as far as reasonably practicable. All plant and equipment will be operated and maintained in such a way as to reduce or eliminate noise and vibration nuisance.

9.5 Air Quality and Dust

Damping down will be used if necessary to control dust.

9.6 Environmental Contact List

| | | |
|--|---------------------|---------------|
| Environment Agency Local Office | 0845 9333111 | 0800 807060 |
| Local Authority Environmental Health Officer | 0800 807060 | 0800 807060 |
| Environment Agency 24 hour Emergency Hotline | 0800 80 70 60 | 0800 807060 |
| Sewerage Undertaker | Thames Water | 0800 145145 |
| Water supplier | Thames Water | 0800 145145 |
| Gas supplier | National Grid | 0800 111999 |
| Electricity supplier | UK Power Networks | 0800 3163105 |
| Cable supplier | UK Power Networks | 0800 3163105 |
| Waste disposal contractor | J O'Doherty Haulage | 020 8807 7722 |
| Specialist Clean-Up Contractors | J Murphy & Sons Ltd | 020 7267 4366 |

10 Appendices

10.1 Appendix A - Safety Risk Assessments

Risk Assessment 0001 – Specific Risks Assessment will done once approved contractor appointed.



RISK ASSESSMENT:
Strip out, demolition, temporary propping & associated works.

PRINCIPLE CONTRACTOR:
J Murphy & Sons Ltd

| POTENTIAL HAZARD | Persons at Risk | How may they be harmed | RISK ASSESSMENT | | | CONTROL MEASURES | Residual Risk |
|--|--|--|-----------------|-----|---|--|---------------|
| | | | L | M | H | | |
| Stability of structure before demolition | | | | | | | |
| Stability of structure during demolition | Site personnel | Struck by falling debris | | | | Careful, controlled top, down, sectional demolition, carried out remotely, strictly adhering to Method Statement | L |
| Stability of structure after demolition | | | | | | Check the remaining structures after demolition to ensure that there are no signs of an damage or instability. | L |
| Stability of adjacent structures before demolition | | | | | | | |
| Stability of adjacent structures during demolition | Occupant of adjacent property | | | | | Install temporary propping works as detailed in the method statement. Carefully separate the buildings prior to structural demolition. Careful, controlled top, down, sectional demolition, carried out remotely, strictly adhering to Method Statement | L |
| Stability of adjacent structures after demolition | | | | | | The installed temporary propping works will secure the stability of the adjacent structures until the permanent works have been completed by others | L |
| Uncontrolled Collapse | Site personnel | Struck by falling debris | | | | Careful, controlled top, down, sectional demolition, carried out remotely, strictly adhering to Method Statement. Form exclusion zones around the demolition works | L |
| Pre-stressed concrete within structure | | | | n/a | | | |
| Post-tensioned concrete within structure | | | | n/a | | | |
| Facade Retention | | | | n/a | | | |
| Reinforced concrete Frames | | | | n/a | | | |
| Large precast Concrete Panels | | | | n/a | | | |
| Live Services within the site. | Site personnel & persons near the site | Electricity - electrocution. Gas - possible explosion. | | | | The electricity & gas supplies WILL BE terminated by others. J Murphy & Sons have supplied termination certificates for the demolition works. We will be in possession of final termination certificates for the gas and electricity supplies prior to structural demolition works starting to any building. | L |
| | | | | | | will carry out a Cat & Genny scan of the area prior to removing any floor slabs or foundations | |
| Storage Vessels, Tanks, Chambers etc | | | | n/a | | | |



RISK ASSESSMENT:
Strip out, demolition, temporary propping & associated works.

PRINCIPLE CONTRACTOR:
J Murphy & Sons Ltd

| POTENTIAL HAZARD | Persons at Risk | How may they be harmed | RISK ASSESSMENT | | | Residual Risk |
|----------------------|--|---|-----------------|---|---|---------------|
| | | | L | M | H | |
| Confined Spaces | Site personnel | Possible noxious, toxic or explosive gases | | | | L |
| Trip Hazards | Site personnel | Falls to ground | | | | L |
| Asbestos | Site personnel & people near the site. | Exposure to harmful asbestos fibres | | | | L |
| | | | | | | |
| Fluorescent Tubes | Operatives involved in the works | Exposure to hazardous waste if the tubes are broken | | | | L |
| Dust | Site personnel & people near the site | Breathing possibly harmful dust. | | | | L |
| Vibration | Owners of adjacent properties | Possible minor cosmetic building damage | | | | L |
| Hand - Arm Vibration | Operators of vibrating tools | Long term "white finger" | | | | L |



RISK ASSESSMENT:
Strip out, demolition, temporary propping & associated works.

PRINCIPLE CONTRACTOR:
J Murphy & Sons Ltd

| POTENTIAL HAZARD | Persons at Risk | How may they be harmed | RISK ASSESSMENT | | | CONTROL MEASURES | Residual Risk |
|------------------------|---|-------------------------------------|-----------------|---|---|---|---------------|
| | | | L | M | H | | |
| Noise | Site personnel. | Possible hearing damage. | | | | All plant fitted with silencers, obey site hours etc. Noise assessment details expected noise levels & the necessary actions to be taken. Wear appropriate PPE as detailed in the Method Statement. | L |
| | Site personnel & people near the site. | Noise nuisance. | | | | | |
| Falls from Height | Site personnel | Possible major or fatal injuries. | | | | Access to soft strip / asbestos removal areas not reachable from floor level will be using mobile scaffold towers erected & inspected by PASMA certificated personnel. | L |
| | | | | | | Scafflags will be placed on the mobile towers to confirm the last inspection date. | |
| | | | | | | No leading edges are anticipated during these works. | |
| Falls through Holes | Site personnel | Possible major or fatal injuries. | | | | Edge protection to be placed around any holes through slabs. No holes through slabs are anticipated for these works. | L |
| Machine work at height | Site personnel & site visitors. | Possible major or fatal injuries. | | | | During the main demolition works the site hoarding will be used as an exclusion zone. Warning signs will be placed on the outside of the hoarding. All machine demolition works will be supervised by a banksman. | L |
| Manual Handling | Operatives carrying out manual lifting & carrying | Possible musculo-skeletal disorders | | | | Operatives instructed in manual handling techniques | L |
| | | | | | | Wherever possible manual handling is to be minimised by the use of mechanical methods | |
| | | | | | | Mechanical Aids to be used wherever possible in place of manual handling. | |



RISK ASSESSMENT:
Strip out, demolition, temporary propping & associated works.

PRINCIPLE CONTRACTOR:
J Murphy & Sons Ltd

| POTENTIAL HAZARD | Persons at Risk | How may they be harmed | RISK ASSESSMENT | | | CONTROL MEASURES | Residual Risk |
|---|--|--|-----------------|---|---|---|---------------|
| | | | L | M | H | | |
| Struck by falling debris | Site personnel | Possible major or fatal injuries. | | | | Exclusion zones to be set up around machine/stripout work at height. Banksmen to supervise all machine work at height. | M |
| Falling debris close to the site boundaries | Persons outside but near the site boundaries | Struck by debris | | | | The 1 storey sections of the buildings are far enough away from the site boundaries for it not to be necessary to provide any protection scaffolding. Yet scaffold to be installed. | L |
| | | | | | | Where necessary watchmen will be provided if there is a risk of any debris falling close to the site boundaries. | L |
| Fire | Site personnel | Smoke inhalation or getting trapped by a fire. | | | | Operatives are to familiarise themselves with the Fire Plan and adhere to it. | L |
| Working Alone | Site personnel | Any accident may not be noticed by others & the alarm may not be raised. | | | | Not allowed | L |
| Cutting, Burning, Hot Works | Site personnel | Causing a fire. Inhalation of fumes Burnt by hot materials | | | | A hot work permit system will be operated by Demolition Contractor | L |
| | | | | | | During gas burning or saw cutting works using an angle grinder disc cutter a suitable fire extinguisher will be provided by GLD | |
| | | | | | | Operatives hot cutting materials that may emit noxious fumes will wear suitable breathing masks. If necessary additional ventilation will be provided | |
| | | | | | | Operatives involved in hot works will wear suitable PPE as detailed in the method statement. | |
| Use of Hand Tools for Strip Out works. | Operatives using the tools | Injuries from using faulty or poorly maintained tools | | | | Ensure that the correct tool is used for the job. | L |
| | | | | | | Maintain tools in a serviceable condition - where unserviceable either repair or replace the tool. | |
| | | | | | | Check tools every day before use. | |
| | | | | | | Control & protect tools with obvious risks - such as Stanley Knives & Chisels | |




RISK ASSESSMENT:

Strip out, demolition, temporary propping & associated works.

