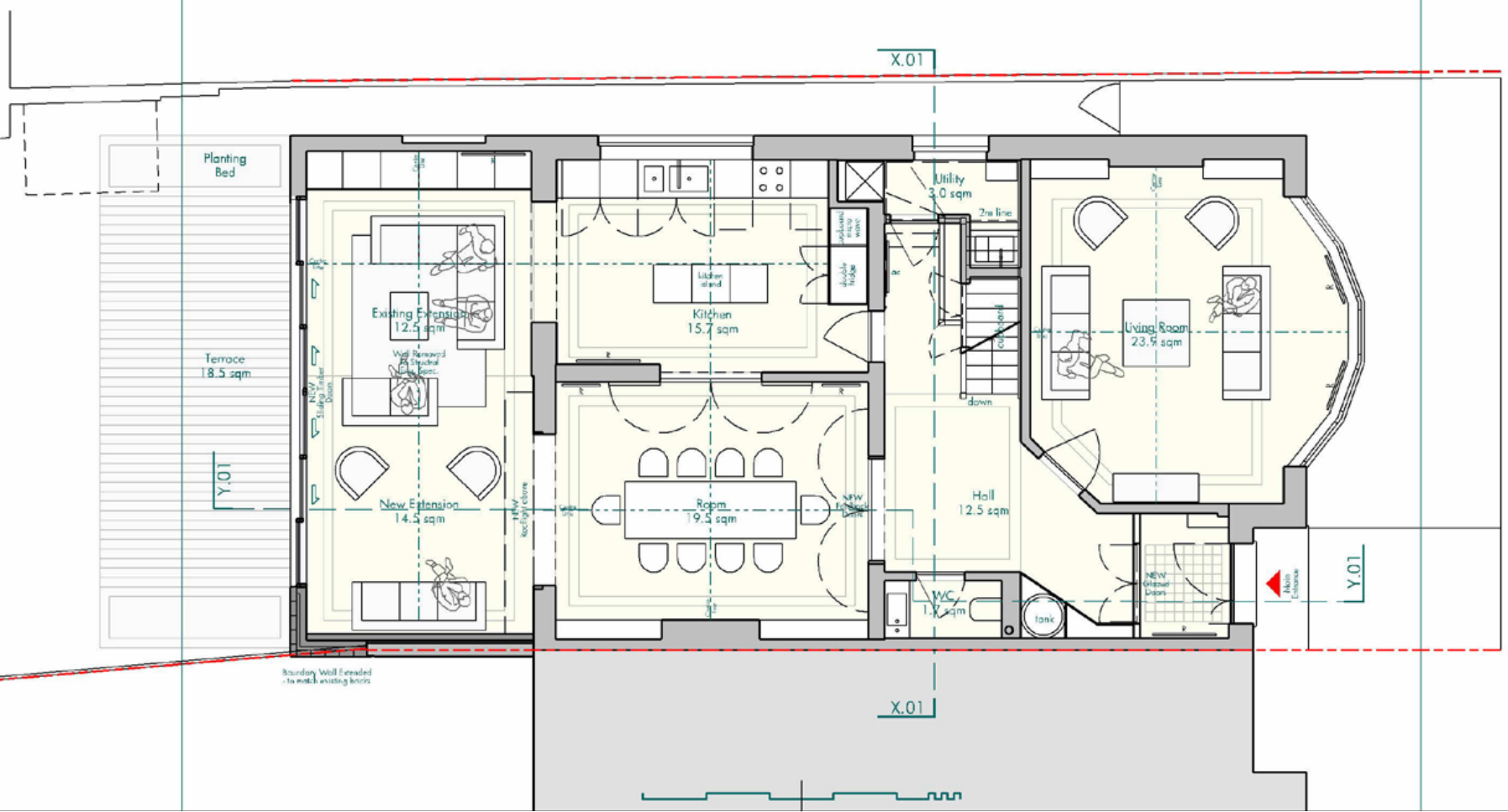
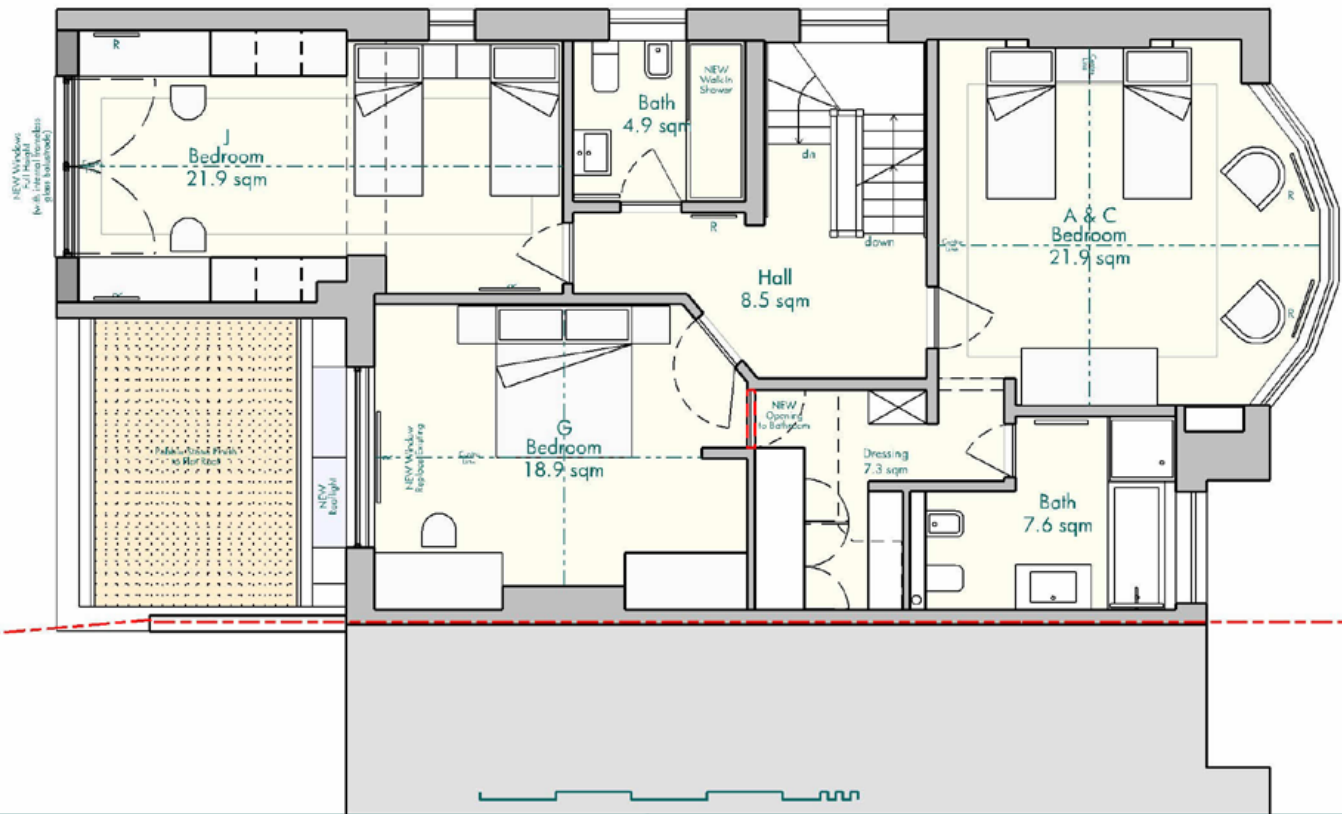


