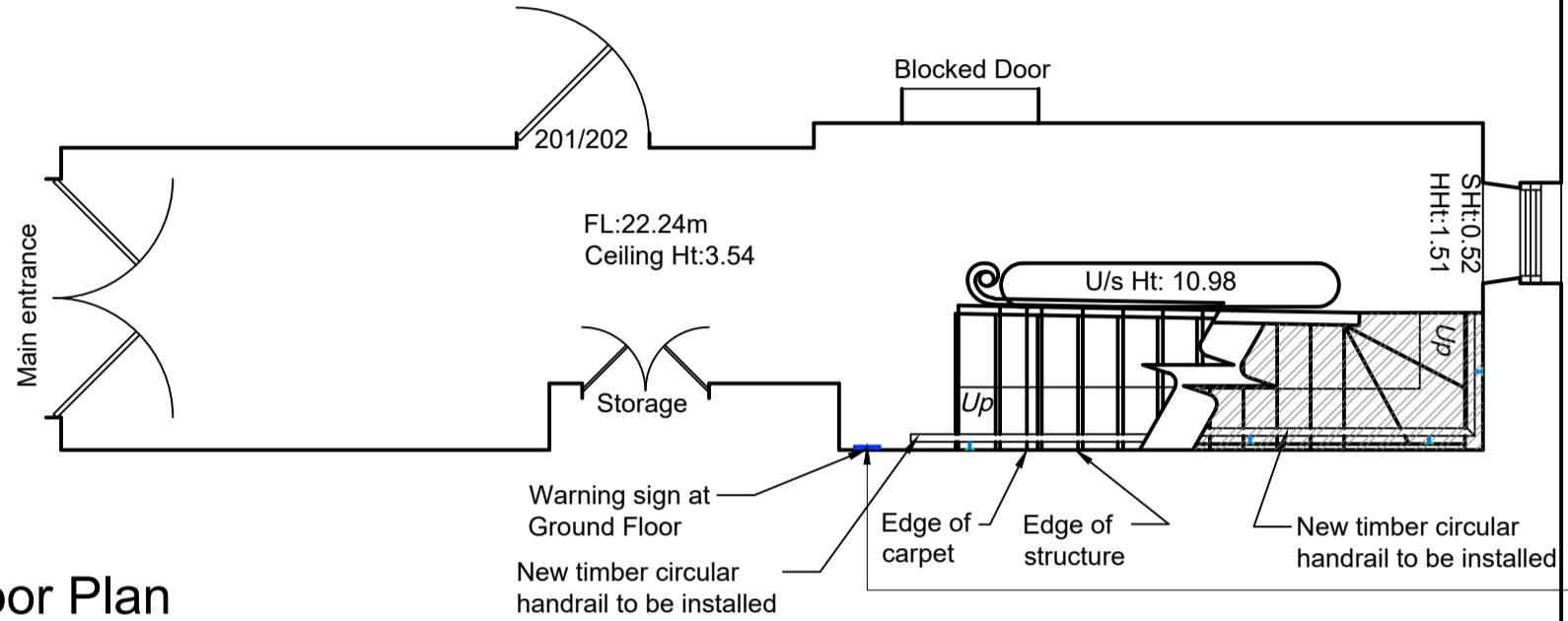


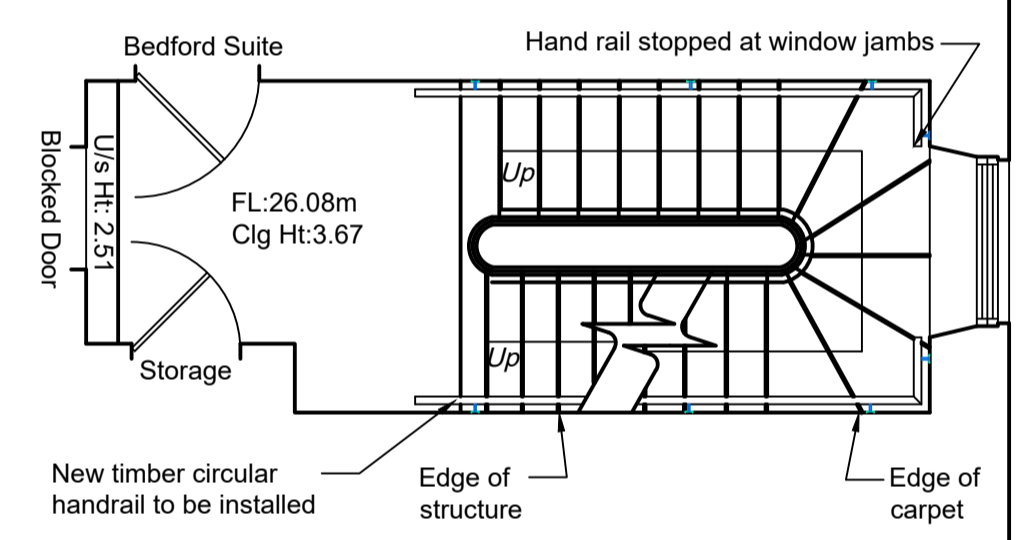
Basement Floor Plan

Scale 1:50 @ A1



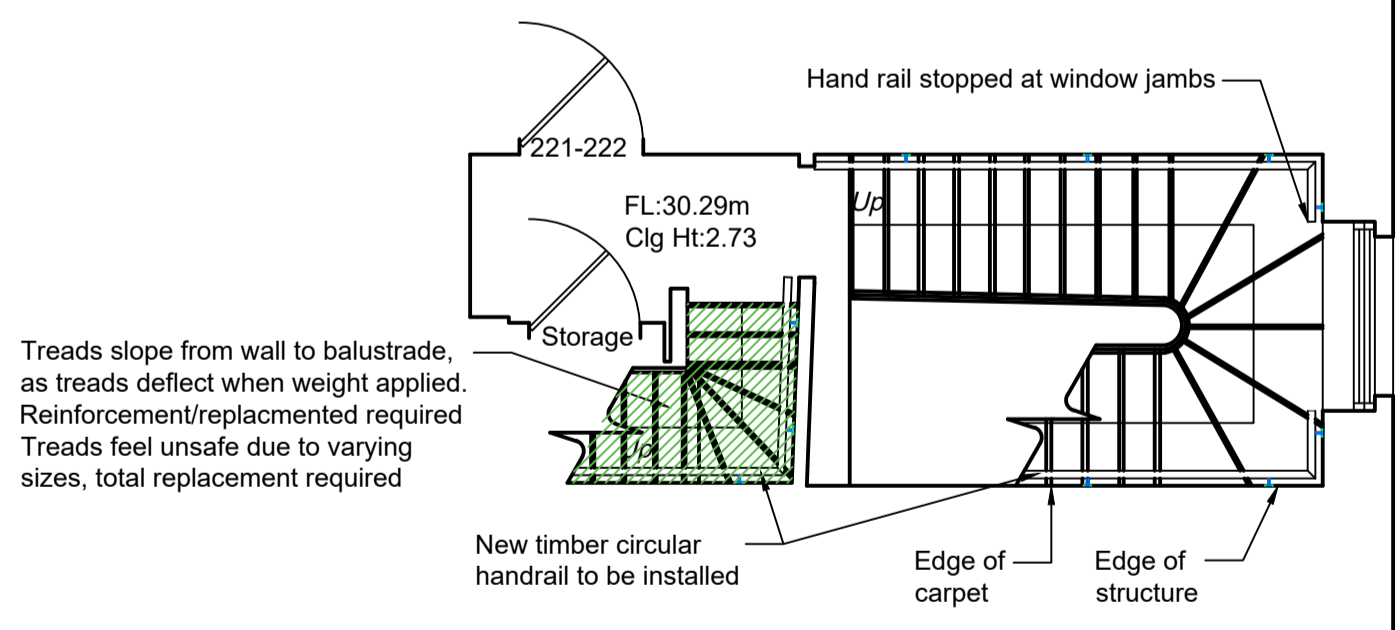
