

# Design & Access Statement

2nd Floor Flat, 60 Elsworthy Road

August 2017



## Contents:

- 01 Introduction
- 02 Design & Access
- 03 Existing Plans
- 04 Proposed Plans



## Introduction

This document has been prepared in support of the planning application for the second floor renovation of Flat 2, 60 Elsworthy Road, London, NW3 3BU. This application includes the replacement of a section of the existing roof where deterioration has occurred, the replacement of 5no. external windows located on the second floor and the installation of 2no. proposed rooflights.

60 Elsworthy Road is located in the Borough of Camden, to the South West end of Elsworthy road, close to the junction with Wadham Gardens. The building is in sub area 3 of the Elsworthy Road Conservation Area (adopted 14 July 2009).



## Design & Access

### Use:

The flat will remain as a private residential property.

### Amount:

The proposed area of the renovation is 98msq.

### Layout:

The layout will remain largely unaltered. The proposal is for the kitchen partition wall to be opened up and the living room partition wall to be pushed back towards the existing landing. This will allow for bedroom 02 to be enlarged and create room for additional storage.

### Scale:

The proposals will add no additional area to the existing 98msq footprint of the flat.

### Landscaping:

The external terrace which is accessible from the 2nd floor flat is of poor quality and requires repair. The proposal is to remove existing damaged tiles, form a new waterproof substrate, new lead flashings, coping stone and repair/redecorate existing railings. Allowing for laying new black and white old English quarry tiles with border as existing.

### Appearance:

The entirety of the second floor flat will be renovated and redecorated to a high standard.

The proposals are for the ceiling in the living room to be opened up in order to reveal the existing rafters and create a warm roof. Due to the current condition of the roof, this section will need to be taken up and replaced with handmade Keymer tiles on new treated SW battens and Tyvek membrane, re-using existing tiles and sarking where possible.

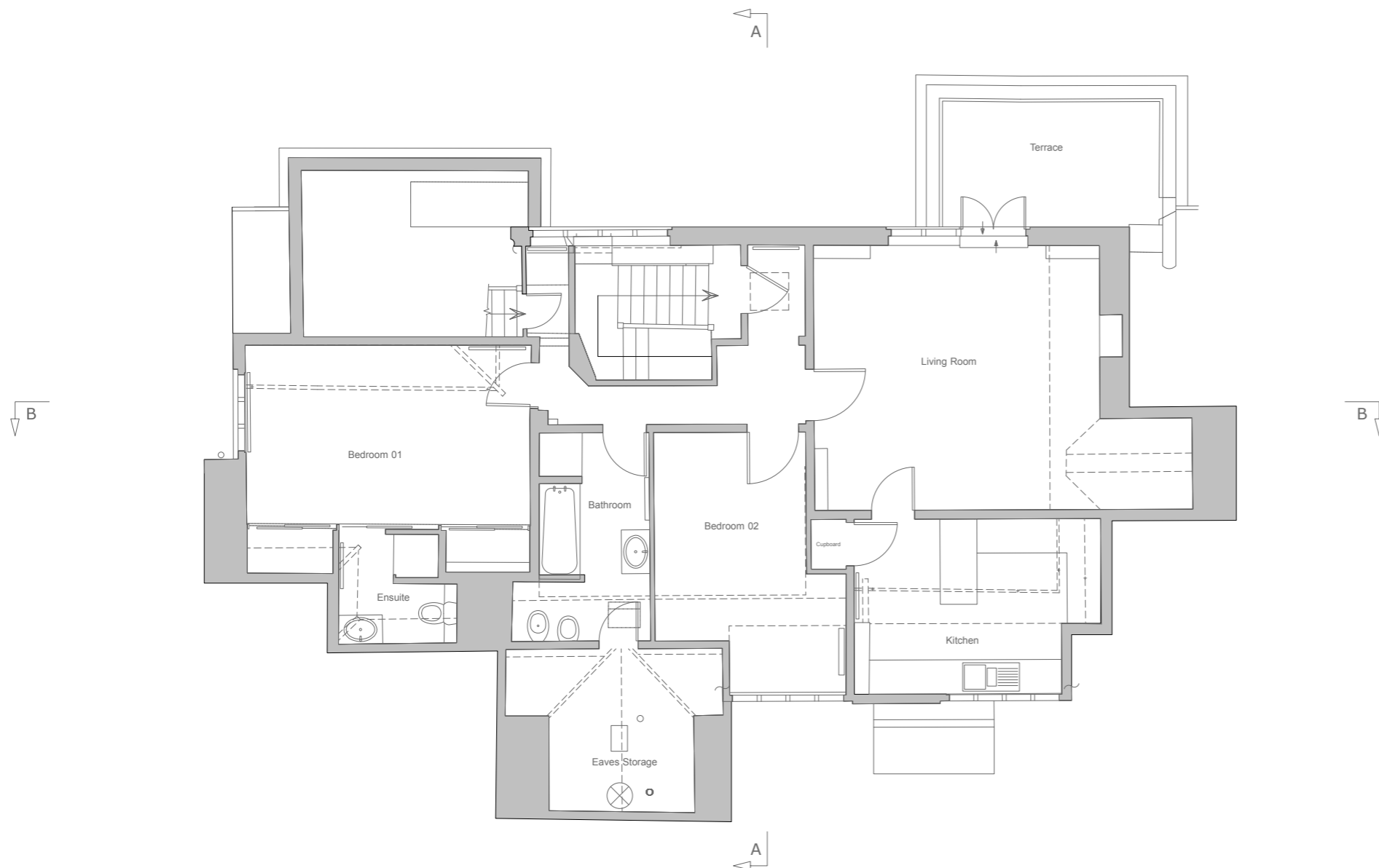
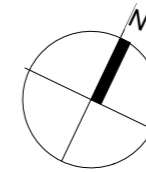
### Access:

Private residential access will remain the same with two points of entry to the flat. One through the main door and up through the house and the other from a second separately enclosed staircase off of the rear garden, connected to the rear of the house.

# Existing Plans

Existing Second Floor Plan:

- Existing Configuration

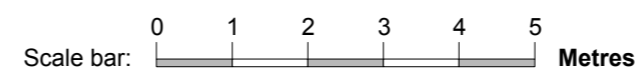
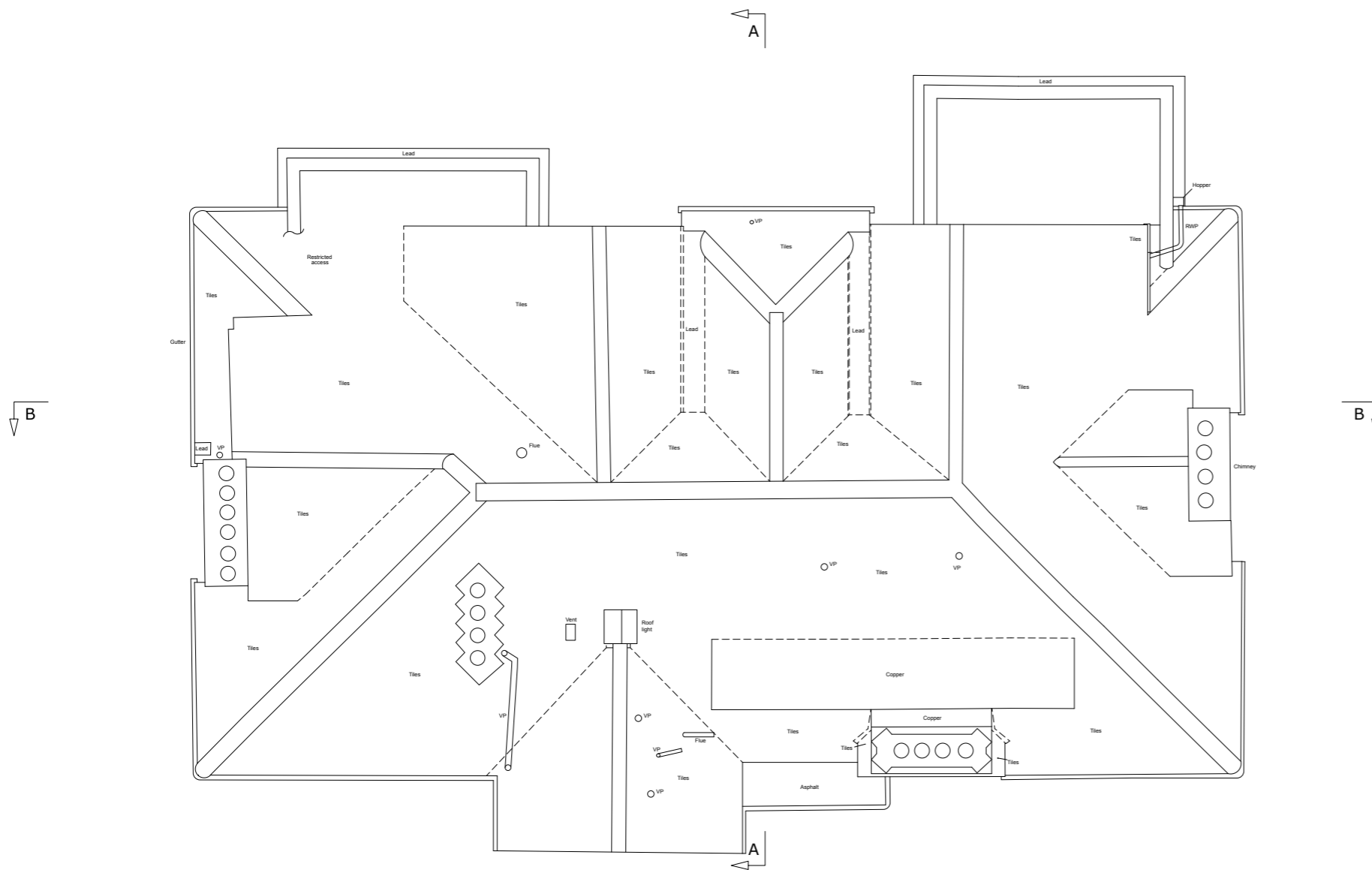
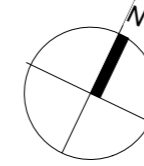


# Existing Plans

Existing Roof Plan:

- Roof Condition

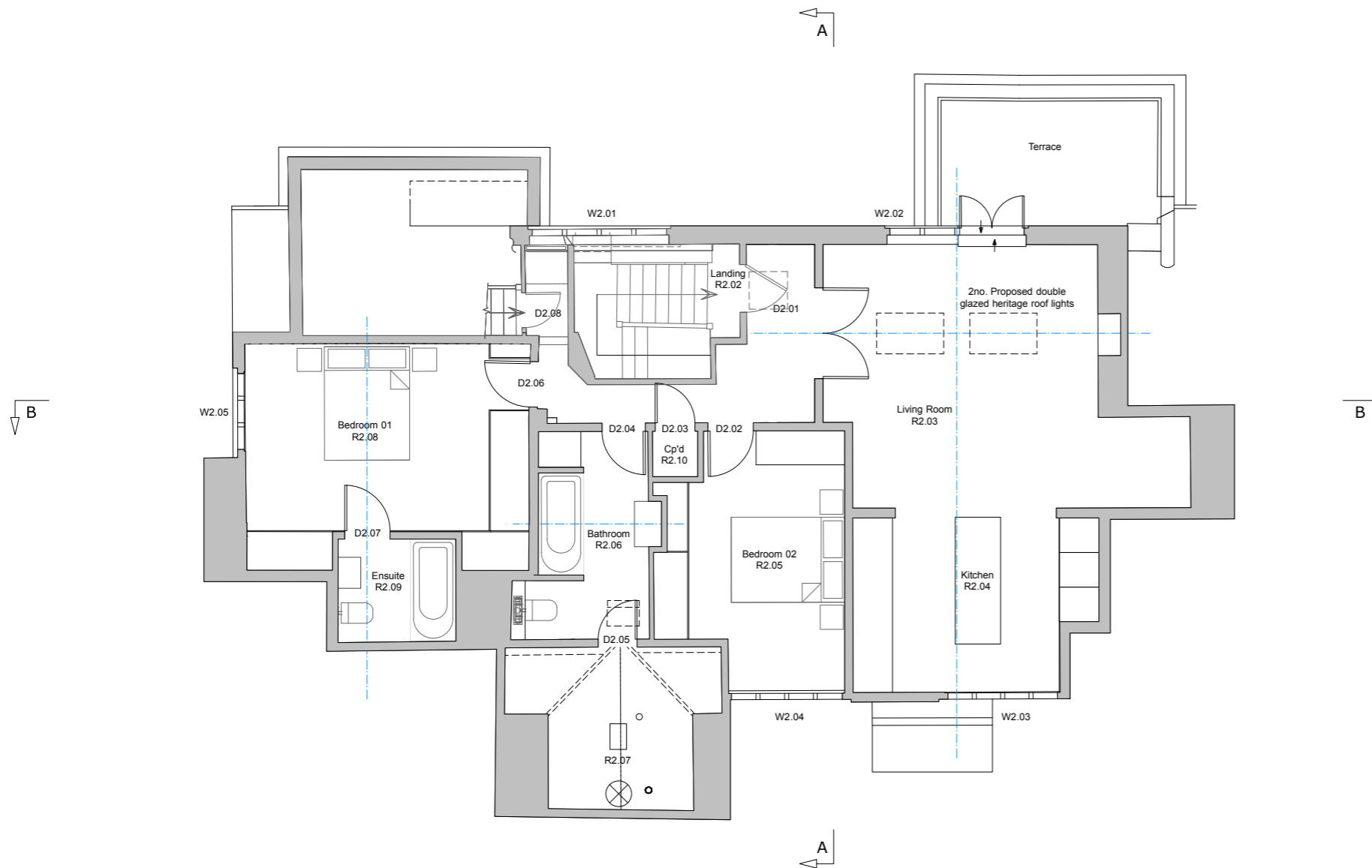
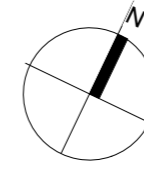
At present the condition of the roof is poor with signs of water ingress and damp, especially to the areas above the living room and dining room.



# Proposed Plans

Proposed Second Floor Plan:

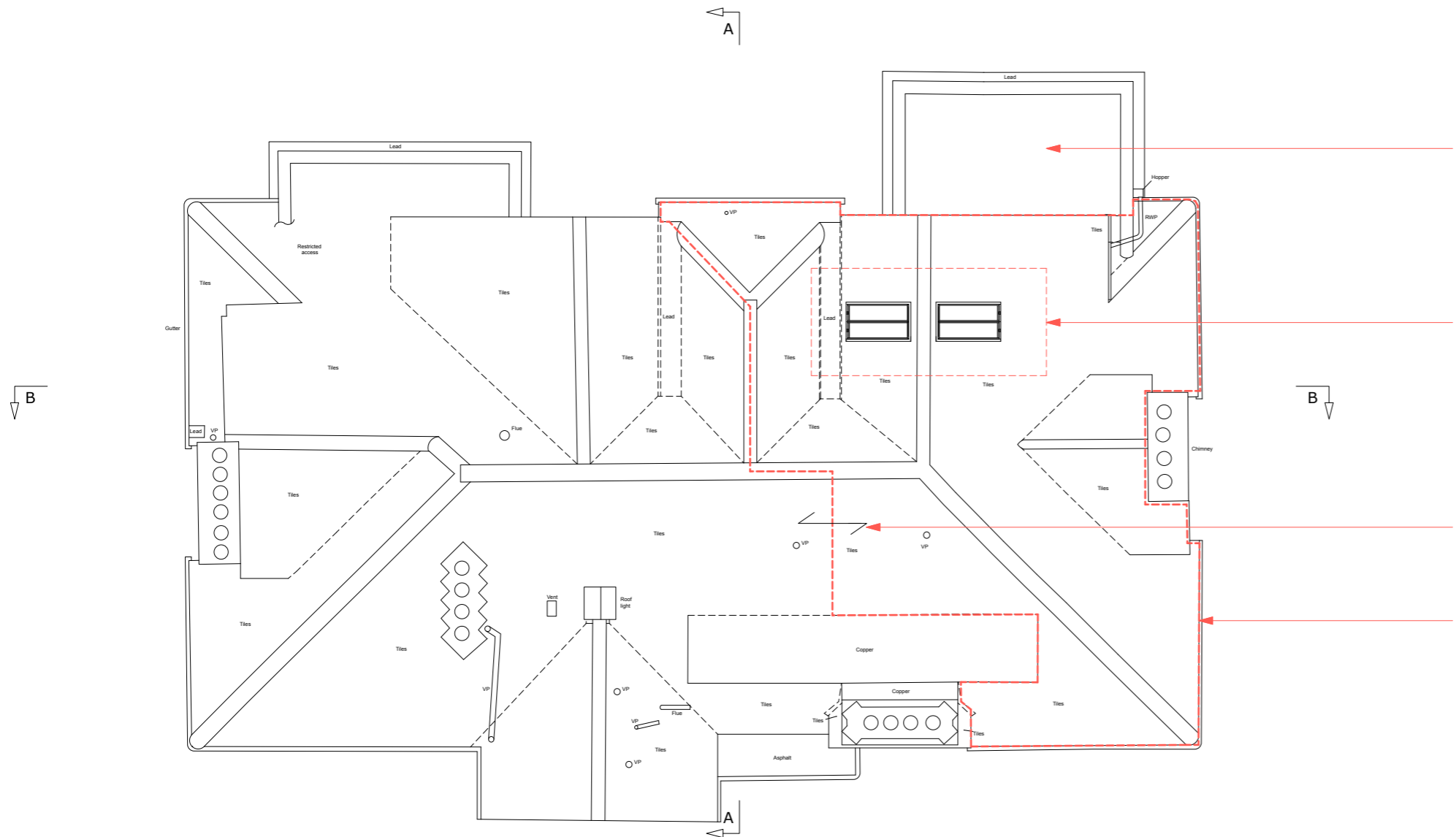
- Reconfiguration



# Proposed Plans

Proposed Roof Plan:

- Roof repair
- Additional Skylights
- Repair Existing Balcony



Remove existing damaged tiles to balcony, form a new waterproof substrate, new lead flashings, coping stone and repair/redecorate existing railings. Allow for laying new black and white old English quarry tiles with border as existing.

New double glazed heritage skylights, to fit between rafters

New tiles blended with existing

Complete reroofing over living room and kitchen areas: Including Kingspan insulation between and under the rafters.

Reuse / new handmade Keymer clay tiles on new treated SW battens on Tyvek breather membrane on existing sarking. Existing tiles to be removed and set aside for possible reuse.

New Alumasc Heritage cast iron gutters, hoppers and down pipes.

New lead / copper flashings / soakers and terracotta ridge tiles.