DRAWINGS: PROPOSED 1:100

Drg. "Pr-100_P.00-01": Proposed - Plan 00 & 01
1:100 @ A3



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07. ERRORS / OMISSIONS, DISCREPANCIES: Contractor to report all errors, omissions and discrepancies.

08. RELEVANT DRGS, SPECS, SCHEDULES: All Architectural drawings to be read in conjunction with all relevant specifications, Structural and Service Engineer's drawings.

09. COMPLIANCE - BUILDING REGULATIONS: All works are to be undertaken in accordance with the Building Regulations, and the latest British Standards.

10. MATERIALS, COMPONENTS AND WORKMANSHIP: All materials, components and workmanship to comply with the relevant Codes of Practice and appropriate manufacturers' recommendations.

11. AUTHORITIES: Authorities might request for additional items/ information to be added / revised.

12. DRAINAGE - EXISTING: All existing drainage is assumed & is to be confirmed by contractor to satisfaction of a prior to commencement of works.

13. DRAINAGE - NEW: New drainage connections to satisfaction of building inspector.

14. RAIN WATER GULLIES: Relocated new rain water gully's to connect into existing mains.

15. STRUCTURE - UNITS / FOUNDATIONS: Any existing lines or foundations will be exposed for inspection on site and either replaced or strengthened where appropriate.