PRINCIPLE CONTRACTOR:
J Murphy & Sons Ltd

| POTENTIAL HAZARD | Persons at Risk | How may they be harmed | RISK ASSESSMENT | | | CONTROL MEASURES | Residual Risk |
|--|------------------------|---|-----------------|---|---|--|---------------|
| | | | L | M | H | | |
| Use of mobile scaffold towers & podium steps to access soft strip & asbestos removal works | Site personnel | Falls from or collapses of incorrectly erected access equipment | | | | Mobile scaffold towers are to be erected & inspected by PASMA certificated operatives. Scafftags will be placed on the mobile towers to confirm the last inspection date. | |
| Movement of vehicles & plant on Site | Site personnel | Struck by vehicles. | | | | All plant and vehicle manoeuvring on site is to be supervised by a banksman. Traffic routes will be agreed on site to minimise or eliminate the need for lorries to reverse whilst on site. | L |
| Spillage of fuel during re-fuelling operations | Environment | Spillage of pollutant. | | | | Procedure to be followed as detailed in the method statement. Fuel to be stored in a bunded tank and spill kits to be provided by GLD. | L |
| Loading plant on & off the transport | | | | | | | |
| Machine tipping, sliding | Machine operator | Thrown from the machine. | | | | Machine to be driven onto transport by certificated operator. Banksman to direct the loading operation. | L |
| Accidental fall of accessories | Persons near the lorry | Struck by falling equipment | | | | Loose accessories to be secured or removed before transport moves. | L |
| Contact with overhead power line. | Machine operator | Electrocution | | | | Machine to be loaded in unrestricted area. Foreman to assess & confirm on site hazard. | L |
| Adverse ground conditions. | Machine operator | Thrown from the machine. | | | | Foreman to confirm that the ground is adequate. Further site preparation to be undertaken if necessary. | L |
| Loading / Unloading of Skips & Bins | | | | | | | |
| Trapping / crushing injuries to operatives during loading. | Site personnel | Crushing injuries | | | | Skip & bin loading operations are to be carried out in an exclusion zone where operatives are kept out during the operation. | L |
| Slips trips & falls to operatives & lorry drivers. | Site personnel | Fall injuries | | | | The exclusion zone / skip exchange area is to be kept free from obstructions. | L |

| <div style="display: flex; justify-content: space-between; align-items: center;"> <div style="text-align: center;">  </div> <div> RISK ASSESSMENT: Strip out, demolition, temporary propping & associated works. </div> </div> | | | | | | |
|--|---------------------------------------|---|-----------------|---|---|---|
| PRINCIPLE CONTRACTOR: J Murphy & Sons Ltd | | | | | | |
| POTENTIAL HAZARD | Persons at Risk | How may they be harmed | RISK ASSESSMENT | | | Residual Risk |
| | | | L | M | H | |
| Operation of plant for demolition works | Site personnel | Being struck or trapped by plant | | | | L Demolition plant is to be operated by certificated plant operators Demolition plant operations are to be supervised by a banksmen Exclusion zones are to be set up around machine demolition works using block & mesh fencing, to keep unauthorised personnel away from the works |
| | | | | | | |
| | | | | | | |
| Site Access Egress | Persons crossing the site entrances | Struck by vehicles entering | | | | L Access will be via the gate off Pentonville Road There is room to turn vehicles around within the site - therefore vehicles will drive into the site & drive out, both under the supervision of banksmen with vehicle marshalling training. All lorry movements into and out of the site will be controlled by traffic marshalls. |
| | | | | | | |
| | | | | | | |
| Unauthorised Access | Non site personnel entering the site. | Accidents due to lack of knowledge of the site. | | | | L J Murphy and Sons will erect block & mesh fencing as necessary and timber site hoardings to ensure that the site is kept secure at all times. Post warning signs. |
| | | | | | | |
| | | | | | | |
| COMPILED BY: | | DATE | | | | |
| REVIEWED BY: | | DATE | | | | |



KINGS CROSS BRIDGE PHASED DEMOLITION

10.2 Appendix B - Inspection and Test Plan

Hold points to be added to ITPs, so works are accessed before proceeding.



KINGS CROSS BRIDGE PHASED DEMOLITION

10.3 Appendix C – Demolition Sequence



The contractor is not in a position to draw. All written dimensions to be checked on site and all written notes to be checked on site. All written dimensions to be checked on site and all written notes to be checked on site.

WIRE PROTECTED SCREEN (2-HOUR) TO
BOTTOM OF STAIRCASE AND SIDE OF
STAIRCASE WITH ACCESS CONTROL DOOR

FULL HEIGHT SCREEN WILL SEPARATE
LIVE LD PROPERTY FROM FUTURE
CONSTRUCTION SITE

EXISTING BUILDING FABRIC TO BE REMOVED

EXISTING COLUMNS & POCKETS IN EXISTING WALLS TO BE CUT DOWN. REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR LEVELS.

RETAINING WALLS TO BE CUT DOWN. REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR LEVELS.

330

The information shown on this drawing indicates the scope of demolition, but not the method or sequence.

Building to be demolished in accordance with Manual Construction Demolition Engineering Standards and Construction sequence plan.

Refer to Ramboll Structural Engineers specification C201 to Pure Structures for temporary works arrangements.

Existing building to be removed down to top of basement level and limited to waterproofing requirements. No removal to existing slab permitted.

These columns are cut out, further 320mm below down to be broken out and cut, further 320mm below down to 0 of column.

Demolition floor slab to be retained subject to further investigations.

E. to advise on back bearing walls in basement.

Condition of that basement to be reviewed post strip out.

Remove all services and auxiliary works and strip off connections with M & E specification.

STAIRCASE FROM STREET TO BE LEFT IN PLACE. AREA DETERMINED BY GRID STRUCTURE.

LEGEND:



PHASE 1 DEMOLITION AREA



Top of wall to be reduced for lower crane base.

Ramboll to advise on 'Permanent Temporary works arrangements.'

Excavation for
tower crane pads
required. Refer to
Pure Structures
information.

existing columns to be corrosion protected to SE

Column location TBC.
Ramboli to advise.

