

Mr Daniel Abbott
11 Falcon Lodge
Oak Hill Park
London
NW3 7LD

Application Ref: **2017/3823/P**
Please ask for: **Laura Hazelton**
Telephone: 020 7974 **1017**

14 August 2017

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Variation or Removal of Condition(s) Granted

Address:
Belvard Point
17 Murray Street
London
NW1 9RE

Proposal: Variation of condition 2 of planning permission allowed at appeal on 23/06/2016 under reference APP/X5210/W/16/3142649 (LPA ref: 2015/4760/P) for the erection of a single-storey extension to an existing residential and live/work development to create a 1 bed flat on the existing flat roof; namely, to keep the existing cladding to the rear of the lift overrun rather than replacing it with metal cladding.

Drawing Nos: Superseded drawing: 344 131 rev C
Revised drawing: 344 131 rev C (received by the LPA on 05/07/2017)

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted shall begin not later than 3 years from the date of the original decision granted on 23/06/2016.



Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 For the purposes of this decision, condition no.2 of planning permission allowed at appeal on 23/06/2016 under reference PP/X5210/W/16/3142649 (LPA ref: 2015/4760/P) shall be replaced with the following condition:

REPLACEMENT CONDITION 2

344_SK_008 Rev.B, 344_SK_009, 344_001, 344_002, 344_003, 344_010, 344_011, 344_020, 344_030, 344_031, 344_032, 344_101 Rev.B, 344_102 Rev.B, 344_103 Rev.B, 344_111 Rev.B, 344_120 Rev.B, 344_131 Rev.C (revised drawing received by the LPA on 05/07/2017), 344 401, 344 402, 344 332 rev A, 344 310 rev E, and 344 007 rev B, 344_110 rev D, 344 332 rev A, and 344 333 rev B.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 The external facing materials shall be as approved by the local planning authority under ref 2017/0014/P and partly amended by this permission. The works shall not be carried out other than in accordance with the details thus approved.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the Camden Local Plan 2017.

- 4 The secure and covered cycle storage area for 1 cycle as approved by the Council under reference 2017/0014/P and varied by permission ref 2017/3272/P shall be provided in its entirety prior to the first occupation of any of the new unit, and thereafter be permanently retained.

Reason: To ensure the development provides adequate cycle parking facilities in accordance with the requirements of policy T1 of the Camden Local Plan 2017.

- 5 Details of the green roof including species, planting density, substrate and a section at scale 1:20 showing that adequate depth is available in terms of the construction and long term viability of the green roof, and a programme for a scheme of maintenance, as approved under ref: 2017/0014/P shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme of maintenance.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies G1, CC1, CC2, CC3, D1, D2 and A3 of the London Borough of Camden Local Plan 2017.

Informative(s):

1 Reasons for granting permission.

The proposed amendment to retain the existing cladding to the rear of the lift overrun is considered a minor change that would not cause harm to the character and appearance of the host building or wider Conservation area. Although it would be different to the new cladding to the front, it would still sit well with both the existing materials and the new cladding and it considered acceptable in design terms.

Due to the location and nature of the proposals, they are not considered to raise any concerns in terms of impact on neighbouring amenity.

No objections have been received prior to making this decision. The planning history of the site has been taken into account when coming to this decision. Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the Conservation Area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

As such, the proposed development is in general accordance with Policies A1, D1 and D2 of the Camden Local Plan 2017. The proposed development also accords with the London Plan 2016 and the National Planning Policy Framework 2012.

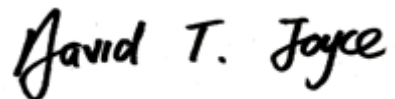
- 2 This approval under Section 73 of the 1990 Act effectively varying the relevant condition of the previous planning permission is subject otherwise to the same terms, drawings, conditions (and obligations where applicable) as attached to the previous planning permission. This includes condition 1 providing for a 3 year time period for implementation which for the avoidance of doubt commences with the date of the original decision (and not this variation).
- 3 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).
- 4 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Noise and Licensing Enforcement Team, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (Tel. No. 020 7974 4444 or search for 'environmental health' on the Camden website or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink that reads "David T. Joyce". The signature is written in a cursive, slightly slanted style.

David Joyce
Director of Regeneration and Planning