

THE SHED
Regis Rd, London, NW5 3EG

Design & Assess Statement
d·raw



Architect Profile: d_raw

d_raw are an innovative, highly experienced architectural and interior design collective with a diverse portfolio of bespoke design, spanning every creative niche.

Experts in creative branding, retail design and renovation, with a passion for unusual commissions and an uncompromising understanding of the dialogue necessary to create great design, our fully integrated process delivers unparalleled results.

With our creative home remaining in the heart of london and a satellite team of specialist creative talent stretching across the globe, we perform to the highest level on both a local and international level.



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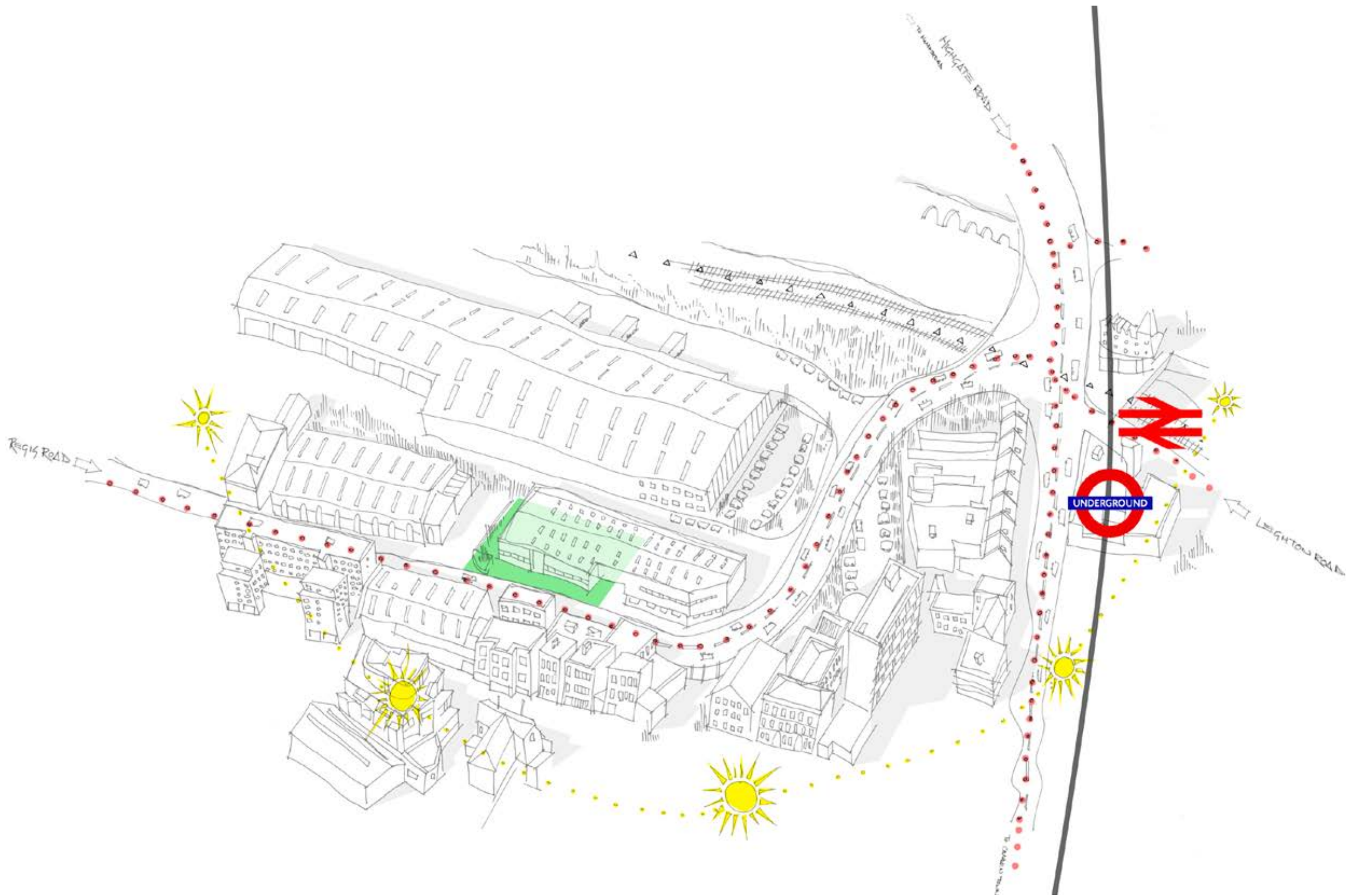
1.0 INTRODUCTION