Indicative location of blocking up already

Adjacent wall to
Lighthouse to be
documented

| Slip | Job No. | Design No. | Issue |
|------|---------|------------|-------|
| 1 | 100 | 100 | 100 |
| 2 | 200 | 200 | 200 |
| 3 | 300 | 300 | 300 |
| 4 | 400 | 400 | 400 |
| 5 | 500 | 500 | 500 |
| 6 | 600 | 600 | 600 |
| 7 | 700 | 700 | 700 |
| 8 | 800 | 800 | 800 |
| 9 | 900 | 900 | 900 |
| 10 | 1000 | 1000 | 1000 |

| | | | |
|-------|------|--------|---|
| ENDER | 1209 | 111-01 | D |
|-------|------|--------|---|

January 1993

Figure 1

12345678910111213141516171819202122232425262728293031323334353637383940414243444546474849505152535455565758596061626364656667686970717273747576777879808182838485868788899091929394959697989910010110210310410510610710810911011111211311411511611711811912012112212312412512612712812913013113213313413513613713813914014114214314414514614714814915015115215315415515615715815916016116216316416516616716816917017117217317417517617717817918018118218318418518618718818919019119219319419519619719819920020120220320420520620720820921021121221321421521621721821922022122222322422522622722822923023123223323423523623723823924024124224324424524624724824925025125225325425525625725825926026126226326426526626726826927027127227327427527627727827928028128228328428528628728828929029129229329429529629729829930030130230330430530630730830931031131231331431531631731831932032132232332432532632732832933033133233333433533633733833934034134234334434534634734834935035135235335435535635735835936036136236336436536636736836937037137237337437537637737837938038138238338438538638738838939039139239339439539639739839940040140240340440540640740840941041141241341441541641741841942042142242342442542642742842943043143243343443543643743843944044144244344444544644744844945045145245345445545645745845946046146246346446546646746846947047147247347447547647747847948048148248348448548648748848949049149249349449549649749849950050150250350450550650750850951051151251351451551651751851952052152252352452552652752852953053153253353453553653753853954054154254354454554654754854955055155255355455555655755855956056156256356456556656756856957057157257357457557657757857958058158258358458558658758858959059159259359459559659759859960060160260360460560660760860961061161261361461561661761861962062162262362462562662762862963063163263363463563663763863964064164264364464564664764864965065165265365465565665765865966066166266366466566666766866967067167267367467567667767867968068168268368468568668768868969069169269369469569669769869970070170270370470570670770870971071171271371471571671771871972072172272372472572672772872973073173273373473573673773873974074174274374474574674774874975075175275375475575675775875976076176276376476576676776876977077177277377477577677777877978078178278378478578678778878979079179279379479579679779879980080180280380480580680780880981081181281381481581681781881982082182282382482582682782882983083183283383483583683783883984084184284384484584684784884985085185285385485585685785885986086186286386486586686786886987087187287387487587687787887988088188288388488588688788888989089189289389489589689789889990090190290390490590690790890991091191291391491591691791891992092192292392492592692792892993093193293393493593693793893994094194294394494594694794894995095195295395495595695795895996096196296396496596696796896997097197297397497597697797897998098198298398498598698798898999099199299399499599699799899910001001100210031004100510061007100810091010101110121013101410151016101710181019102010211022102310241025102610271028102910301031103210331034103510361037103810391040104110421043104410451046104710481049105010511052105310541055105610571058105910601061106210631064106510661067106810691070107110721073107410751076107710781079108010811082108310841085108610871088108910901091109210931094109510961097109810991100110111021103110411051106110711081109111011111112111311141115111611171118111911201121112211231124112511261127112811291130113111321133113411351136113711381139114011411142114311441145114611471148114911501151115211531154115511561157115811591160116111621163116411651166116711681169117011711172117311741175117611771178117911801181118211831184118511861187118811891190119111921193119411951196119711981199120012011202120312041205120612071208120912101211121212131214121512161217121812191220122112221223122412251226122712281229123012311232123312341235123612371238123912401241124212431244124512461247124812491250125112521253125412551256125712581259126012611262126312641265126612671268126912701271127212731274127512761277127812791280128112821283128412851286128712881289129012911292129312941295129612971298129913001

Leetluder Architects
115 Waller Street
London SE1 1QU
T +44 (0) 20 7234 6111
www.leetluder.co.uk

EXISTING BUILDING FABRIC TO BE REMOVED

The information shown on this drawing indicates the scope of demolition, but not the method or sequence. Building to be demolished in accordance with Ramboll Structural Engineer's method statements and construction sequence plan.

Refer to Ramboll Structural Engineer's specification C20.

Remove all services and sanitaryware and cap off in accordance with M & E specification.

For works required to maintain TFL 24/7 access refer to Ramboll Structural Engineers sequence of temporary works drawings.

EXISTING CONCRETE STAIR
TO BE DEMOLISHED -

ONLY WHEN NEW TEMPORARY
STAIRCASE FROM STREET
LEVEL IS IN PLACE

LEGEND:

PHASE 1 DEMOLITION AREA

PHASE 2 DEMOLITION AREA

| Issue | Checked/Drawn | Date | Description |
|-------|---------------|----------|----------------------|
| C | AGAV | 28/04/17 | Stage 4 Issue |
| B | AVBM | 10/02/17 | Stage 3 Tender Issue |
| A | EXR073 | 21/07/15 | Initial Tender |

| | | | |
|--------|---------|----------|-------|
| Status | Job No. | Drug No. | Issue |
| TENDER | 1209 | 111-02 | C |

DEMOLITION - GROUND FLOOR PLAN

Project
KINGS CROSS BRIDGE

validade

5 Weiler Street
London SE1 1QU
T +44 (0) 20 7 234 6
www.millwright.co.uk

GENERAL NOTES

Demolition to be read in conjunction with all information by architect, structural engineer & other relevant professionals. The contractor is not to scale from this drawing. All demolition dimensions to be indicated on site before work commences. Discrepancies, where identified, must be reported to the architect immediately. This drawing is the property of Latitude Architects and Designers and must not be reproduced or distributed in any unauthorised person, either wholly or in part without written consent.

KEY

EXISTING BUILDING FABRIC TO BE REMOVED

NOTE:

The information shown on this drawing indicates the scope of demolition, but not the method or sequence.

Building to be demolished in accordance with Ramboll Structural Engineers' specification C20. All demolition work to be carried out in accordance with the construction sequence plan.

Refer to Ramboll Structural Engineer's specification C20.

Remove all services and sanitaryware and cap off in accordance with M & E specification.

APPROX AREA OF ROOF ABOVE STAIRCASE TO REMAIN IN PLACE UNTIL NEW TEMPORARY STAIRCASE FROM STREET LEVEL IS IN PLACE.

AREA DETERMINED BY EXISTING GRID STRUCTURE.