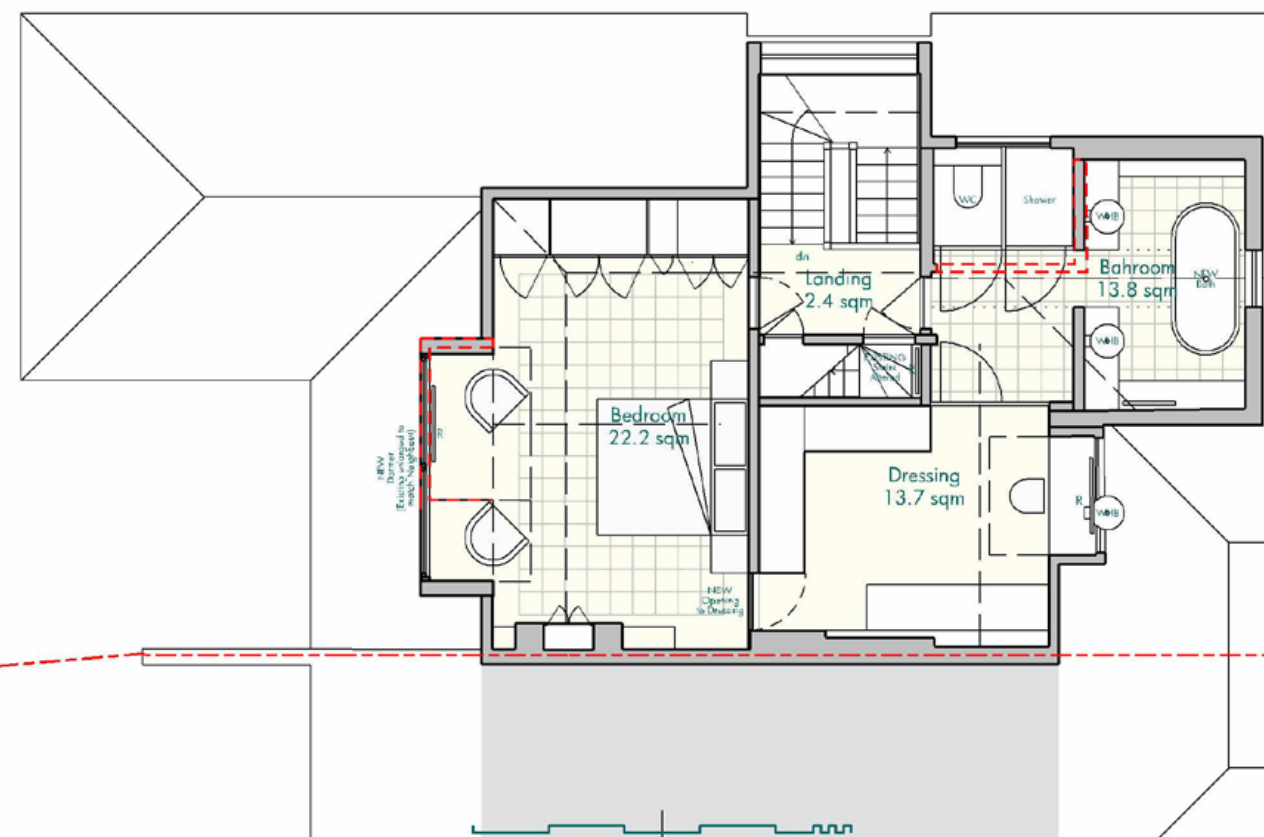
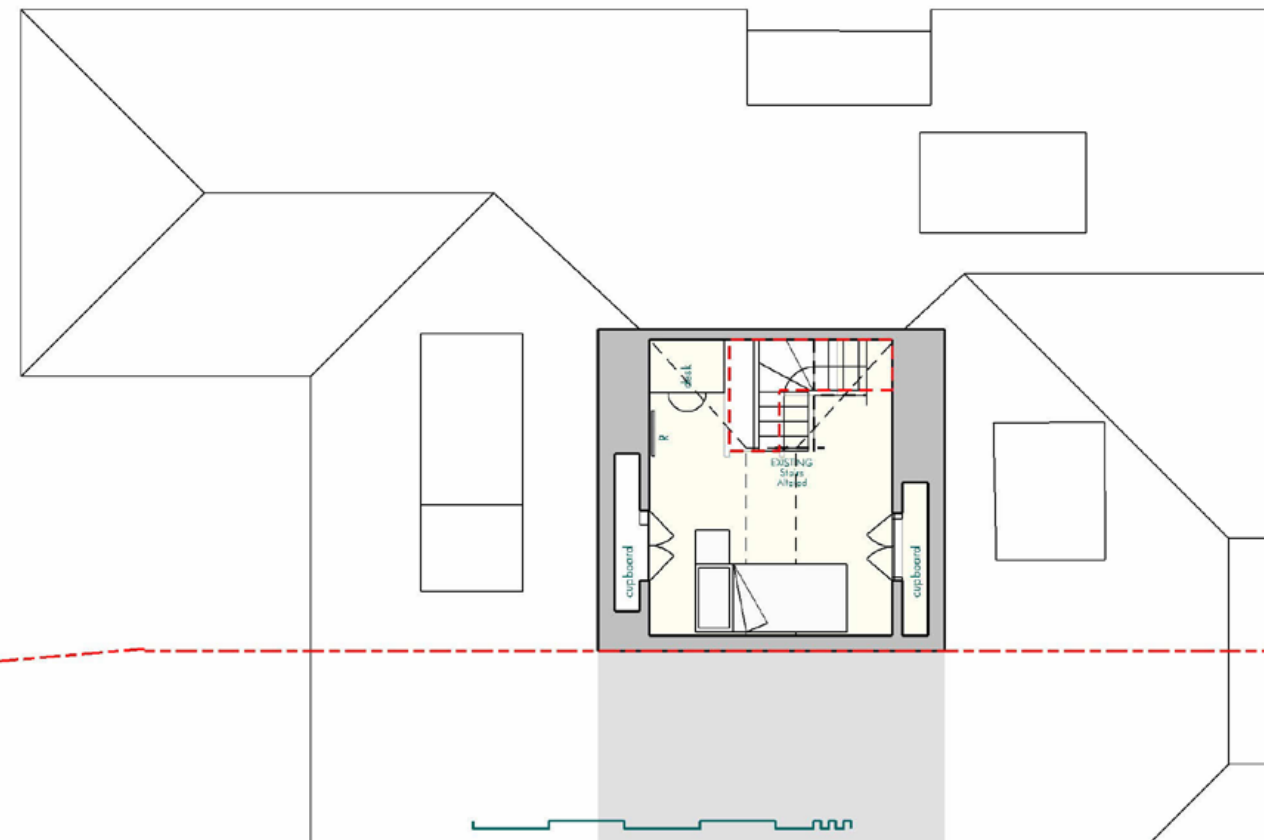
PLANNING NOTES
Design will be developed after Planning, including Detail Design and Structural design, some aspects of the design may alter.