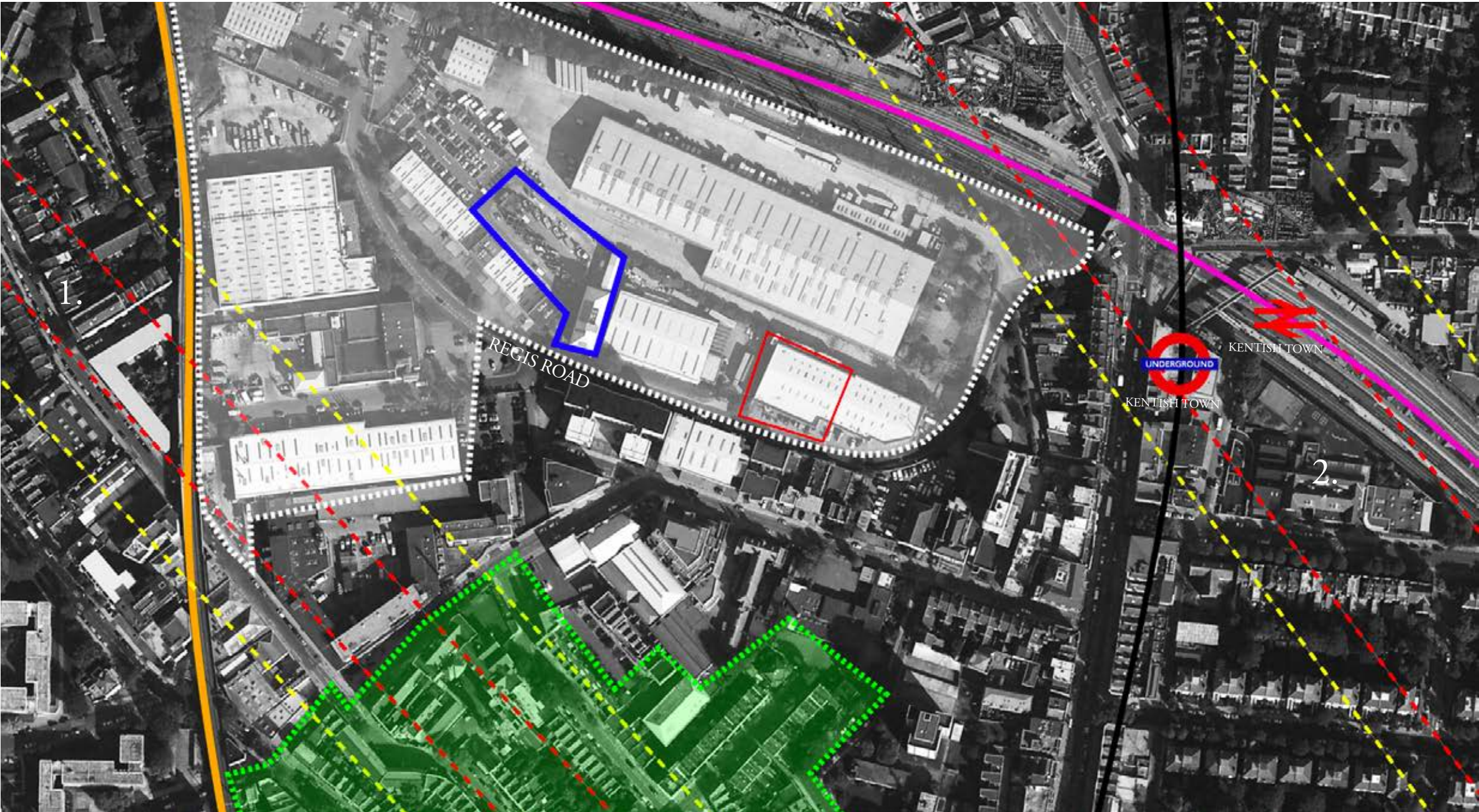
1.1 OUTLINE

This statement is to be read in alongside with the planning drawings, documents and reports. A design and access statement is not required given this is a minor planning application, but is submitted as accompanying information to assist Camden offices. The application proposes the refurbishment and extension of an existing office at JML House, Regis Road.

1.2 PROJECT BRIEF

The project brief was to convert an existing office into a fully functioning, unique commercial opportunity. Prior to vacant possession, ‘The Shed’ was occupied by JML studios, specialising in TV commercial and general advertising. The current space is ill suited for future occupancy and is to be stripped back to reinstate the large, open plan spaces, centralising the core for optimum occupancy. Communal offices are a rising trend throughout the city and Kentish Town offers the perfect location to instate such an enterprise.





1.3 SITE CONTEXT

Regis Road is in the London Borough of Camden, North London. The immediate area is an undeveloped, industrial zone that sits just outside a conservation area. Two kilometres North West is Hampstead Heath and similar distance South West to Regent's Park. Whilst Kentish Town is a vibrant, constantly developing area, Regis Road is comparatively unpopulated, stark and unappealing. The property in question is half of a large warehouse, the other half being operated as a timber yard. The buildings opposite are of industrial warehouse nature and the huge depot behind the site is operated by UPS as a mail-sorting base.

- The Shed site boundary
- Kentish Town Industrial Area
- Conservation Area
- Designated Views *
- Waste Safeguarding Site
- Northern Line
- Overground
- National Rail

* 1. 2A.1 Parliament Hill summit to St Paul's Cathedral - Right Lateral Assessment Area
2. 3A.1 Kenwood viewing gazebo to St Paul's Cathedral - Right Lateral Assessment Area
* Subject to change in 2017 Camden local plan

1.4 TRANSPORT

The site sits only 3 minutes walk from Kentish Town tube station and numerous bus routes. Road access is incredibly easy, just off Kentish town High St and there is car-parking opportunity directly in front of the building, which will be maintained. On foot, there are unlimited opportunities for food, retail and leisure. This is enhanced by Camden Town, only a 10-minute walk away.