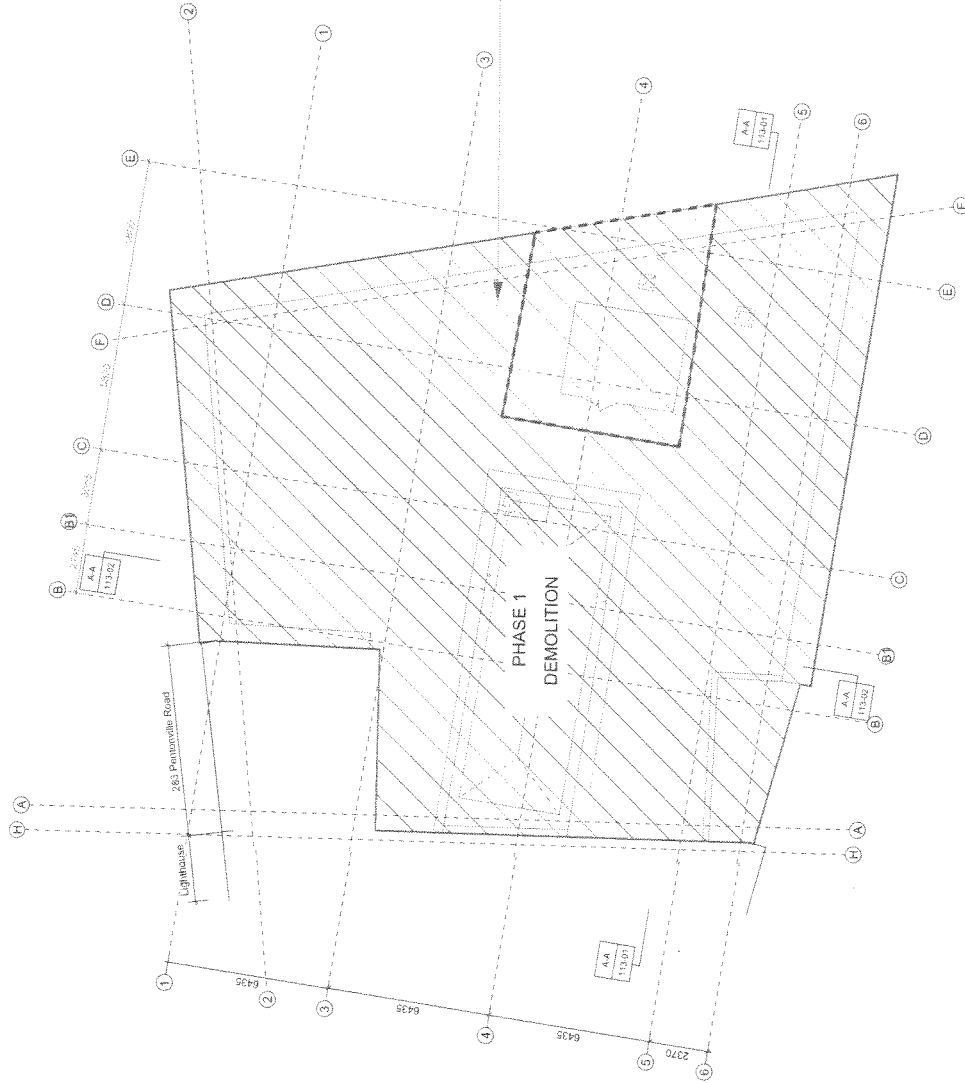
LEGEND:



PHASE 1 DEMOLITION AREA



PHASE 2 DEMOLITION AREA



| | | |
|---------|---------|-------------------------------|
| C | AGAV | Regulatory Stage 4 Issue |
| B | A/VM | 10/02/17 Stage 3 Tender Issue |
| A | OCAT/ST | 06/01/17 Preliminary Issue |
| Revised | Drawn | Checked |

| | | | | | |
|-------|------|-----------|--------|-------|---|
| Sheet | 1209 | Drawn No. | 111-03 | Issue | C |
|-------|------|-----------|--------|-------|---|

| | | |
|---------|------------------------|------------|
| Project | DEMOLITION - ROOF PLAN | 1209/03/17 |
|---------|------------------------|------------|

KINGS CROSS BRIDGE

latitude

Latitude Architects
15 Waterhouse Lane
London EC1A 4JY
T +44 (0) 20 7244 0235
www.latitudearchitects.com

Drawing in by road in conjunction with all information by an ultimate structural engineer & see also consultants.

The drawing is not to scale from the drawing. An action dimension to be checked in the work component is indicated where identified must be reported to the architect.

The drawing is the property of Larson Architects and Engineers and must not be reproduced or modified in any unauthorised form without written consent of the architect.

23

EXISTING BUILDING FABRIC TO BE REMOVED

NOTE.

The information shown on this drawing indicates the scope of demolition, but not the method or sequence.

Refer to Ramboll Structural Engineer's specification C20, remove all services and sanitaryware and cap off in accordance with M & E specification.

LEGEND:

PHASE 1 DEMOLITION AREA

PHASE 2 DEMOLITION AREA

| Sl. No. | Card Drawn | Date | Description |
|---------|------------|----------|----------------------|
| 1 | ASAD | 20/02/17 | Stage 1 Tender Issue |
| 2 | ASIM | 20/02/17 | Stage 2 Tender Issue |
| 3 | DEEVI | 20/02/17 | Ordinary Issue |

| NAME | DOB | EXP. DATE | ISSUE |
|--------|------|-----------|-------|
| TENDER | 1209 | 112-01 | C |

DEMOLITION - GRAYS INN ROAD ELEVATION

Project
KINGS CROSS BRIDGE

Latitude

14410, 20734 6/2/00

GENERAL NOTES

Drawings to be read in conjunction with all information by architect, structural engineer & service contractors.

The contractor is to take full responsibility for the accuracy of the information provided in the drawings and to be responsible for the accuracy of the information provided in the drawings and to be responsible for the accuracy of the information provided in the drawings.

The drawings are to be read in conjunction with all information by architect, structural engineer & service contractors.

KEY

EXISTING BUILDING FABRIC TO BE REMOVED

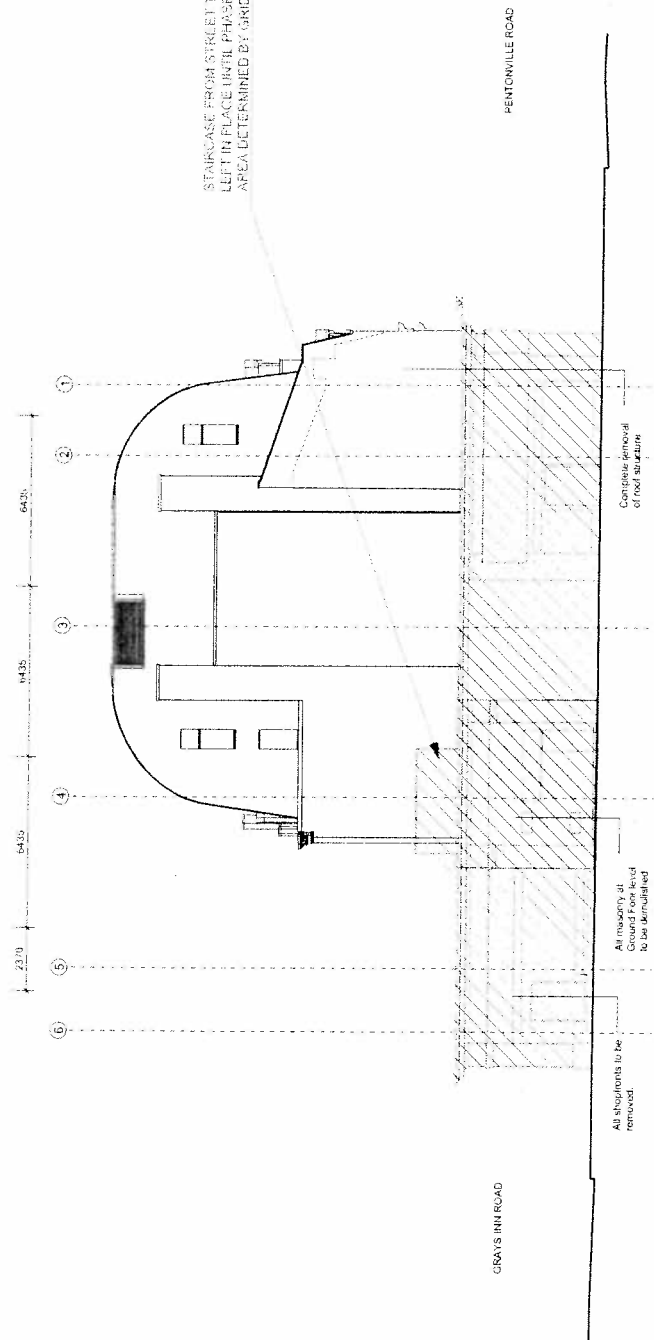
NOTE

The information shown on this drawing indicates the scope of demolition, but not the method or sequence.