LEGEND

R - Boiler
BF - Boiler Flue
PSV - Positive Stack Vent
EM - Electric Meter
EV - Extract Vented Duct
GM - Gas Meter
IC - Ives Cupboard
RWP - Rain Water Pipe
ST - Store
SVP - Soil Vent Pipe
SD - Smoke Detector
WDP - Windpipe

AZHAR ARCHITECTURE							
70 Gainsford Street, Tower Bridge, London SE1 2NB tel: +44 207 357 8703 www.AzharArchitecture.com							
Kingscliffe, Antrim Road, London NW3 4XS							
Mr. J. Segal		KINGSLIFFE					
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Preliminary - For Discussion							
PRE-PLANNING DRAWINGS							
ARCHITECTURE		PROPOSED					
General Layout							
Plans							
Ground & First							
date	AZ	date	2017 July	scale	1:100@A3 1:50@A1	client	AZ
ref	AZ	drawn by	AnRo	sign	-	date	01

Drg. "Ex-100-P.R02-03" : Proposed - Plan 02 Loft , 03 Attic 1:100 @ A3



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05. RELEVANT DRGS, SPECS, SCHEDULES: All Architectural drawings to be read in conjunction with all relevant specifications, Structural and Service Engineer's drawings.

06. COMPLIANCE - BUILDING REGULATIONS: All works are to be undertaken in accordance with the Building Regulations, and the latest British Standards.

07. AUTHORITIES: All materials, components and workmanship to comply with the relevant Codes of Practice and appropriate manufacturers' recommendations.

08. DRAINAGE - EXISTING: all existing drainage is assumed & is to be confirmed by contractor to satisfaction of a prior to commencement of works.

09. DRAINAGE - NEW: New drainage connections to satisfaction of building inspector.

10. RAIN WATER GULLIES: relocated new rain water gully's to connect into existing mains.

11. STRUCTURE, UNITS / FOUNDATIONS: any existing inlets or foundations will be exposed for inspection on site and either replaced or strengthened where appropriate.

PLANNING NOTES
Design will be developed after Planning, including Detail Design and Structural design, some aspects of the design may alter.

