

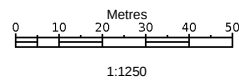


# NO. 33 Willow Cottages

## LISTED BUILDING CONSENT DESIGN & ACCESS STATEMENT

Produced 27 Apr 2017 from the Ordnance Survey MasterMap (Topography) Database and incorporating surveyed revision available at this date.

The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.



33, Willow Rd, London  
NW3 1TN

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Order Licence Reference: O11118521  
Centre coordinates: 526743 185868



Figure 3. View from Willoughby Road corner with Willow Road, of gable to no.33 Willow Cottages

## Design & Access Statement

### Proposed works as part of this submission:

The proposal seeks to begin to reverse the unsympathetic works carried out in the 1980's and to address the current poor condition of the lower ground floor, which is not fit for habitation by a young family at present.

The intention of this proposed phase of works is to remodel the lower ground floor to provide upgraded family kitchen and living accommodation. A separating folding door seeks to re-instate the historic two-cell layout along the downstand beam visible to the lower ground level.

These works aim to resolve issues of damp, remove a non-original section of wall, upgrade the existing wc and shower area and involve removing and replacing in a new position the existing, non-original kitchen. The new kitchen elements will all be freestanding and have no impact on the historic fabric. The non-original floor tiles will be lifted and the floor prepped to receive a floating timber floor, with a wet under floor heated system underneath, on damp proof membrane. The manifold serving this system will be concealed under the stair, as will the small combi boiler to serve it. The new floor, comprised of an underfloor heating gypsum board layer, with timber floating floor over, will be scribed around the historic front window, its overall build up will result in an approx 21mm increase in finished floor level. This is described in detail drawing 055\_D\_11.

As part of the proposed works the intention is to carry out some opening up, to reveal the historic core of door leaves that have had additional layers of fireproofing added, most likely in the 1980's, to reveal a door-opening accessing the sunken lightwell to the front of the house, which historic research suggests existed and continues to exist in the other cottages forming part of the terrace. In addition the boundary walls will be carefully inspected to deduce what aspects are original and historic and what are more recent.

### Design & Conservation Philosophy:

The key intention of this phase of works is to bring the lower ground floor back into use for the family and to provide an upgraded kitchen/ dining and bathroom area. The approach taken will be to offer only easily reversible additions to the historic fabric, to undo and remedy some of the unsympathetic alterations to the cottage that have been executed in the 20th Century and to render the house or cottage fit for purpose for a 21st century small family. No further damage will be sustained by the historic building as part of these works.

Fitness for purpose will be achieved via the addition of a series of sensitive and carefully executed