2.0 EXISTING



2.1 EXISTING CONDITION

The immediate area is not residential and therefore not dense in build-up. The sprawling, industrial sheds have considerable space between each plot. This industrial zone is in generally poor condition and offers very little aesthetically. The same can be said of the proposed site. Historically, there are no period features or elements of historical interest. Properties range from 5m tall to 15m and the facades are a mixture of industrial brick, sheet metal and dated rainscreen cladding. There is car parking to the front and moderate landscaping, although this too has been neglected in recent years.



01



02



03



04

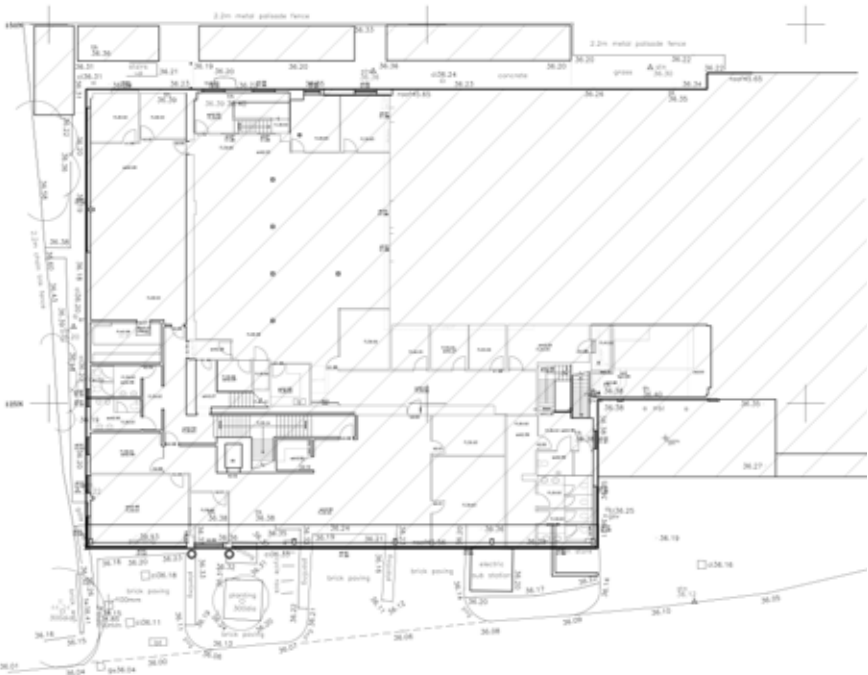


05

- 01 Existing Southern facade of JML House
- 02 Entrance to JML House
- 03 Looking West showing nearby industrial units
- 04 Undercroft and streetside plant
- 05 View down Western elevation & site boundary

2.2 EXISTING STRUCTURE

As mentioned, the original use was warehouse and distribution, but from since has be doctored and added to. The outer walls are a completely independent structure from the internal levels. These 'office' floors exist as platforms within the outer shell. They are linked via several convoluted stairs and walkways. The actual condition of the structure is fairly good, perhaps owing to the relatively recent construction of the interior. The structural layout is not regular and there are sporadic supporting walls to work with.