Ground Floor Plan

Scale 1:50 @ A1



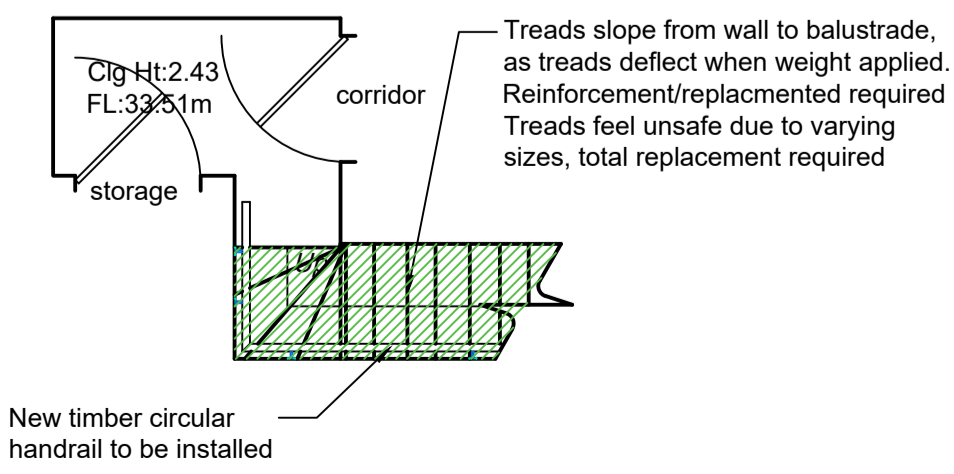
First Floor Plan

Scale 1:50 @ A1



Second Floor Plan

Scale 1:50 @ A1