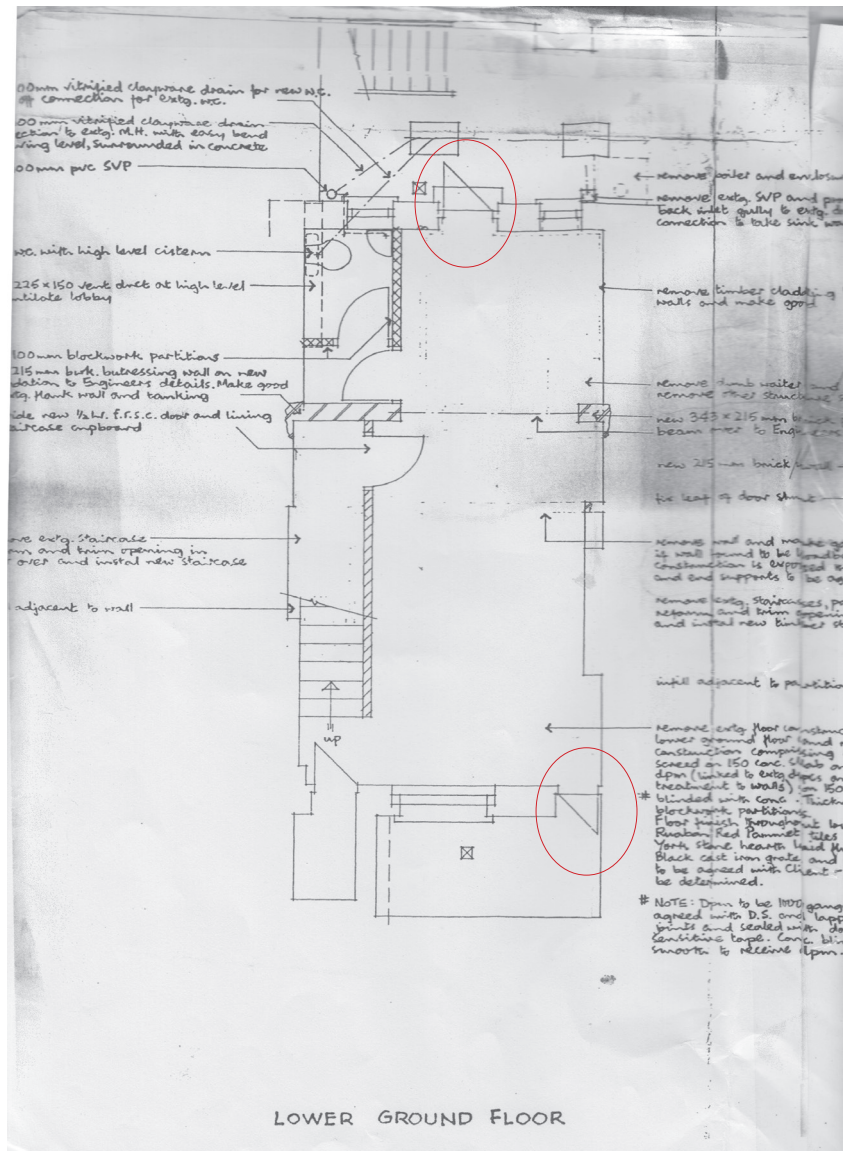


Figure 4. Extract from drawing of lower ground floor plan indicating 1985 works to the property. This archive drawing indicates the former position of the door accessing the lightwell, which we are seeking to investigate with Graeme Metcalf. Note: originals of the archive drawings are not available

joinery pieces, that can be easily removed or reversed without damage being sustained to the historic fabric. These will be executed by a specialist joiner, experienced in working within listed and historic buildings.

Windows, shutters and the external door with fanlight over, to the rear at lower ground level, have been confirmed as non-original, machined, later additions and will be *refurbished* (revA) in this first phase of work.

The existing rear door and fanlight, which are currently in poor condition, will be *refurbished* (revA). The security bars to the fanlight, which are unsympathetic to the conservation area, will not be re-instated internally.

Finishing will be to a high level, with an historic palate of colour and using low-voc and microporous paints employed to the renewed lower ground area. No new service runs or pipes will be visible externally, the works will solely reuse existing service runs, routes and pipes.

A subsequent, later phase of work will seek to remedy structural issues with the gable wall and roof and will additionally work with the upper level of the house. This initial phase of work is to respond to an immediate need for upgrade to the lower ground floor and the addressing of issues around damp, thermal comfort (or lack of) and security. The lower ground level is presently not fit for purpose for the owner's young family.

Damp remedials: after consulting with various expert firms in damp remedials and excluding a series of solutions proposed, it is our intention now to employ Preservation Treatments, low technology, Dryzone Hi-Lime Renovation Plaster; locally to the wetroom area and any other minor patches as deemed necessary. This is subject to a survey being carried out by Preservation shortly.

'This is an environmentally friendly alternative to hard cement renders which is highly effective and breathable renovation plaster. Hi-Lime has a porous structure which allows walls to dry out by evaporation, achieving a dry decorative surface which is suitable for use on salt and damp contaminated walls.'

This approach is sympathetic to the historic structure and Preservation Treatments are versed in working with listed buildings and to English Heritage guidelines. Their ethos is as follows: 'when carrying out works to a listed building, the objective should be to retain as much as possible of the historic fabric and halt further decay. To preserve the authenticity and historic value of the property, intervention should be kept to a minimum when containing the problem.'