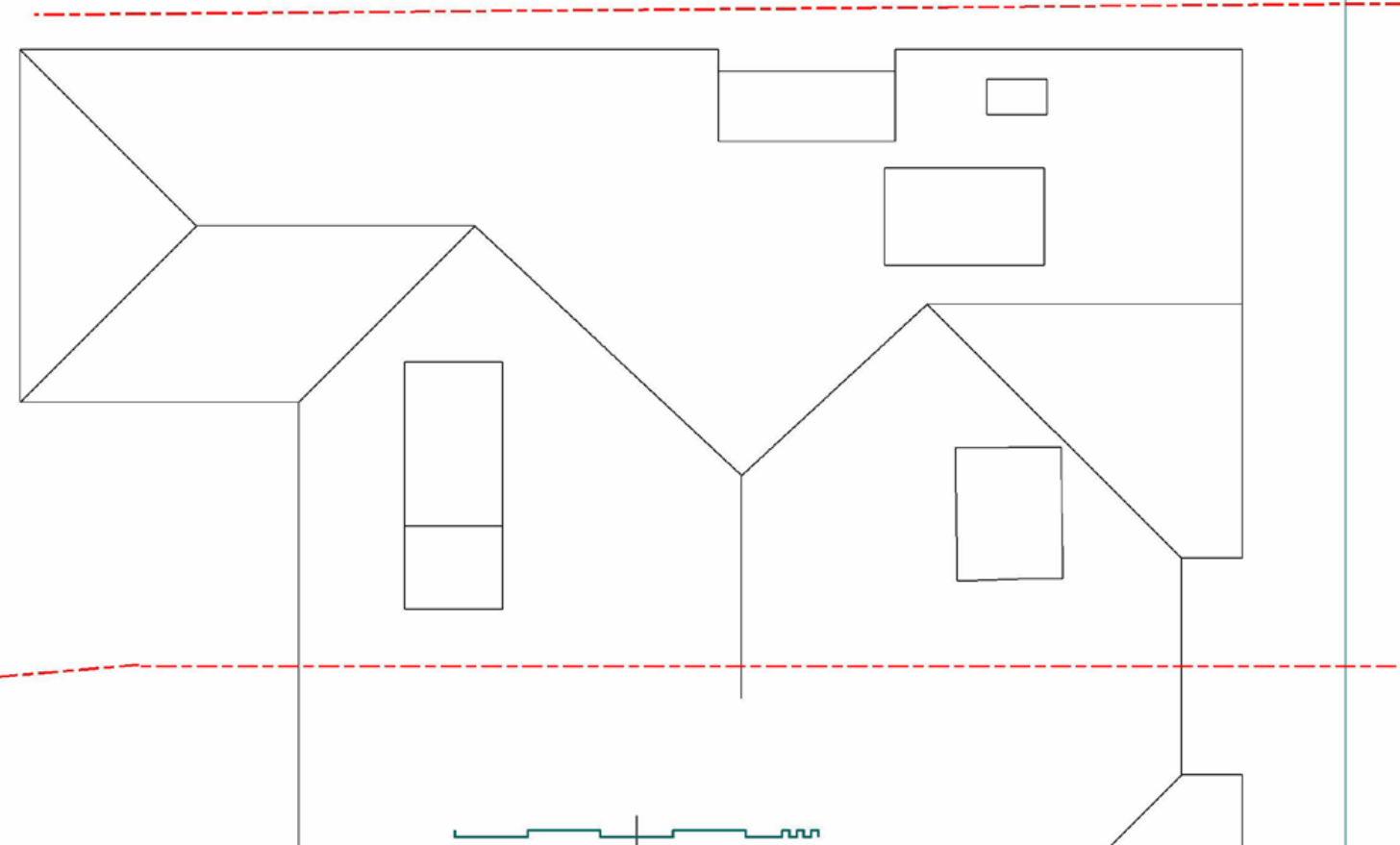
LEGEND

R - Boiler
BF - Boiler Flue
PSV - Positive Stack Vent
EM - Electric Meter
EV - Extract Vent
GM - Gas Meter
IC - Inlet Cupboard
RWP - Rain Water Pipe
ST - Store
SVP - Soil Vent Pipe
SD - Smoke Detector
WDP - Windpipe

Person	Date	Drawn	Checked	App'd
AZHAR ARCHITECTURE				
70 Gainsford Street, Tower Bridge, London SE1 2NB Tel: +44 207 357 8703 www.AzharArchitecture.com				
Kingscliffe, Antrim Road, London NW3 4XS				
Mr. J. Segal		KINGSLIFFE		
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PRE-PLANNING DRAWINGS				
ARCHITECTURE		PROPOSED		
General Layout Plans Second & Third				
Drawn by	Date	Scale	Sheet	
AZ	2017 July	1:100RA3 1:50BA1	AZ	
Checked by	Date	Scale	Sheet	
AZ	AnRo		01	

Drg "Ex-100-P.04": Proposed - Plan 04 Roof

1:100 @ A3



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DIMENSIONS - METRIC: all dimensions are in millimetres unless stated otherwise.

DIMENSIONS - VERIFICATION: Contractors, Subcontractors & Suppliers, must verify all dimensions on site prior to commencing work or preparing any shop drawings.

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05. RELEVANT DRGS, SPECS, SCHEDULES: All Architectural drawings to be read in conjunction with all relevant specifications, Structural and Service Engineer's drgs. All drawings to be read in conjunction with all schedules, including: Door, Window, Finishes.