00 - Ground Floor



01 - First Floor



02 - Second Floor



South Elevation Planters



North-west of Boundary Facing Into Property



Rear Of The Property Facing West

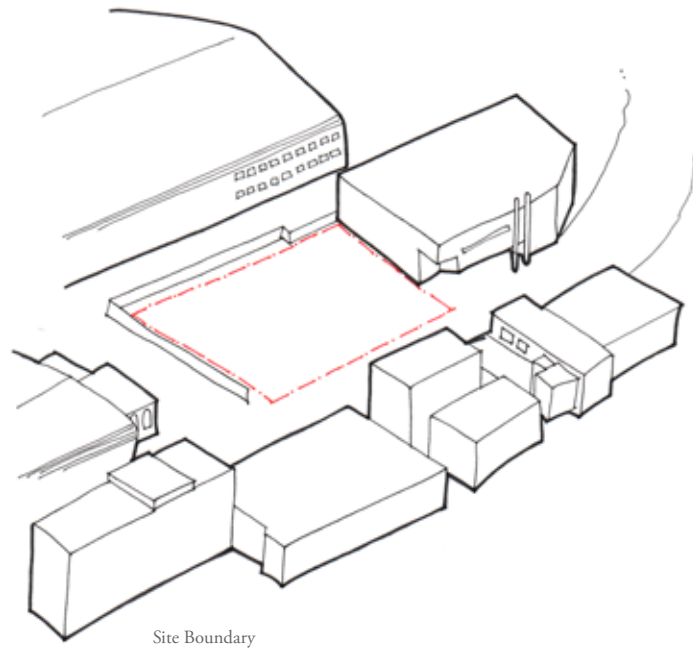


View down Western elevation & site boundary

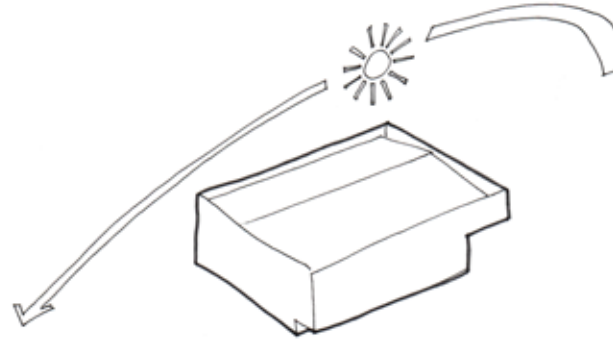
2.3 GARDENING & LANDSCAPING

The front elevation of the Shed is south facing and there have been some attempts to instate planter beds in this area. This is a good feature of the existing, although it needs recovery. Around the Western perimeter and Northern area, there is a narrow pathway, bordered by overgrown shrubs. This is not a deliberately landscaped zone as the greenery has completely overgrown acting more as a soft barrier than feature.