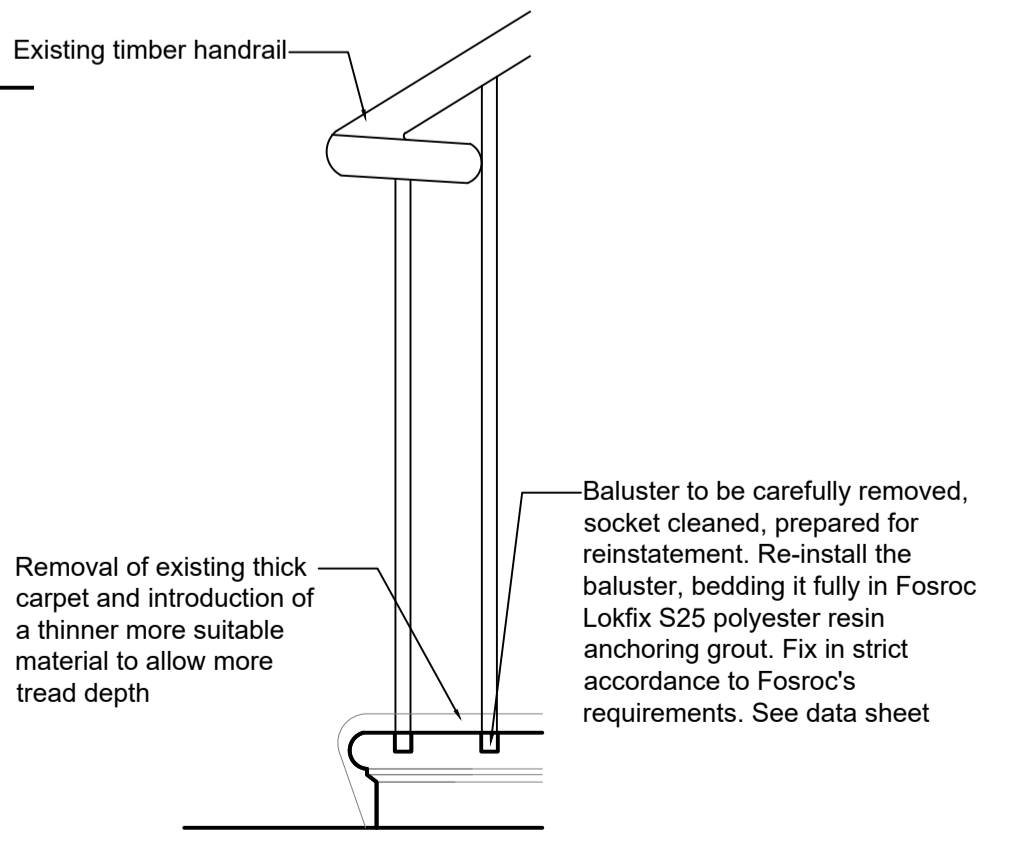


Third Floor Plan

Scale 1:50 @ A1



Warning Sign - At ground floor level. In silver frame with text, screw fixed to wall