06. COMPLIANCE - BUILDING REGULATIONS: All works are to be undertaken in accordance with the Building Regulations, and the latest British Standards. All materials, components and workmanship to comply with the relevant Codes of Practice and appropriate manufacturers' recommendations.

07. AUTHORITIES: Authorities might request for additional items/ information to be added / revised.

08. DRAINAGE - EXISTING: all existing drainage is assumed & is to be confirmed by contractor to satisfaction of a prior to commencement of works.

DRAINAGE NEW: New drainage connections to satisfaction of building inspector.

09. RAIN WATER GULLYS: relocated new rain water gully's to connect into existing mains.

10. STRUCTURE, UNITS / FOUNDATIONS: any existing lines or foundations will be exposed for inspection on site and either replaced or strengthened where appropriate.

PLANNING NOTES
Design will be developed after Planning, including Detail Design and Structural design, some aspects of the design may alter.

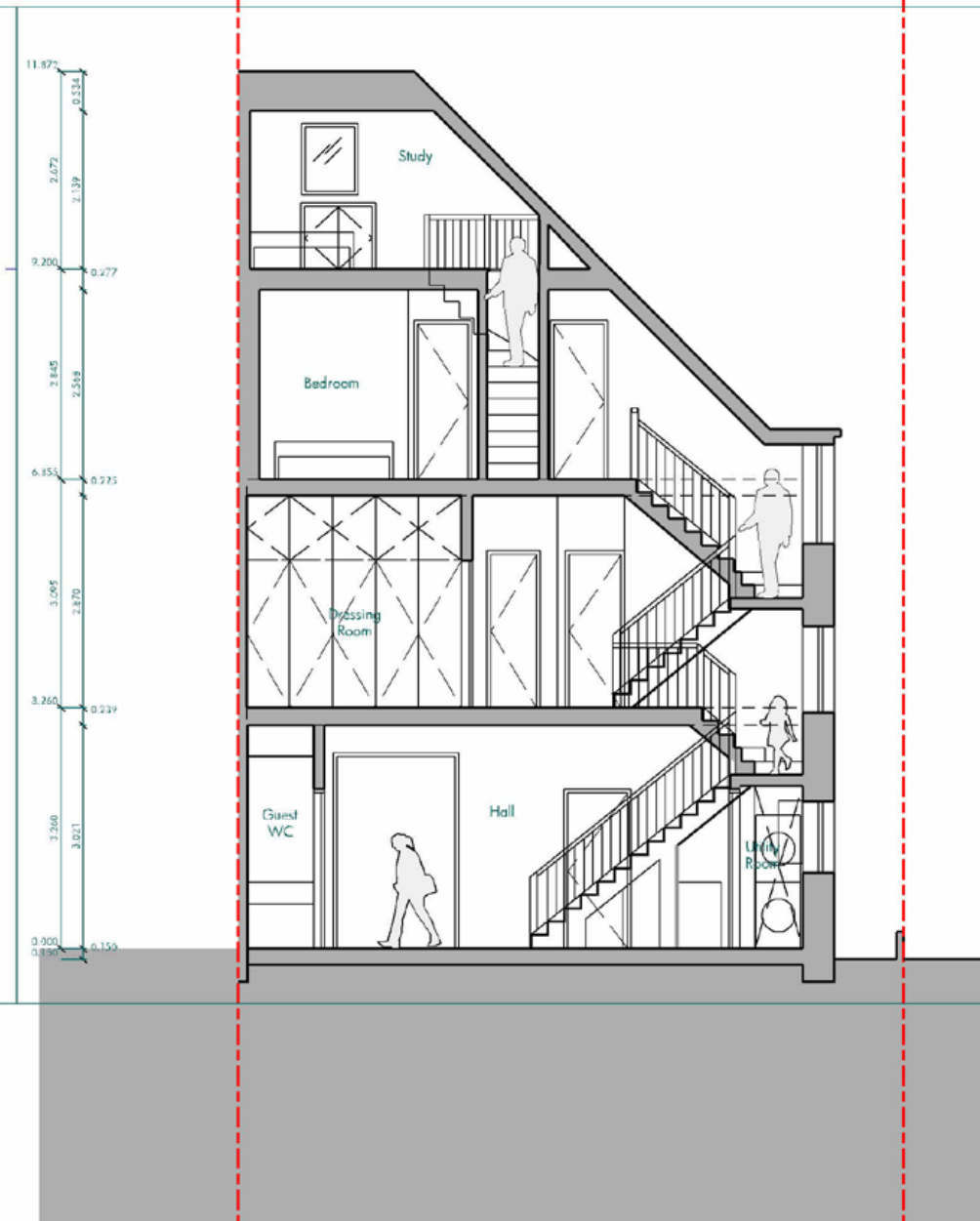
LEGEND

R - Boiler
BF - Boiler Flue
PSV - Positive Stack Vent
EM - Electric Meter
EV - Extract Vented Duct
GM - Gas Meter
IC - linen Cupboard
RWP - Rain Water Pipe
ST - Store
SVP - Soil Vent Pipe
SD - Smoke Detector
WDP - Windpact