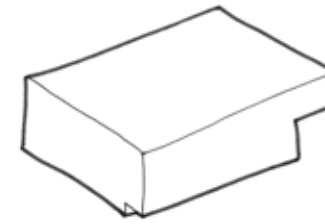
3.0 PROPOSAL



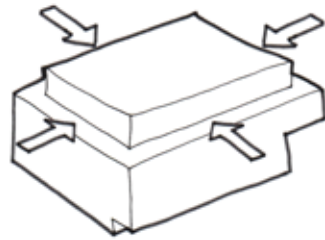
Site Boundary



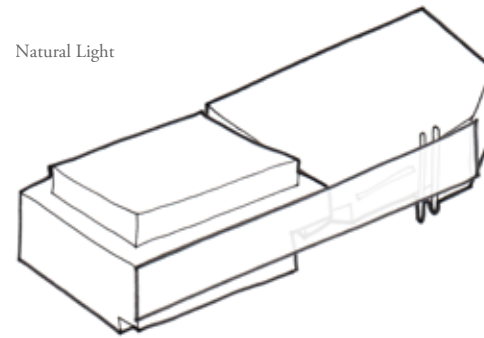
Natural Light



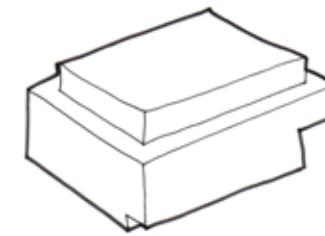
Existing Volume



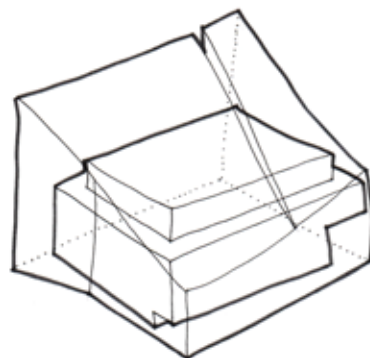
Developing Scheme Ambition



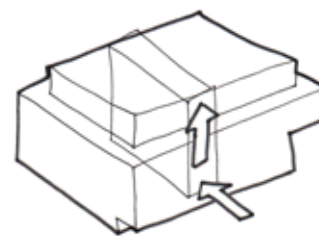
Connecting With Neighbour



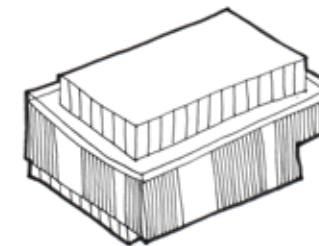
Proposed Volume



ROL / Daylight Volume Studies



Refining Access

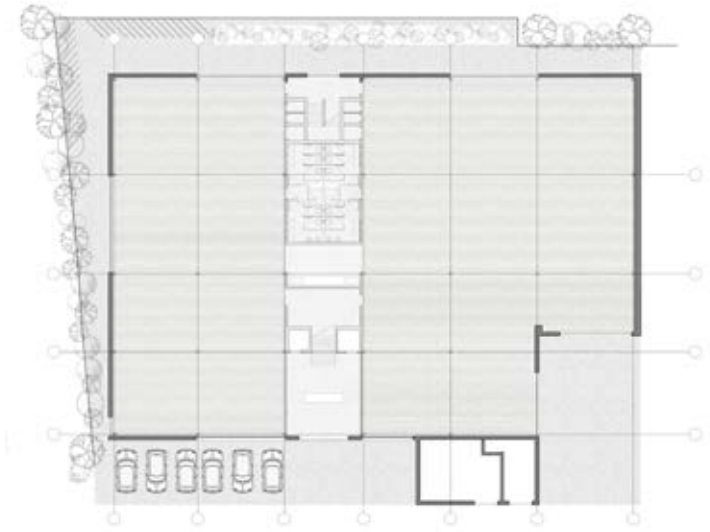


Developing Facade

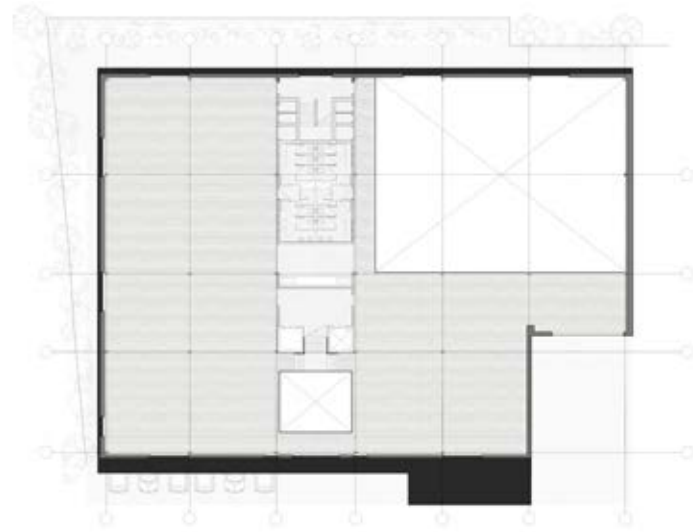
3.1 Key Design Decisions

Process at which we approached the project to produce our proposed scheme.

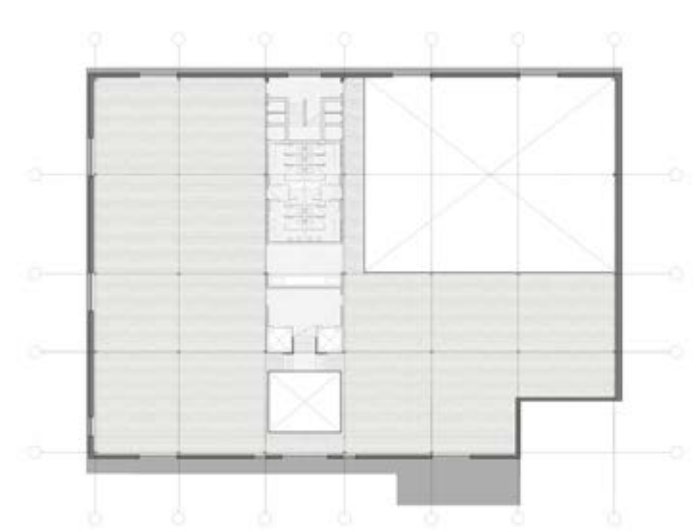
Careful consideration was taken to ensure we designed a scheme that was a stand alone entity within Regis Road whilst being respectful to neighbouring properties



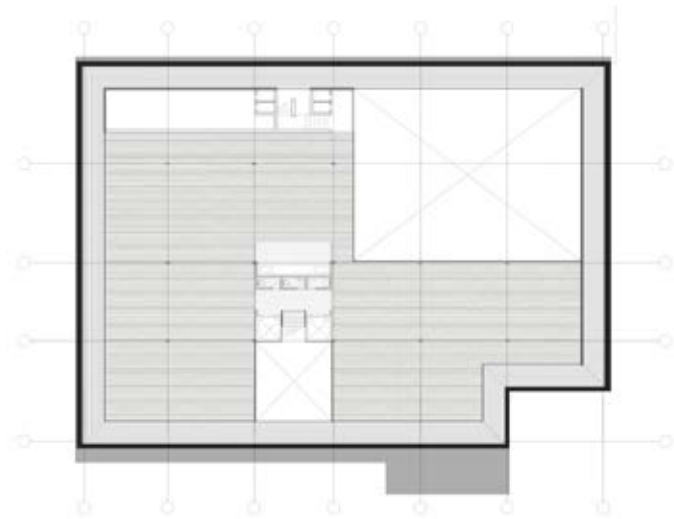
00 - Ground Floor



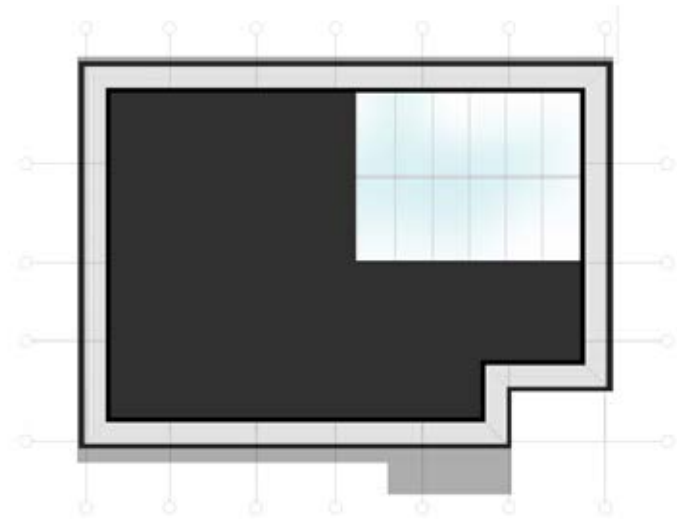
01 - First Floor



02 - Second Floor



03 - Third Floor



03 - Roof Plan

3.2 LAYOUT & USE

The proposal looks to maximise the internal volume of the property whilst remaining respectful to the neighbouring unit by retaining the form and dimensions of the existing facade.

An additional third floor will be added to the property through a conservative low lying glass structure that is set back from the external perimeter of the building.