<http://preservationtreatments.co.uk/project/historic-and-listed-building-specialists/>



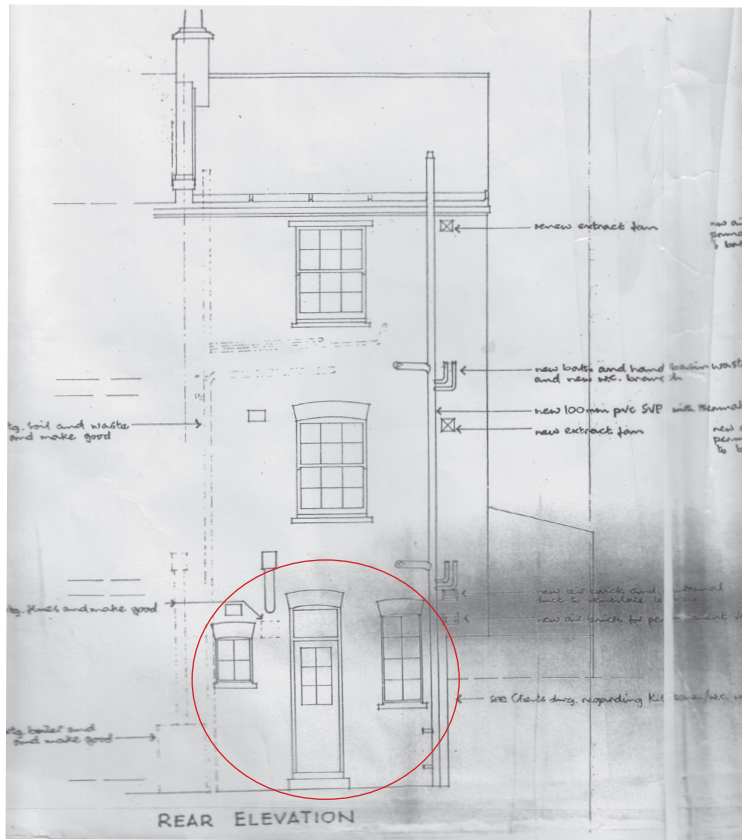


Figure 5. Extract from drawing of Rear Elevation. This archive drawing indicates the former position of the rear door with fanlight over and two sash windows, which we are seeking to refurbish (revA) after inspection by with Graeme Metcalf. Note that sill to kitchen window is lower than indicated in this drawing on inspection and now agrees with neighbours sill level.  
 Note: originals of the archive drawings are not available

### Building Regulations:

Building Regulations have been taken into account with this proposal and an approved officer will be appointed during the execution phase, to ensure compliance of any new gas device and the new combi boiler; underfloor heating and electrical installation. Existing lighting to the lower ground level only will be upgraded to suit new layout employing the existing circuits and fuse-board.

These limited proposed internal works, to the lower ground floor only, will not alter the arrangements regarding fire escape. Egress currently is possible to the rear shared sunken alleyway and via the shared steps up onto the public highway at Willoughby Road. Access can be gained to the original front sunken courtyard/ lightwell via the lower ground front sash window.

Refurbishment (revA) of windows and door to the rear will improve the usability, thermal performance and air tightness of the cottage at the lower ground floor level and some local damp remedial works will also improve the internal air quality. The installation of a heated underfloor layer, on a damp proof membrane and beneath a new timber floating floor, will improve the comfort levels and increase the habitability of the basement/ lower ground level.

### Accessibility:

Accessibility will not be altered by the proposed works.

### Expert Historic Building Advice:

Graeme Metcalf, of Belgrave Property Solutions, Period Property Specialists, will be advising on the historic elements and will undertake the opening up works and the remedial works to this phase. Graeme has been guest speaker with the Historic Houses Association on the adaptation of historic buildings to comply with Document B, he has also advised English Heritage and has served time as Building and Project/ Maintenance/ Upgrade Manager for Woburn Abbey, Longleat Estate, Hampton Court and Cheltenham College amongst other historic sites.

