

Mr Anthony Close-Smith
Donald Insall Associates
12 Devonshire Street
London
W1G 7AB

Application Ref: **2017/2450/L**
Please ask for: **Laura Hazelton**
Telephone: 020 7974 **1017**

4 August 2017

Dear Sir/Madam

DECISION

Planning (Listed Building and Conservation Areas) Act 1990

Listed Building Consent Granted

Address:

27 John Street & 21 John's Mews
London
WC1N 2BX

Proposal:

Internal alterations associated with proposed change of use to dwelling house; demolition of existing single storey rear extension and erection of new single storey rear extension with associated terrace above and new French windows to provide access; alterations to rear elevation; replacement of metal windows at 21 John's Mews with new timber sash windows; roof alterations and installation of new rooflight.

Drawing Nos: 1000, 1001, 1002, 1003, 1004, 1005, 1006, 1200, 1201, 1202, 1300, 1301, 2000 rev I, 2001 rev I, 2002 rev G, 2003 rev G, 2004 rev D, 2005 rev C, 2006 rev B, 2200 rev C, 2201 rev F, 2202 rev D, 2300 rev H, 2301 rev H, 3401, 4000 rev X, Design and Access Statement dated 05/04/2017, Historic Building Report dated September 2013.

The Council has considered your application and decided to grant Listed Building Consent subject to the following condition(s):

Conditions And Reasons:



- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 2 All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, colour, texture and profile, unless shown otherwise on the drawings or other documentation hereby approved or required by any condition(s) attached to this consent.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of Policy D2 of the Camden Local Plan 2017.

- 3 The works hereby approved are only those specifically indicated on the drawing(s) referred to above.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of Policy D2 of the Camden Local Plan 2017.

- 4 Detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority before the relevant part of the work is begun:

- a) Sensitive openings between the front and rear rooms on the ground and first floors to reveal any structural woodwork.

- b) Plan, elevation and section drawings of new French door in the rear lightwell at a scale of 1:20.

- c) Details of service runs for all new bathrooms, demonstrating the relationship of new pipework with the structure of the building.

- d) Plans, elevations and sections of all new doors to be installed at a scale of 1:10, with typical moulding and architrave details at a scale of 1:1.

- e) Full scale samples or sectional drawings of all new cornices and skirting at a scale of 1:1, this should be accompanied by corresponding floor plans.

- f) Plans, elevations and sections of all new windows at a scale of 1:10 with typical glazing bar details at a scale 1:1.

- g) Plans, elevations and sections of new staircase and railings onto rear terrace at a scale of 1:10.

The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of Policy D2 of the Camden Local Plan 2017.

- 5 Notwithstanding any openings shown on the drawings hereby approved (2001 rev I and 2002 rev G), new openings shall not be made between the front and rear rooms at ground and first floor until details have been provided in accordance with condition 4a and the acceptability of such openings has been approved in writing by the local planning authority.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy D2 of the Camden Local Plan 2017.

Informative(s):

- 1 Reasons for granting listed building consent.

The acceptability of the new openings between the front and rear rooms on the ground and first floors is conditional upon careful opening up to reveal if any structural woodwork or historic fabric is discovered within the wall and subject to agreement with a conservation officer. These details will be secured by condition.

The materials, finish and simple design of the proposed extension is considered to be appropriate. There will be no loss of significant or historic fabric involved, and the proposal is not considered to have an adverse impact on the appearance or character of the building's rear elevation. The proposal is considered therefore to preserve the building's special architectural and historic interest.

The proposal was revised to change the originally proposed glazed staircase and balustrade onto the roof terrace to a more traditional metal railing which would be more sympathetic to the special character of the listed building.

No objections were received prior to the determination of this application. The Council's Conservation Officer has assessed the proposals and does not object to the development.

The site's planning history has been taken into account prior to making this decision and special regard has been attached to the desirability of preserving the listed building and its features of special architectural or historic interest, under s.16 of the Planning (Listed Buildings and Conservation Areas Act) 1990 as amended by the Enterprise and Regulatory Reform Act [ERR] 2013.

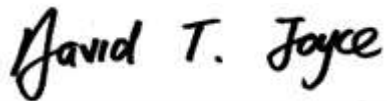
As such, the proposed development is in general accordance with policy CS14 of the London Borough of Camden Local Development Framework Core Strategy, policy DP25 of the London Borough of Camden Local Development Framework Development Policies and policy D2 of the Camden Local Plan Submission Draft 2016. The proposed development also accords with the London Plan 2016 and the National Planning Policy Framework 2012.

- 2 You are advised that any works of alterations or upgrading not included on the approved drawings which are required to satisfy Building Regulations or Fire Certification may require a further application for listed building consent.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink that reads "David T. Joyce". The signature is written in a cursive style with a large 'D' and 'J'.

David Joyce
Director of Regeneration and Planning