Return	Date	Drawn	Checked	App'd
<p>AZHAR ARCHITECTURE 70 Gainsford Street, Tower Bridge, London SE1 2NB Tel: +44 207 357 8703 www.AzharArchitecture.com</p>				
<p>Kingscliffe, Antrim Road, London NW3 4XS</p>				
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<p>ARCHITECTURE</p>		<p>PROPOSED</p>		
<p>General Layout Plans</p>				
<p>Second & Third</p>				
<p>AZ</p>	<p>2017 July</p>	<p>1:100RA3 1:50RA1</p>	<p>AZ</p>	
<p>AZ</p>	<p>AnRo</p>	<p>-</p>	<p>01</p>	

Drg. "Pr-100-S.Y1-X1" : Proposed - Sections Y1 & X1

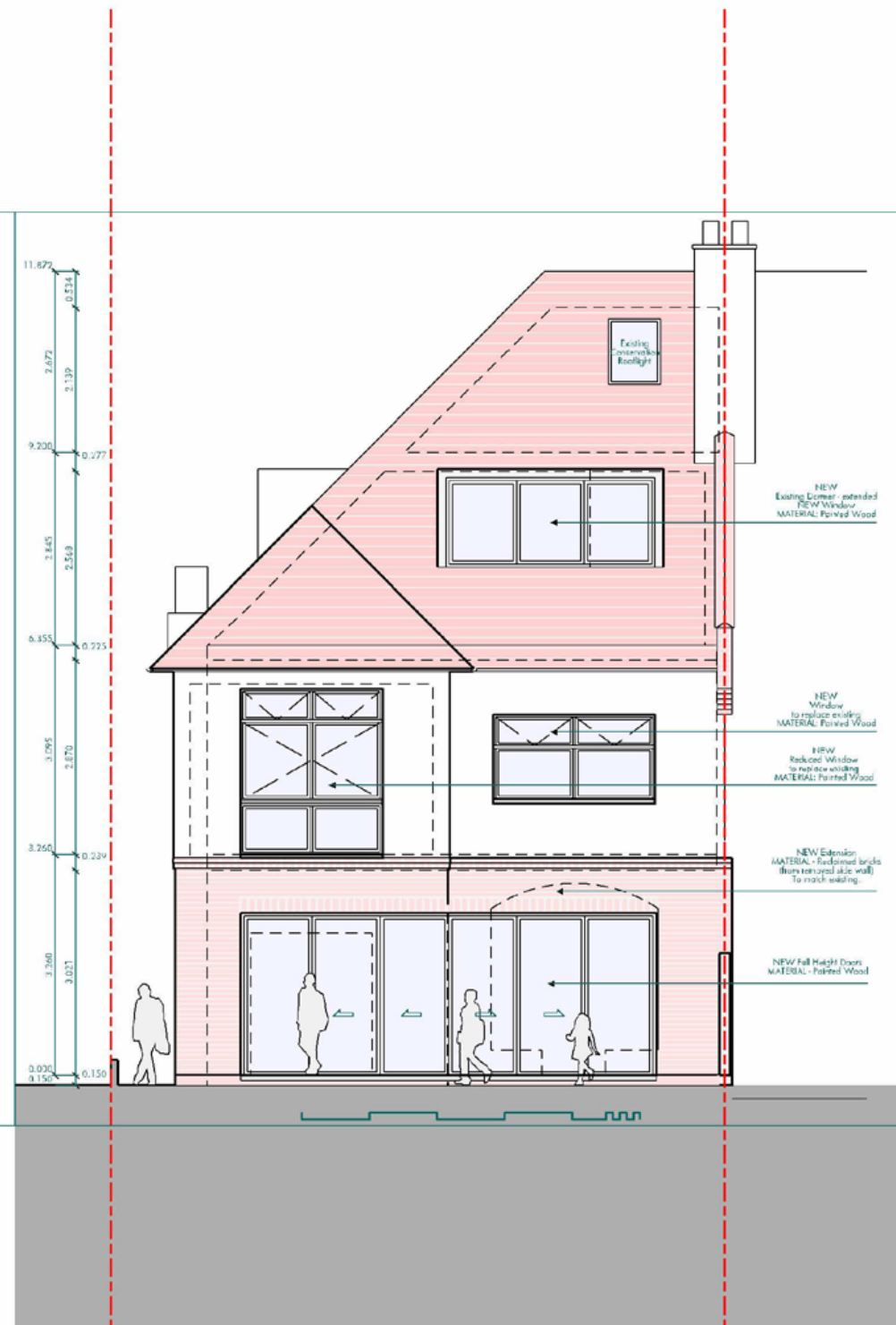
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03. DIMENSIONS: All Dimensions shown Indicatively (Subject to Site Survey)				
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DIMENSIONS - METRIC: all dimensions are in millimetres unless stated otherwise.				
DIMENSIONS - VERIFICATION: Contractors, Subcontractors & Suppliers, must verify all dimensions on site prior to commencing work or preparing any shop drawings.				
Any discrepancies must be reported to AZHAR ARCHITECTURE				
04. ERRORS / OMISSIONS, DISCREPANCIES: Contractor to report all errors, omissions and discrepancies.				
05. RELEVANT DRGS, SPECS, SCHEDULES: All Architecture drawings to be read in conjunction with all relevant specifications, Structural and Service Engineer's drgs.				
All drawings to be read in conjunction with all schedules, including: Door, Window, Finishes				
06. COMPLIANCE - BUILDING REGULATIONS: All works are to be undertaken in accordance with the Building Regulations, and the latest British Standards				
All materials, components and workmanship to comply with the relevant Codes of Practice and appropriate manufacturers recommendations				
07. AUTHORITIES: Authorities might request for additional items/ information to be added / revised.				
08. DRAINAGE - EXISTING: all existing drainage is assumed & is to be confirmed by contractor to satisfaction of a prior to commencement of works.				
09. DRAINAGE NEW: New drainage connections to satisfaction of building inspectors				
09. RAIN WATER GULLYS: relocated new rain water gully's to connect into existing mains				
10. STRUCTURE, UNITS / FOUNDATIONS: any existing levels or foundations will be exposed for inspection on site and either replaced or strengthened where appropriate				
PLANNING NOTES: Design will be developed after Planning, including Detail Design and Structural design, some aspects of the design may alter.				
LEGEND				
R - Boiler				
BF - Boiler Flue				
PSV - Positive Stack Vent				
EM - Electric Meter				
EV - Extract Vented Duct				
GM - Gas Meter				
IC - linen Cupboard				
RWP - Rain Water Pipes				
ST - Store				
SVP - Soil Vent Pipe				
SD - Smoke Detector				
WDP - Windpact				