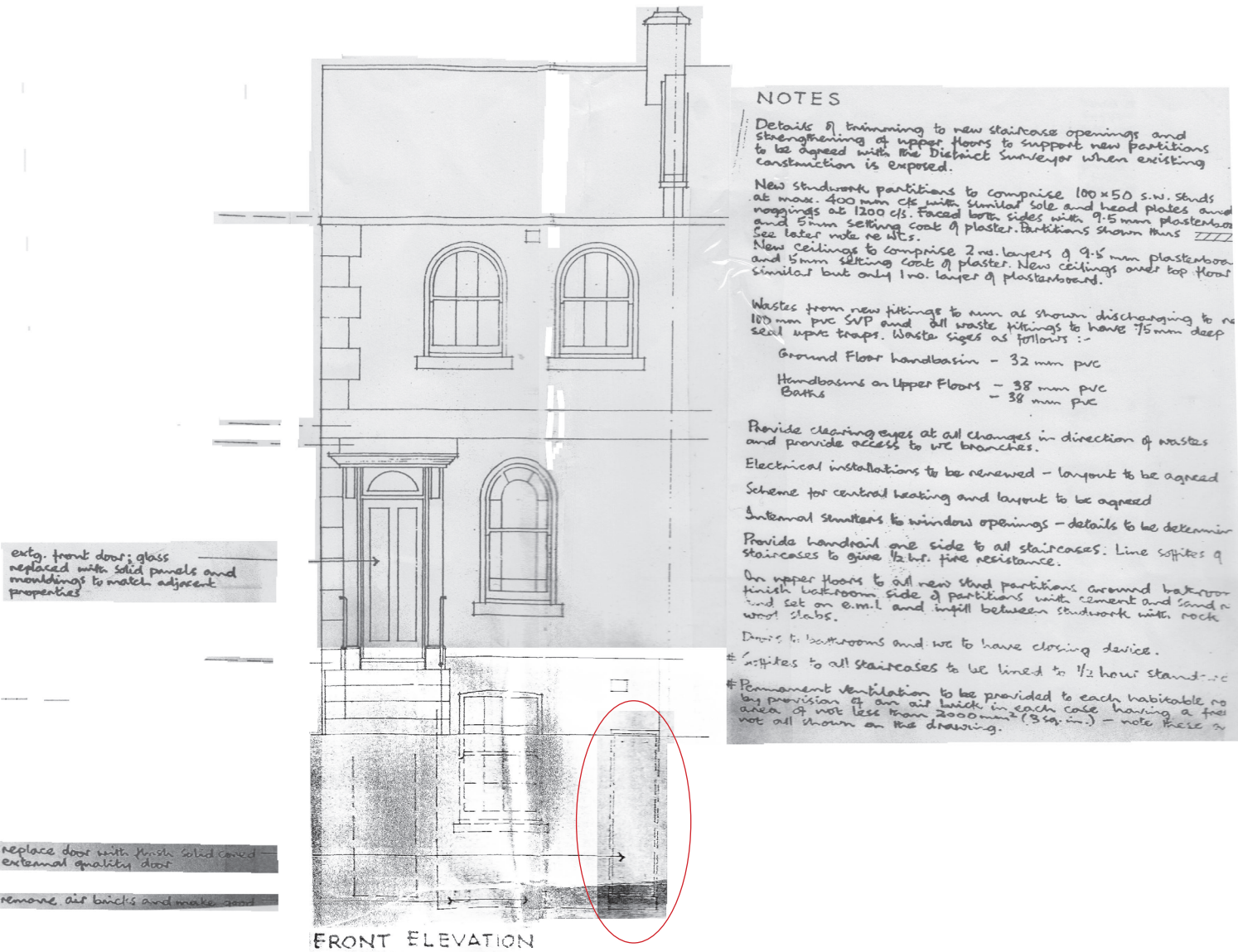


Figure 6. Extract from drawing of Front Elevation indicating 1985 works to the property. This archive drawing indicates the former position of the door accessing the lightwell, which we are seeking to investigate with Graeme Metcalf.  
 Note: originals of the archive drawings are not available



Figures 7 & 8. Above indicates the apparent former position of the door accessing the lightwell, which we are seeking to investigate with Graeme Metcalf. Below is the position of the catflap, in neighbouring houses, the door to the lightwell is in this position, to be investigated with Graeme Metcalf.