Building to be demolished in accordance with Ramboll Structural Engineering's demolition sequence plan and construction sequence plan.

Refer to Ramboll Structural Engineering's specification C20.

Remove all services and appendages and cap off in accordance with M & E specification.



LEGEND

PHASE 1 DEMOLITION AREA

PHASE 2 DEMOLITION AREA

| Code | Description | Quantity | Unit |
|------|-------------|----------|----------------|
| A | DEMOLITION | 1209 | m ² |
| B | DEMOLITION | 1209 | m ² |
| C | DEMOLITION | 1209 | m ² |

| Code | Description | Quantity | Unit |
|------|-------------|----------|----------------|
| A | DEMOLITION | 1209 | m ² |
| B | DEMOLITION | 1209 | m ² |
| C | DEMOLITION | 1209 | m ² |

DEMOLITION - KINGS CROSS BRIDGE ELEVATION

KINGS CROSS BRIDGE

latitude

latitude architects
15 Avenue Road
London EC1A 3DF
T: 020 7424 1000
F: 020 7424 1001
www.latitudearchitects.co.uk

GENERAL NOTES

Drawing to be read in conjunction with all information by architect, structural engineer & service consultants.
The contractor is to refer to this drawing. All written instructions to be obtained in the form of a written instruction from the architect. The contractor is responsible for the accuracy of the information provided. The contractor is responsible for the accuracy of the information provided.

This drawing is the property of Latitude Architects and Designers and shall not be reproduced or distributed to any unauthorized person without the written consent of the architect.

KEY

EXISTING BUILDING FABRIC TO BE REMOVED
RETAINING WALLS TO BE CUT DOWN. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR LEVELS.

NOTE

The information shown on this drawing indicates the scope of demolition, but not the method or sequence. Building to be demolished in accordance with Ramboll Structural Engineer's method statements and construction sequence plan.
Refer to Ramboll Structural Engineer's specification C28.
Refer to Pure Structures for temporary works arrangements.
Existing building to be removed down to top of basement slab level and finished to waterproofing requirements. No damage to existing slab permitted.
Where columns are cut down, surrounding brick/concrete pier to be broken out fully a further 350mm below cut down top of column.
Basement floor slab to be retained subject to further investigations.
S.E. to advise on load bearing walls in basement.
Condition of the basement to be reviewed post skip out.
Remove all services and utilities safe and cap off in accordance with M & E specification.

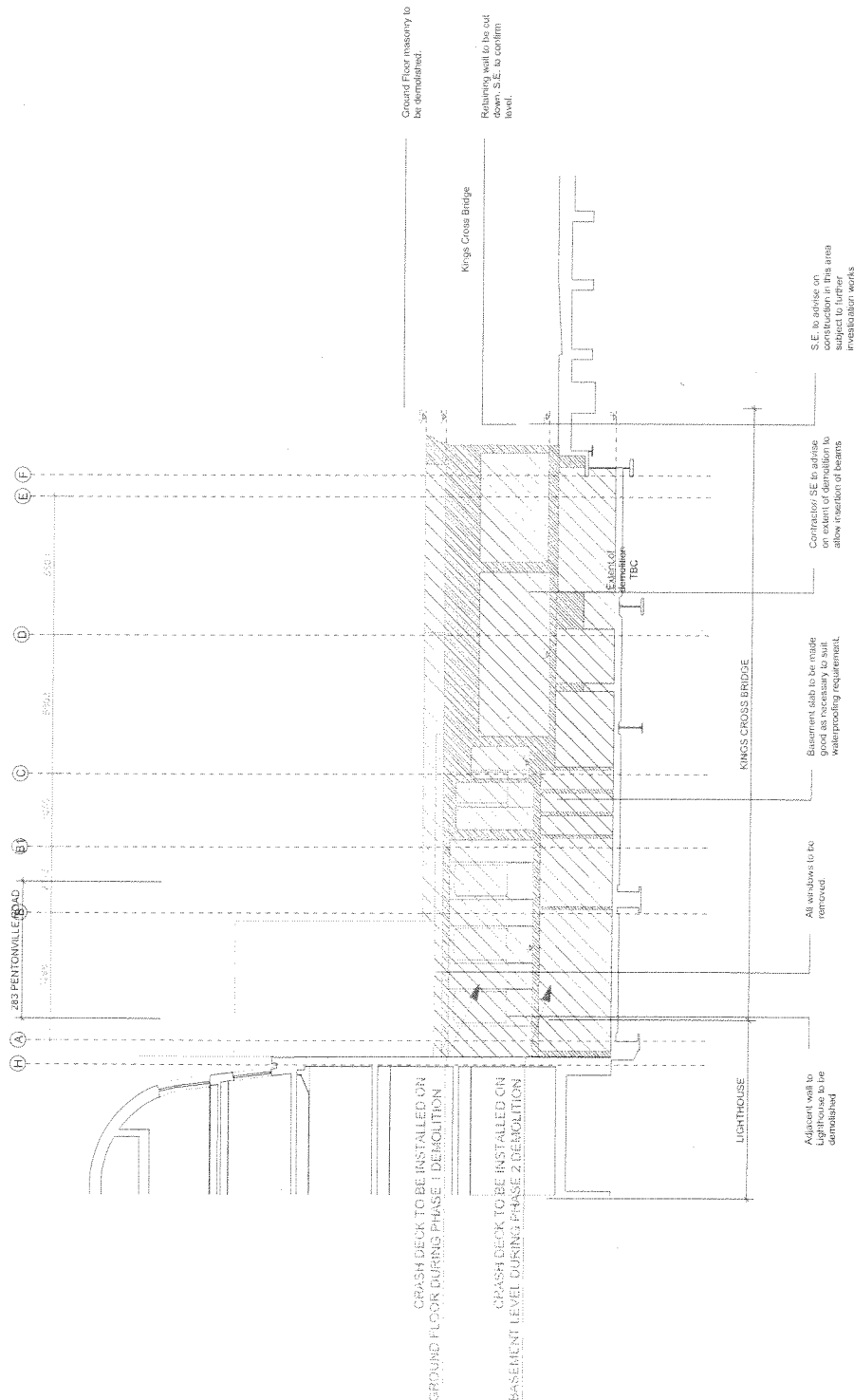
LEGEND:

PHASE 1 DEMOLITION AREA
PHASE 2 DEMOLITION AREA

| | | |
|-------|-------------|-------------------------------|
| C | AG/AV | 28.04.17 Stage 4 Issue |
| B | AV/BA | 10.02.17 Stage 3 Tender Issue |
| A | DO/CT | 21.01.17 Tender Issue |
| Issue | Check/Drawn | Date Description |

| | | | | | |
|---------|----------------------------|---------|--------|-------|---|
| Sheet | 1209 | Draw No | 113-01 | Issue | C |
| TENDER | | | | | |
| Project | DEMOLITION - SECTION A - A | | | | |
| Scale | 1:200 @ A3 1:10 @ A1 | | | | |

Project
KINGS CROSS BRIDGE



Latitude
Latitude Architects
15 Vauxhall Square
London SE1 1DU
Tel: 020 7463 4305
www.latitudearchitects.com

Drawing to be used in conjunction with all information by architect, structural engineers & services engineers.
This drawing is to be used for the design of all other information to be included on the drawing. It is not to be used for construction. Construction work should be reported to the architect immediately.
This drawing is the property of Latitude Architects and Designers and must not be reproduced or altered in any way without written permission.

KEY

EXISTING BUILDING FABRIC TO BE REMOVED
RETAINING WALLS TO BE CUT DOWN. REFER
TO STRUCTURAL ENGINEERS DRAWINGS
FOR LEVELS.