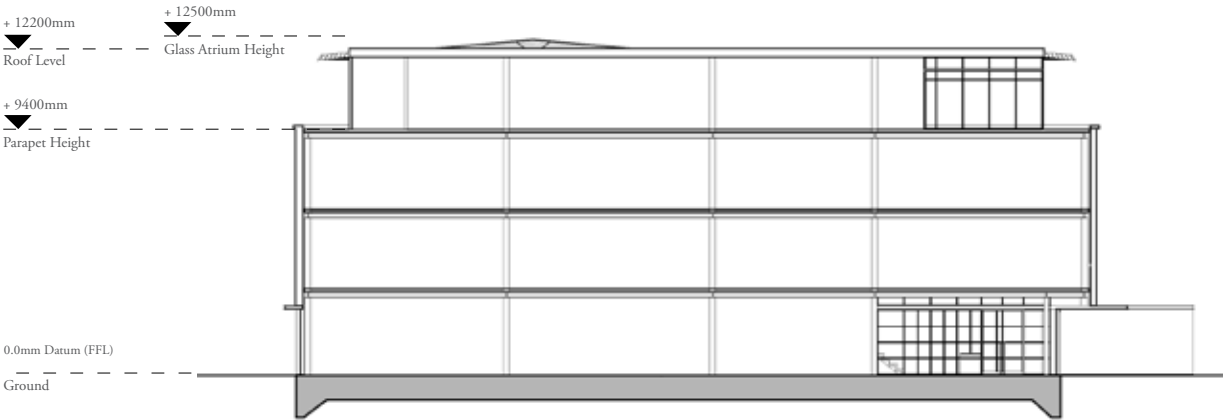
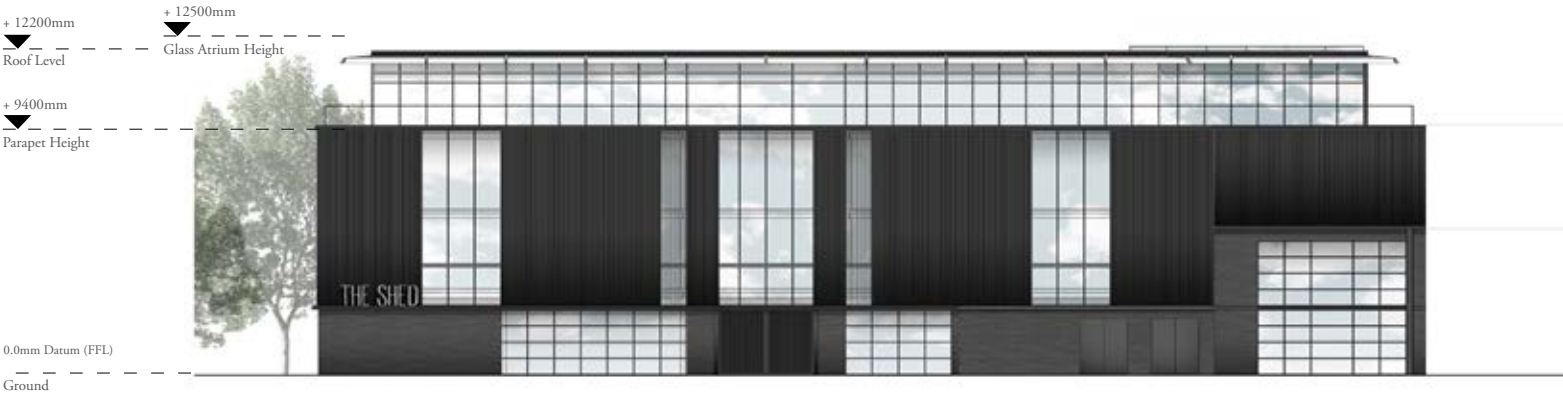
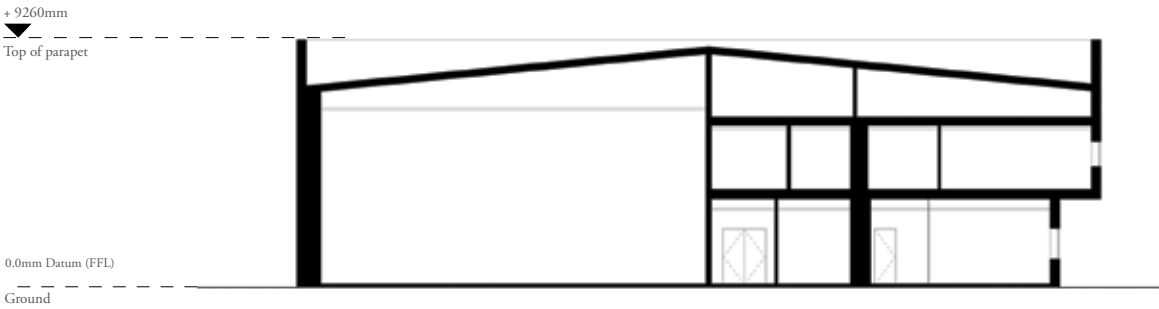
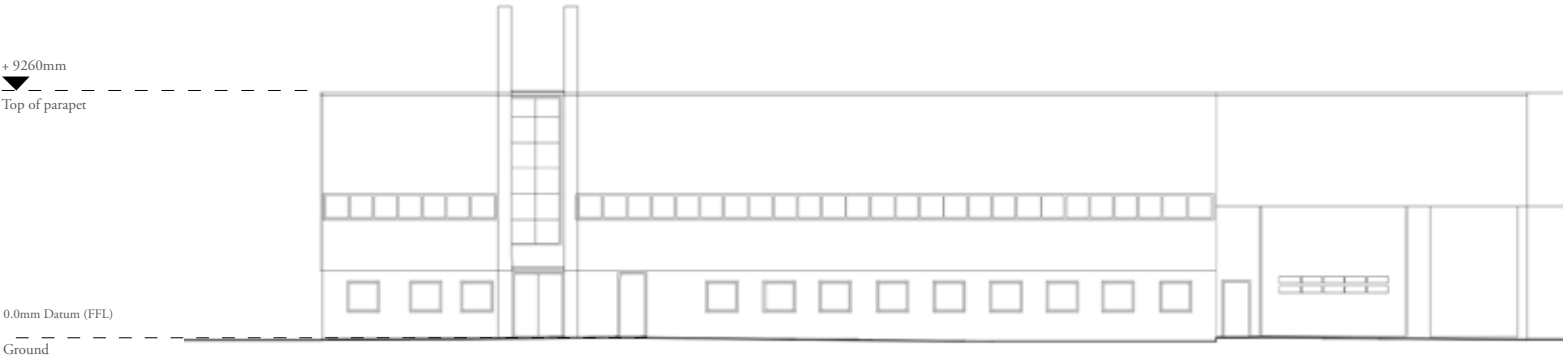
A new internal floor structure will be installed to create functional floor levels with improved floor to ceiling height. A central 'core' provides a condensed focus of services to allow for fully open plan work spaces.

