

David Williams  
Planning Resolution Ltd  
Thorncroft Manor  
Thorncroft Drive  
Leatherhead  
Surrey KT22 8JB

Application Ref: **2016/6967/L**  
Please ask for: **Alfie Stroud**  
Telephone: 020 7974 **2784**

24 July 2017

Dear Sir/Madam

## **DECISION**

Planning (Listed Building and Conservation Areas) Act 1990

### **Approval of Details (Listed Building) Granted**

Address:

**2-6 Southampton Row  
London  
WC1B 4AA**

Proposal:

Details in relation to condition 13 (staircase at basement and ground floor level showing proposed works to open up the central void and surrounding walls) of listed building consent (2012/5591/L) dated 14/12/2012, for alterations in connection with hotel as an amendment to listed building consent (2007/5206/L) dated 10/04/2008 for external and internal alterations including conversion of the former Baptist Church Headquarters to create 84 bedroom hotel.

Drawing Nos:

OS Site Location Plan;  
586-PL400\_P1, 586-PL401\_P1, 586-PL402\_P1, 586-PL403\_P1.

The Council has considered your application and decided to grant Approval of Details (Listed Building) subject to the following condition(s):

Conditions And Reasons:



Informative(s):

1 Reason for granting Approval of Details (listed building):

2-6 Southampton Row is a Grade-II\* listed building, formerly Baptist Church House, and in the process of conversion to a hotel, removing it from the Heritage At Risk register. The details required relate to the insertion of a new staircase from ground-floor first-floor level connected with the creation of a new central void and mezzanine.

The drawings submitted show that works of making-good and of construction will be of high quality, and that the materials, arrangement and detailed design of the new staircase will be of a quality and style appropriate to the special interest of the listed building and its interior. The staircase will be legible as a new addition to the building, but will complement the surrounding fabric. The special interest of the listed building will be conserved by the proposed details.

Due to the building's listed status, its history on the at-risk register, and the close involvement of Historic England (HE) in the original applications, this application was publicised by placement of a press and site notice, as well as by notification to HE. No public responses were received. The Secretary of State replied on 3 May 2017 with a countersigned letter of endorsement from HE authorising the Council to determine the application. The site's planning history has been taken into account when making this decision

Special regard has been attached to the desirability of preserving the listed building and its features of special architectural or historic interest, under s.16 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

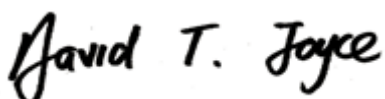
As such, the proposal is in general accordance with policies D1 and D2 of the Camden Local Plan 2017. The proposed development also accords with the London Plan 2016 and the National Planning Policy Framework.

- 2 You are advised that conditions 4 (signage), part 5 (facing materials except roof tiles), 6 (railings) and 9 (refurbishment to windows and doors) of listed building consent 2012/5591/L that require information to be submitted to the Council for approval remain outstanding.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully



Executive Director Supporting Communities

2016/6967/L

David Joyce  
Director of Regeneration and Planning