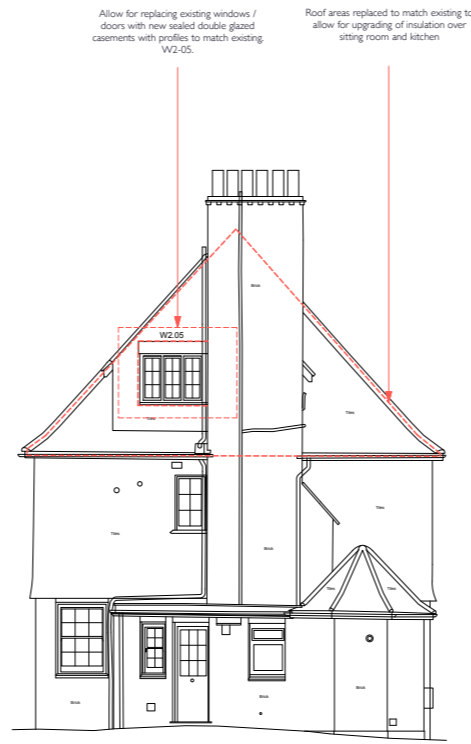


Photograph of existing terrace condition

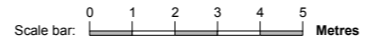




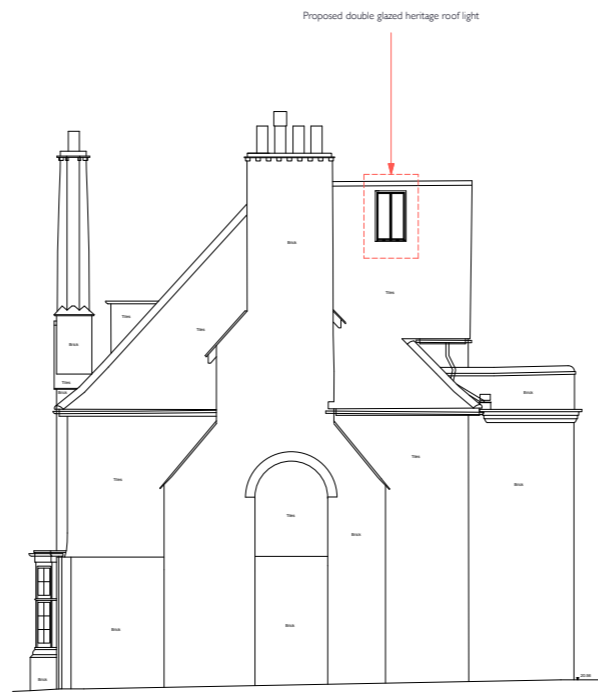
SOUTH ELEVATION



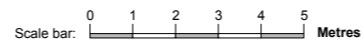
WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



## Proposed Plans

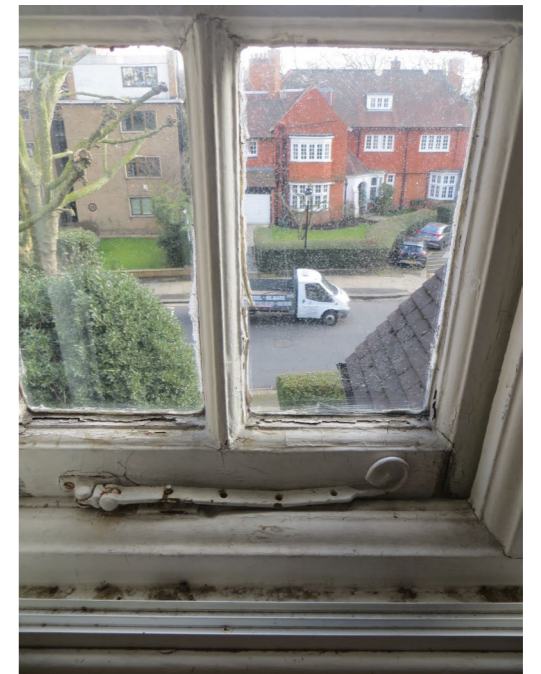
Proposed Elevations:

- Condition of existing windows

At present the condition of the second floor windows are very poor with signs of damp and rot.

- Replace 5no. existing windows

The proposal is to replace doors/windows with new sealed double glazed casements with profiles to match existing. W1.01, W2.01, W2.02, W2.03, W2.04, W2.05.



Photograph of existing window condition