NOTE:

The information shown on this drawing indicates the scope of demolition, but not the method or sequence.

Building to be demolished in accordance with Ramboll Structural Engineer's method statements and construction sequence plan.

Refer to Ramboll Structural Engineer's specification C20.

Existing building to be removed down to top of basement slab and below ground level retaining requirements. No damage to existing slab permitted.

Where columns are cut down, surrounding brick/concrete pier to be broken out fully a further 350mm below cut down top of column.

Basement floor slab to be retained subject to further investigations.

S.E. to advise on load bearing walls in basement.

Condition of the basement to be reviewed post strip out.

Remove all services and sanitaryware, and cap off in accordance with M & E specification.

LEGEND:

PHASE 1 DEMOLITION AREA

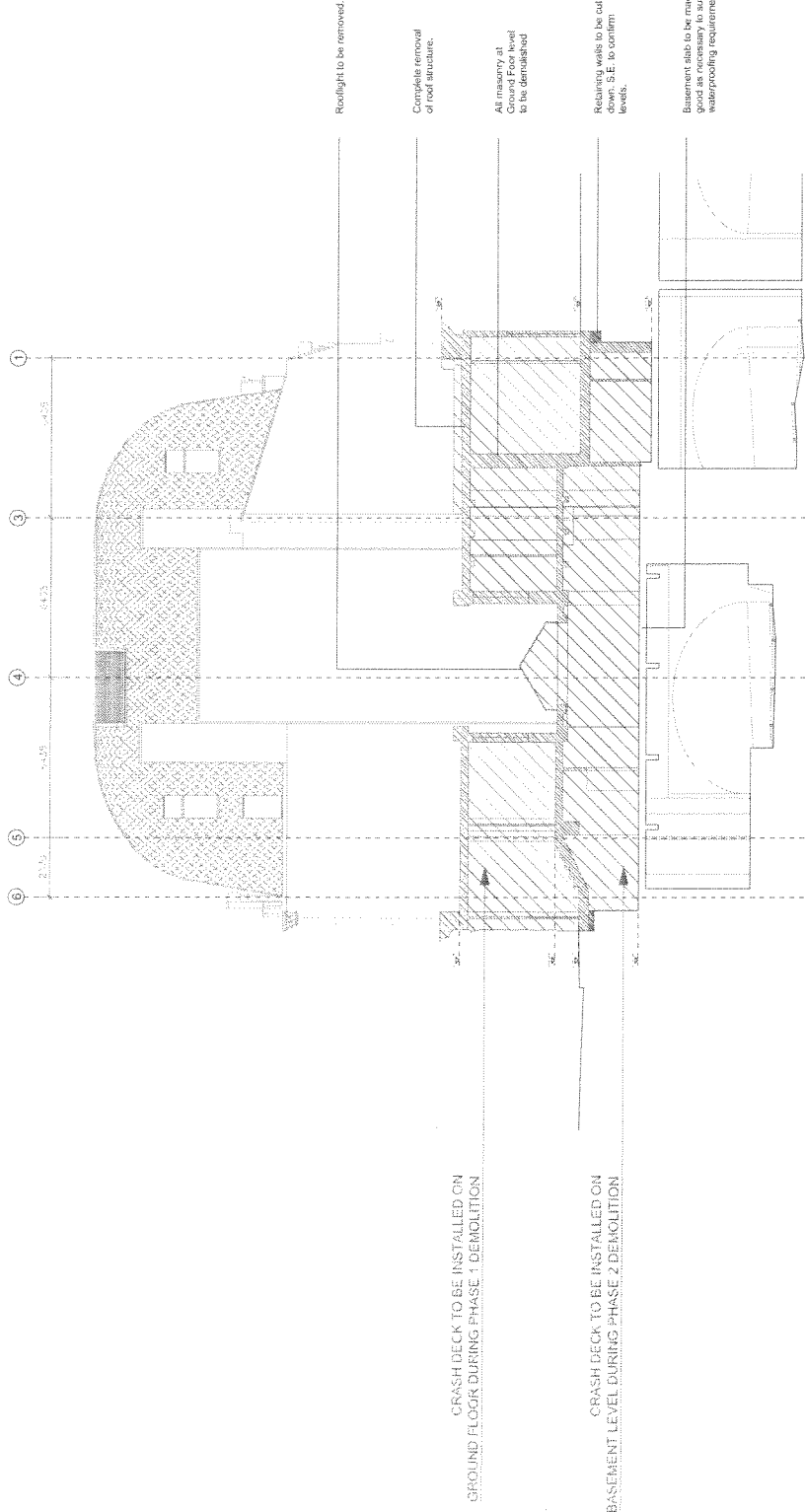
PHASE 2 DEMOLITION AREA

| | | | |
|-------|-----------|----------|----------------------|
| C | AG/AV | 28/04/17 | Stage 4 Issue |
| B | AV/BA | 10/02/17 | Stage 3 Tender Issue |
| A | CON/GT | 21/01/15 | Initial Tender |
| Issue | Drawn/Rev | Date | Description |

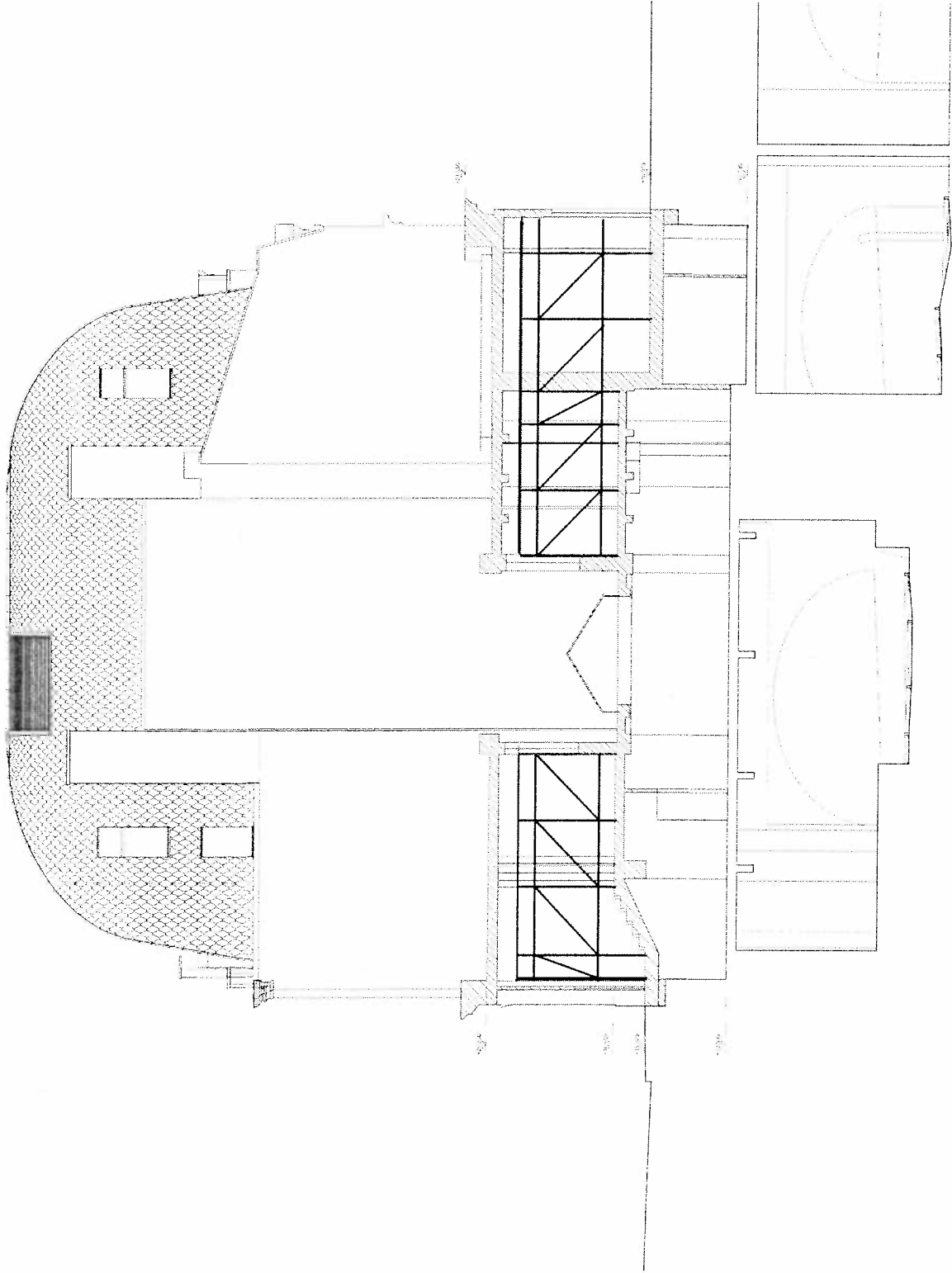
| | | | |
|--------|--------|---------|-------|
| Scale | Job No | Draw No | Issue |
| TENDER | 1209 | 113-02 | C |