Proposed new full height windows and a large internal atrium allows a large amount of natural light to penetrate deep into the interior. Large feature voids open the levels up creating a functional interactive workspace environment.

3.3 SCALE AND APPEARANCE

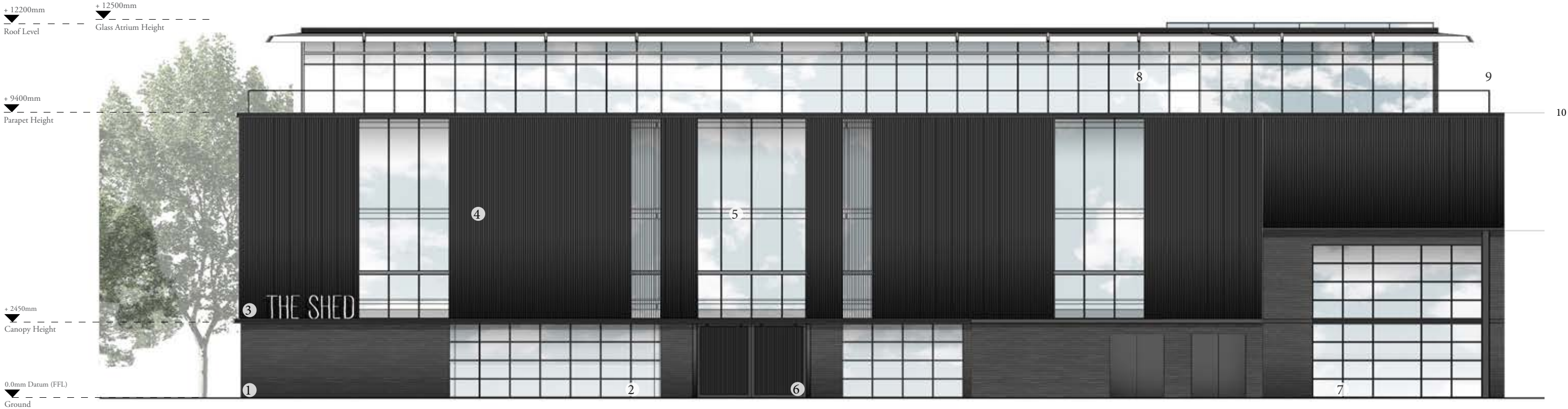
The unit has great potential and therefore a considered, beautiful proposal is required to emphasise this. We propose a proportionally appropriate development with interesting façade that aims to create an individual building within the street whilst remaining respectful to neighbouring properties.

The existing parapet height has been retain as it is shared with neighbouring unit and proposed new third floor has been set back sufficiently to fit within the property rights of light availability.