Drg. "Pr-100-E.F-R": Proposed - Elevation, Rear & Front
1:100 @ A3

1:100 @ A3



NOTE
No Change to
Front Elevation

(NB: No Change to Front Elevation)

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DIMENSIONS - VERIFICATION: Contractors, Subcontractors & Suppliers, must verify all dimensions on site prior to commencing work or preparing any shop drawings.

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04. ERRORS / OMISSIONS, DISCREPANCIES:
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05. RELEVANT DRGS. SPECS. SCHEDULES:
All Architecture drawings to be read in conjunction
with all relevant specifications, Structural and Service Engineer's drgs.
All drawings to be read in conjunction with all schedules.

06. COMPLIANCE - BUILDING REGULATIONS :
All works are to be undertaken in accordance with the Building

All materials, components and workmanship to comply with the relevant Codes of Practice and appropriate manufacturers' Regulations, and the latest British Standards.

07. AUTHORITIES:
Authorities might request for additional items/ information to be added / revised.

09. RAIN WATER GULLYS: relocated new main water gully's to connect into

10. STRUCTURE: UNTELS / FOUNDATIONS: any existing lintels or foundations will be exposed for inspection on site and either replaced or strengthened

PLANNING NOTES

Design will be developed after Planning, including Detail Design and Structural design, some aspects of the design may alter.

LEGEND

B - Boiler
BF - Boiler Flue
PSV - Passive Stack Vent
EM - Electric Motor
EV - Extract Vented Duct
GM - Gas Meter
LC - Linen Cupboard
RWP - Rain Water Pipe
ST - Store
SVP - Soil Vent Pipe
SD - Smoke Detector
WDP - Windpost

Person	Date		Drawn	Checked	App'd

AZHAR ARCHITECTURE

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tel: +44 207 357 8703 www.AzharArchitecture.com

Kingscliffle, Antrim Road, London NW3 4XS

Mr. J. Segal	KINGSCLIFFE
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Preliminary - For Discussion

PRE-PLANNING DRAWINGS

ARCHITECTURE
General Layout
Plans

Character 1:	date	code	version
AZ	2017 July	1:100BA3 1:50BA1	AZ
Project	Project	Project	date
AZ	AnRo	-	01

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