

1m 2m 3m 4m 5m

Existing non original timber doors to be removed and replaced with new painted hardwood tongue and groove door

Existing double hung timber sash windows to be refurbished and redecorated through, to include new sash cords pulleys & weights as necessary

New four panelled door with associate ironmongery and historically accurate timber architraves and mouldings

New historically accurate timber architraves to be reinstated

New historically accurate timber architraves to be reinstated

Existing non original door to be removed and replaced with new painted hardwood four panelled door with associated ironmongery and furniture

WALK IN CLOSET

SHOWER RM

BEDROOM 5/
PLAYROOM

BEDROOM 4/
PLAYROOM

MECHANICAL &
ELECTRICAL PLANT
ROOM
(retained vaulted ceiling)

COURTYARD
(as existing)

New black painted cast iron heritage type rain and soil water pipes and hopper with eared sockets

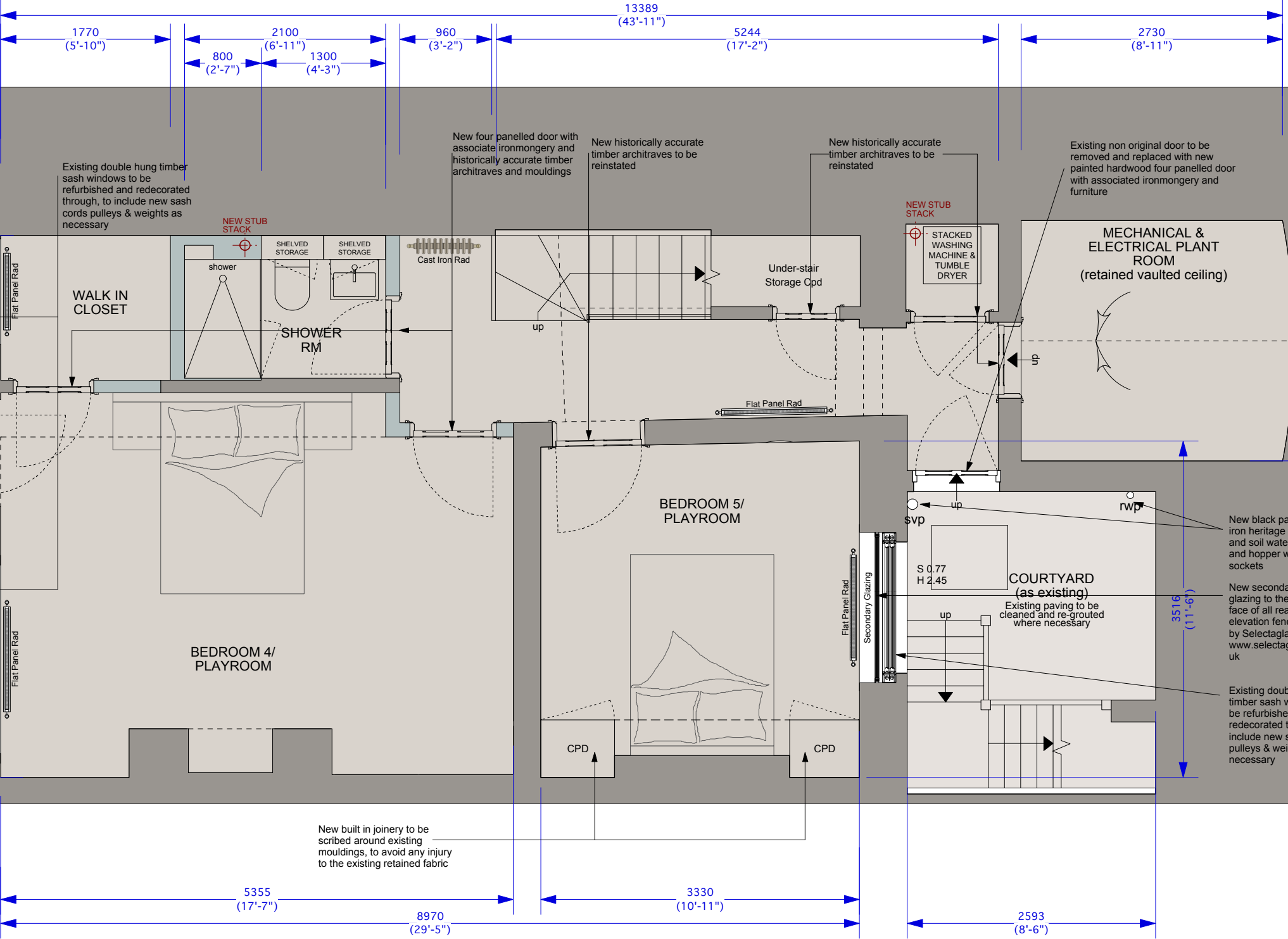
New secondary glazing to the inner face of all rear elevation fenestration by Selectaglaze www.selectaglaze.co.uk

Existing double hung timber sash windows to be refurbished and redecorated through, to include new sash cords pulleys & weights as necessary

Existing tank within vault to be removed but if it transpires that the removal of this tank would result in a greater expense than retaining it and fixing shut the access to this vault then then the client's preferred option would be the latter, thereby preventing any future tenant from accessing the vault.

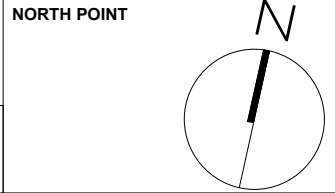
Refurbishment of the existing timber work pertaining to the door, frame and associated mouldings (to include paint removal, resin repairs and decorations), new ironmongery & associated door furniture.

New built in joinery to be scribed around existing mouldings, to avoid any injury to the existing retained fabric



	Existing load bearing and non load bearing walls
	New plasterboard lined non load bearing timber stud walls (a reversible intervention)

NOTES:
 . DO NOT SCALE FROM THIS DRAWING.
 . ALL DIMENSIONS TO BE CHECKED ON SITE.
 . ALL OMISSIONS AND DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY



TF ARCHITECTURE
 2-3 WOODSTOCK STREET
 LONDON W1C 2AB
 T. 020 7052 0756
 F. 020 7052 0757
 E. info@tfarchitecture.com

CLIENT	CROWN STATE				
PROJECT	10 CHESTER PLACE, LONDON NW1				
DRAWING TITLE	PLANNING	L/GROUND FLOOR PLAN_AS PROPOSED			
DATE	170811	SCALE	1:50@A3	JOB NO.	471
DRWG NO.	PR.100	REV.			