Re-bedding Balusters - Front Elevation

Scale 1:10 @ A1

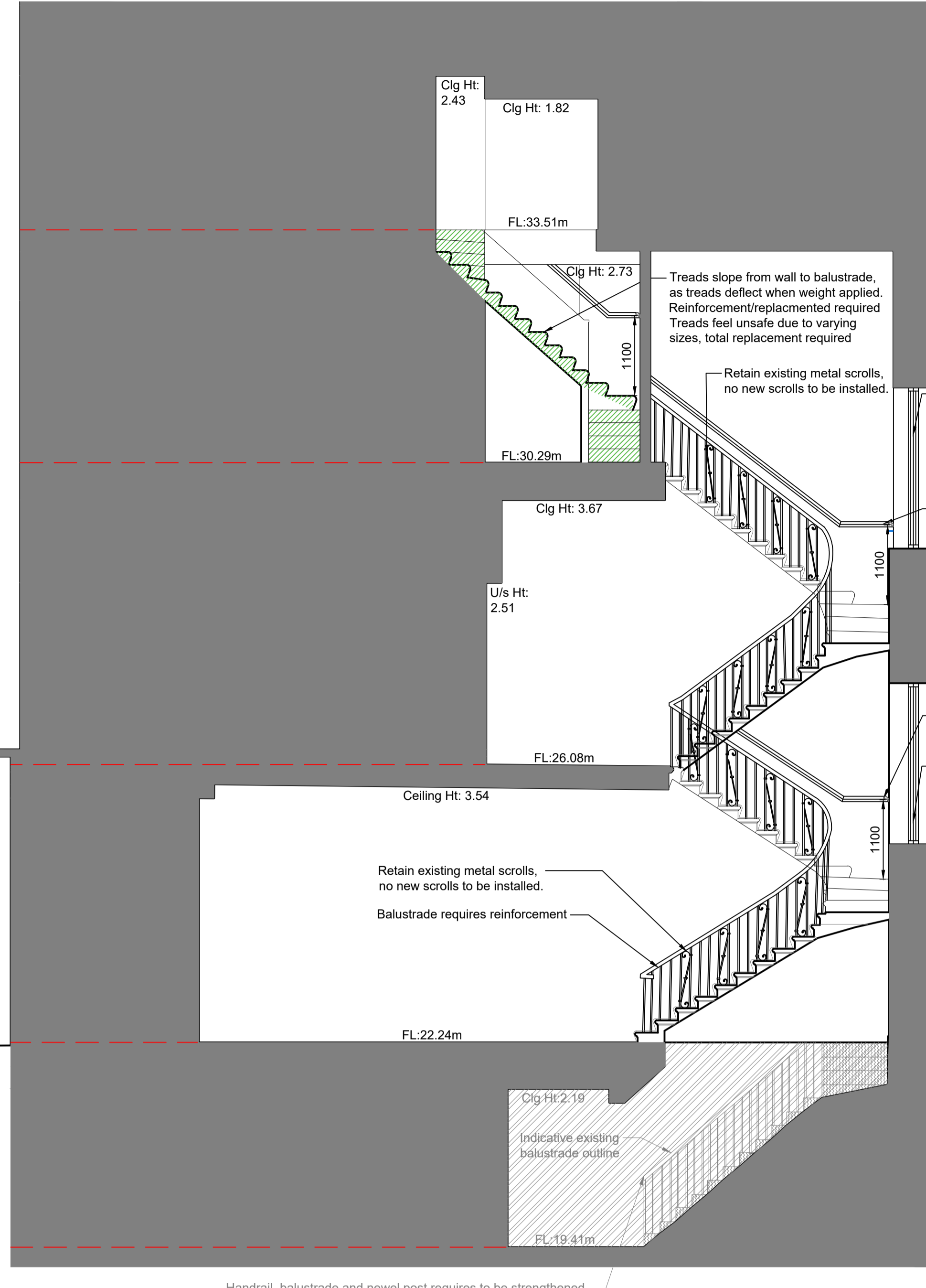
Third Floor

Second Floor

First Floor

Ground Floor

Basement



Section

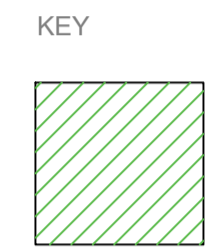
Scale 1:50 @ A1



Site Plan

Scale 1:500 @ A1

1. THIS IS AN A1 DRAWING, IF REPRODUCED IN ANY OTHER FORMAT THE SCALE SHOWN WILL BE INCORRECT.
2. DO NOT SCALE OFF THIS DRAWING.
3. ANY AMBIGUITIES, OMISSIONS AND ERRORS, OR INCONSISTENCIES WITH OTHER DOCUMENTS, ON THIS DRAWING SHOULD BE NOTIFIED IMMEDIATELY TO THE ARCHITECT BEFORE THE COMMENCEMENT OF WORKS ON SITE.
4. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED.
5. ALL DIMENSIONS, UNLESS OTHERWISE STATED, ARE TO THE FACE OF UNFINISHED MASONRY WALLS OR TO THE FINISHED PLASTER FACE OF STUD PARTITIONS.
6. ALL DIMENSIONS ARE TO BE CHECKED ON SITE. ANY DISCREPANCIES ARE TO BE NOTIFIED IMMEDIATELY TO THE ARCHITECT BEFORE THE COMMENCEMENT OF WORKS ON SITE.
7. ALL LEVELS ARE IN METRES UNLESS OTHERWISE STATED.
8. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT AND APPARENT INCONSISTENCIES BROUGHT TO THE ATTENTION OF THE ARCHITECT.



Note:
New feature handrail to be installed at wall location 1100mm at landings 900mm from pitch. Sample required to be submitted and signed off by the conservation officer prior to installation.
Existing Dado handrail to be carefully removed.

Treads slope from wall to balustrade, as treads deflect when weight applied. Reinforcement/replaced required. Treads feel unsafe due to varying sizes, total replacement required.

Retain existing metal scrolls, no new scrolls to be installed.

Window at mid landing not safety/toughened glass. S70 Safety Film provided by 3M to be applied to the interior surface of existing glass to provide additional protection and to meet building regulations. Refer to data sheet

New feature handrail to be installed. Colour to be confirmed. Handrail stopped at window jambs.

Window at mid landing not safety/toughened glass. S70 Safety Film provided by 3M to be applied to the interior surface of existing glass to provide additional protection and to meet building regulations. Refer to data sheet

Basement stairs are subject to a separate Listed Building Application and are not part of this refurbishment

These stairs require immediate replacement. New timber stair to be installed to meet building regulations.

P01	17.07.17	PLANNING ISSUE	JG	CP
Rev.	Date	Content	By	Ckd



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Project
GOODENOUGH CLUB STAIRS

Drawing Title
HOUSE 22 - PROPOSED WORKS

Scale 1:10 / 1:50 Date 17.07.17
1/500

Drawn JG Checked CP

Drawing number 16010-A-0002 Revision P01

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