DEMOLITION - SECTION B - B
1:200 @ A3 1:100 @ A1

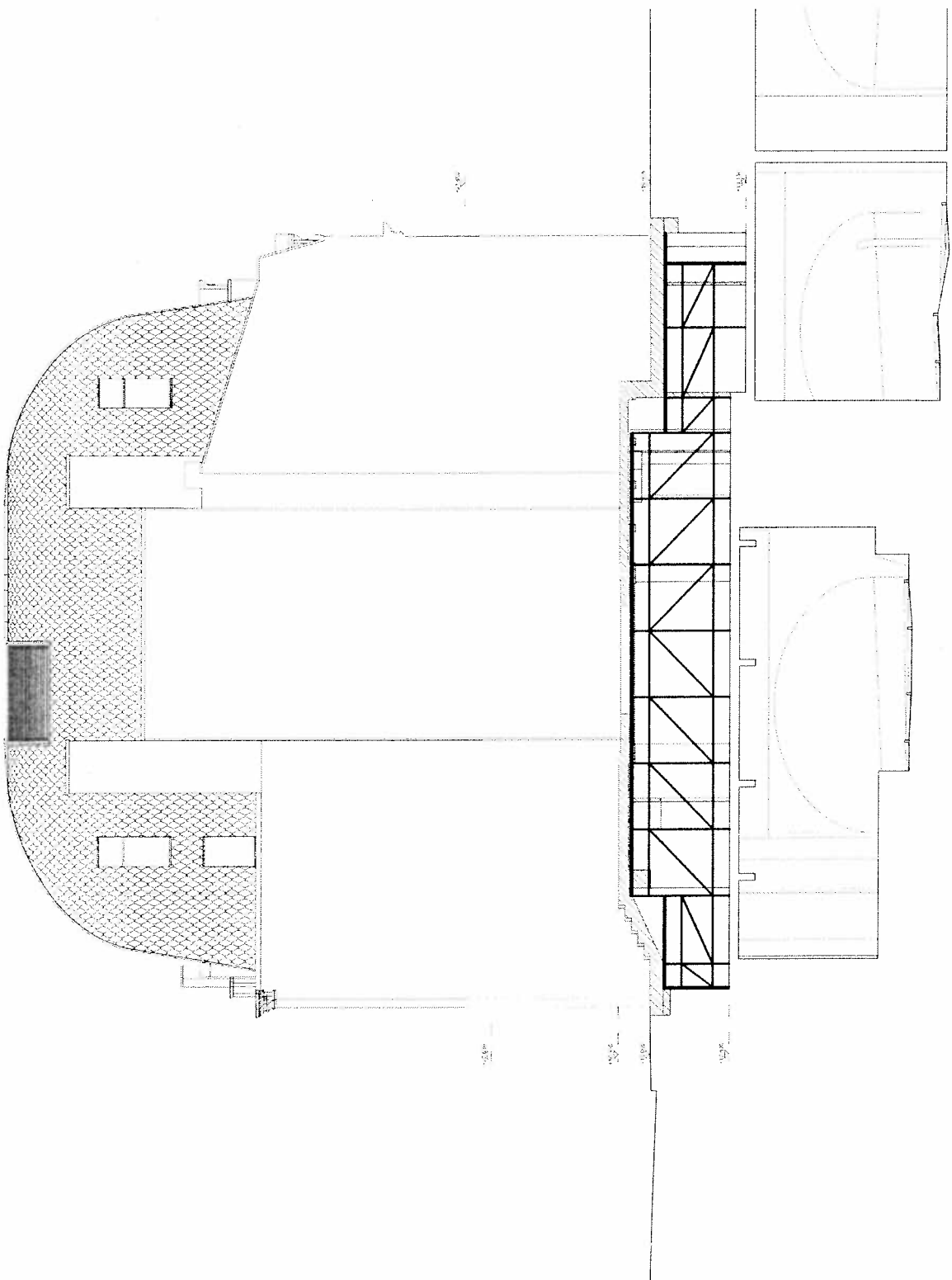
Project
KINGS CROSS BRIDGE



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DEMOLITION CRASH
DECK SCAFFOLDING
PHASE 1
(Indicative layout)



DEMOLITION CRASH
DECK SCAFFOLDING
PHASE 2
(Indicative layout)



KINGS CROSS BRIDGE PHASED DEMOLITION

10.4 Appendix D - Temporary Works Design

DOCUMENT ISSUE SHEET

| | |
|--------------|--------------------|
| Designed for | MURPHY GROUP |
| Client | UK REAL ESTATES |
| Site | KINGS CROSS BRIDGE |

| | Issue Date | day month year | 22 05 17 | 26 05 17 |
|-------------------------------|------------|----------------------|----------------|----------------|
| Distribution list | | | | |
| Sean Cronin - Murphy | | | 1 | 1 |
| Shaun Pipe - Pipe Scaffolding | | | 1 | 1 |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| Total number of copies | | | 1 | 2 |
| Issue form | | | E | E |
| Status | | | A | A |

PV - Pavement License

GENERAL NOTES

- 1) The drawings are prepared and the structural design is based on the information provided by the client. The client is responsible for the accuracy of the information provided.
- 2) The drawings are prepared on the basis of the information provided by the client. The client is responsible for the accuracy of the information provided.
- 3) The drawings are prepared on the basis of the information provided by the client. The client is responsible for the accuracy of the information provided.
- 4) The drawings are prepared on the basis of the information provided by the client. The client is responsible for the accuracy of the information provided.
- 5) The drawings are prepared on the basis of the information provided by the client. The client is responsible for the accuracy of the information provided.
- 6) The drawings are prepared on the basis of the information provided by the client. The client is responsible for the accuracy of the information provided.
- 7) The drawings are prepared on the basis of the information provided by the client. The client is responsible for the accuracy of the information provided.
- 8) The drawings are prepared on the basis of the information provided by the client. The client is responsible for the accuracy of the information provided.
- 9) The drawings are prepared on the basis of the information provided by the client. The client is responsible for the accuracy of the information provided.
- 10) The drawings are prepared on the basis of the information provided by the client. The client is responsible for the accuracy of the information provided.
- 11) The drawings are prepared on the basis of the information provided by the client. The client is responsible for the accuracy of the information provided.
- 12) The drawings are prepared on the basis of the information provided by the client. The client is responsible for the accuracy of the information provided.
- 13) The drawings are prepared on the basis of the information provided by the client. The client is responsible for the accuracy of the information provided.
- 14) The drawings are prepared on the basis of the information provided by the client. The client is responsible for the accuracy of the information provided.
- 15) The drawings are prepared on the basis of the information provided by the client. The client is responsible for the accuracy of the information provided.
- 16) The drawings are prepared on the basis of the information provided by the client. The client is responsible for the accuracy of the information provided.
- 17) The drawings are prepared on the basis of the information provided by the client. The client is responsible for the accuracy of the information provided.
- 18) The drawings are prepared on the basis of the information provided by the client. The client is responsible for the accuracy of the information provided.
- 19) The drawings are prepared on the basis of the information provided by the client. The client is responsible for the accuracy of the information provided.
- 20) The drawings are prepared on the basis of the information provided by the client. The client is responsible for the accuracy of the information provided.

GENERALLY SCAFFOLD SET OUT 1 BOARD AWAY FROM EXISTING WALLS UNLESS SHOWN OTHERWISE

Scale: 1:100

Drawn in this space

FOR APPROVAL

| NO. | DESCRIPTION | DATE | BY | CHECKED |
|-----|-------------|------|----|---------|
| 1 | REVISION | | | |
| 2 | REVISION | | | |
| 3 | REVISION | | | |
| 4 | REVISION | | | |
| 5 | REVISION | | | |
| 6 | REVISION | | | |
| 7 | REVISION | | | |
| 8 | REVISION | | | |
| 9 | REVISION | | | |
| 10 | REVISION | | | |
| 11 | REVISION | | | |
| 12 | REVISION | | | |
| 13 | REVISION | | | |
| 14 | REVISION | | | |
| 15 | REVISION | | | |
| 16 | REVISION | | | |
| 17 | REVISION | | | |
| 18 | REVISION | | | |
| 19 | REVISION | | | |
| 20 | REVISION | | | |

MURPHY

Murphy and Sons Limited, 1000 North Bridge Road, London NW1 7LN
Tel: 020 7287 2288 Fax: 020 7287 2287
www.murphyandsons.co.uk

PROPOSED DEMOLITION CRASH DECK
ROOF SLAB
KINGS CROSS BRIDGE

THE REAL ESTATE

CONTRACT DESIGN SERVICE Ltd

Drawn by: 1000
Checked by: 1000
Scale: 1:100
Date: 10/10/17
Drawing No: M6/1367/01
Sheet: A

DESIGN PRODUCED FROM 3rd PARTY DRAWINGS
DIMENSIONS TO BE CONFIRMED ON SITE

ALL LOADS SHOWN ARE UNFACTORED

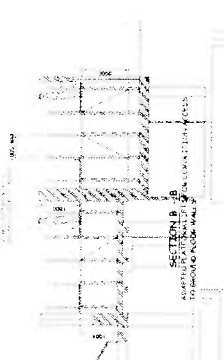
ALL SCAFFOLDS TO BE CONSTRUCTED
USING S&P-13 SAFE SYSTEMS OF WORK

APPROVAL NOTES

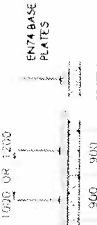
THE INFORMATION TO BE USED FOR ALL LOADS
IS THE INFORMATION SHOWN ON THE DRAWING

DESIGNER'S SIGNATURE

DATE



ALL SPREADER COMPISE 4 IN STANDARD
SCAFFOLD BOARDS EITHER 300 OR 240 IN
SPANNING PERPENDICULAR TO FLOOR JOISTS



TYPICAL SPREADER DETAIL

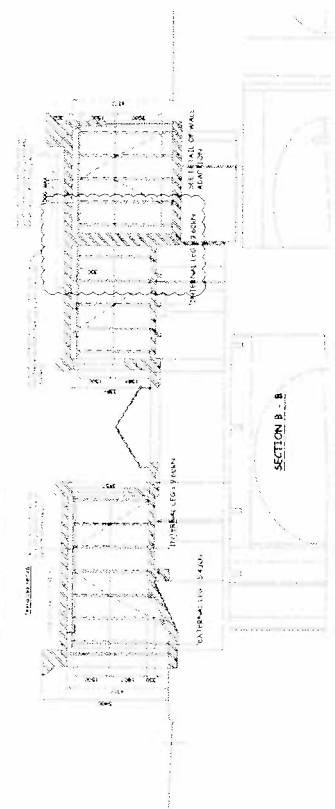
TRANSOMS TO BE ERECTED
IN PAIRS TIGHT TO EACH
SIDE OF STANDARDS

DOUBLE BOARDS - TYPICAL

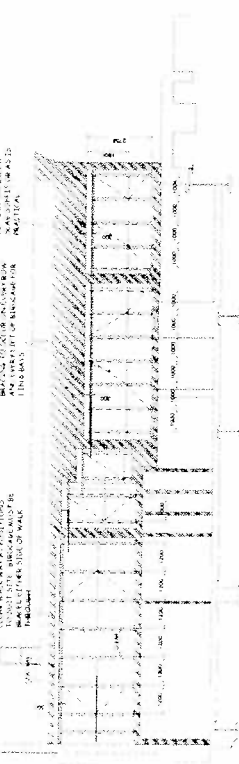


DESIGNER'S SIGNATURE

DATE



ALL MATERIALS TO BE MOVED WITH
PROGRESSION OF DEMOLITION



SECTION A-A

KINGS CROSS BRIDGE PHASED DEMOLITION

10.5 Appendix E – Operative's Briefing Attendance Sheet

Operative's Briefing Attendance Sheet

| | | | | | |
|--|--|-----------------------------|---|------------------|--|
| Project: Kings Cross Bridge. | | Project No.: LBU0147 | | Date: | |
| | | | | Time: | |
| Division: S4 | | Location: Site | | Duration: | |
| Briefing type (tick as appropriate) | | Ref. No. | Title: Access to Kings Cross Bridge Basement | | |
| Method Statement | | LBU0147 | | | |
| | | MST-0002 | | | |

N.B. – Signing of this form constitutes a declaration that you have fully understood the contents of the briefing given.

| Name (Print) | Signature | Date |
|--------------|-----------|------|
| 1. | | |
| 2. | | |
| 3. | | |
| 4. | | |
| 5. | | |
| 6. | | |
| 7. | | |
| 8. | | |
| 9. | | |
| 10. | | |
| 11. | | |
| 12. | | |
| 13. | | |

This is a complete list of all the persons who attended the briefing given by me.

Name (Print): Michael Monaghan Signature: _____
Company: J Murphy & Sons Ltd. Date: _____



DATED

15 August

2017

(1) LONDON UNDERGROUND LIMITED

-and-

(2) UK REAL ESTATE LIMITED

-and-

(3) LLOYDS BANK PLC

-and-

**(4) THE MAYOR AND BURGESSES OF
THE LONDON BOROUGH OF CAMDEN**

DEED OF VARIATION

Relating to the Agreement dated 26 August 2014
Between the Mayor and the Burgesses of the
London Borough of Camden,
London Underground Limited, UK Real Estate Limited and Lloyds Bank PLC
under section 106 of the Town and
Country Planning Act 1990 (as amended) and section 278 of the Highways Act 1980
Relating to development at premises known as
1-5 Kings Cross Bridge, 281 Pentonville Road and 368 Grays Inn Road
London N1 9NW

Andrew Maughan
Head of Legal Services
London Borough of Camden
Town Hall
Judd Street
London WC1H 9LP

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