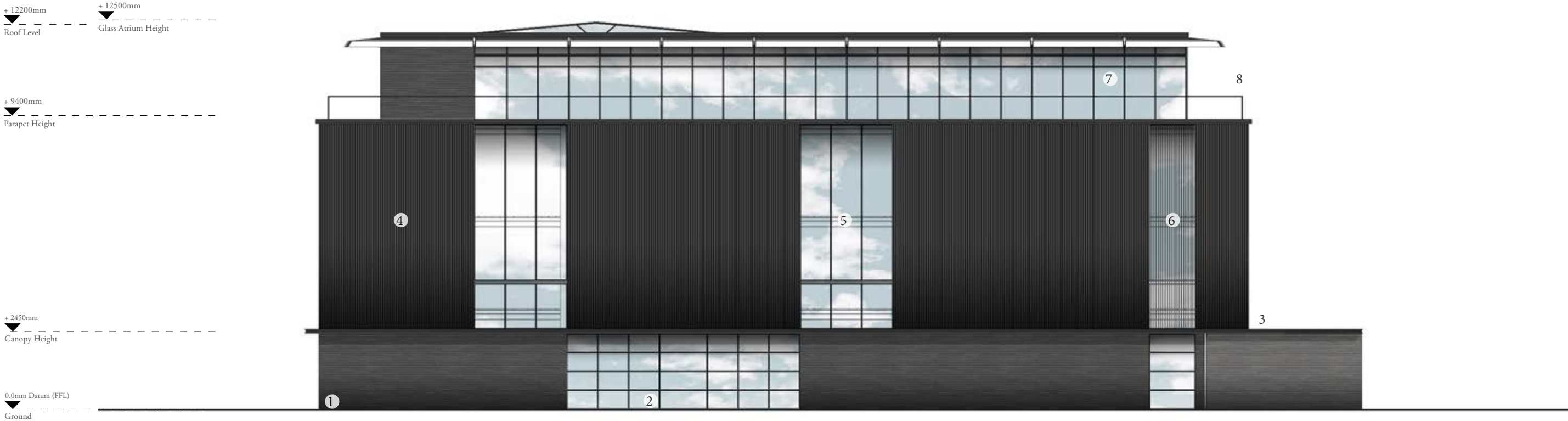
3.3 SCALE AND APPEARANCE

Key;	
01	Existing brick walls to be refinished
02	Proposed industrial crittall windows
03	Entrance canopy with signage
04	Black louvred facade cladding
05	New full height windows
06	Industrial style entrance doors
07	Roller shutter replaced with full height window
08	Glazed third floor facade with timber sun louvres
09	Balcony balustrade
10	Neighbouring unit parapet



3.3 SCALE AND APPEARANCE

Key;	
01	Existing brick walls to be refinished
02	Proposed industrial crittall windows
03	Entrance canopy
04	Black louvred facade cladding
05	New full height windows
06	Louvres pass over glazing section
07	Glazed third floor facade with timber sun louvres
08	Balcony balustrade



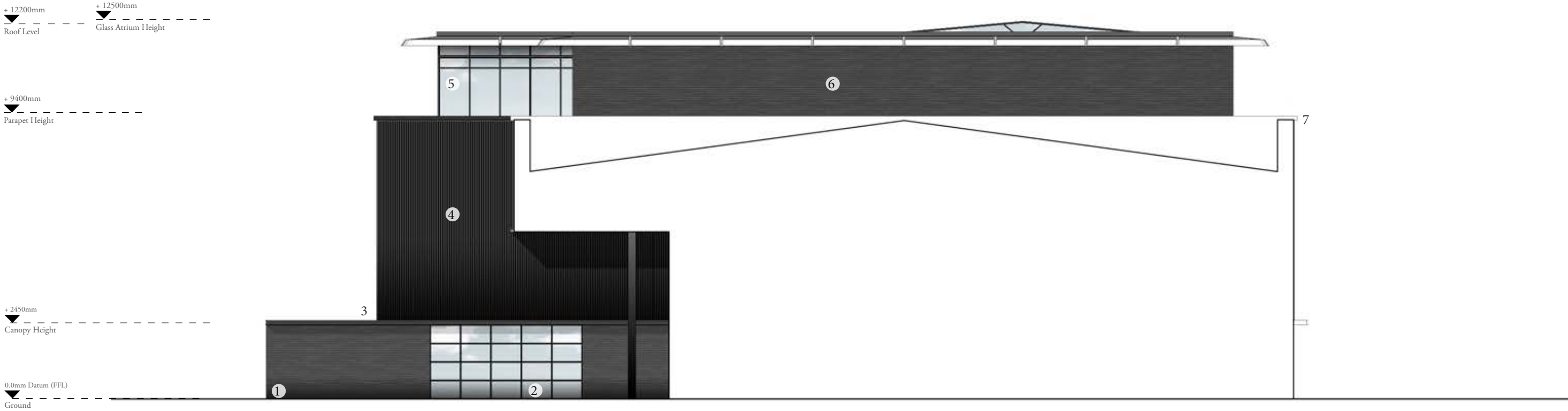
3.3 SCALE AND APPEARANCE

Key;	
01	Existing brick walls to be refinished
02	Proposed industrial crittall windows
03	Entrance canopy
04	Black louvred facade cladding
05	New full height windows
06	Industrial style full height glazed escape stair
07	Plantroom to match ground floor brick
08	Glazed third floor facade with timber sun louvres
09	Balcony balustrade
10	Neighbouring unit parapet



3.3 SCALE AND APPEARANCE

Key;	
01	Existing brick walls to be refinished
02	Proposed industrial crittall windows
03	Entrance canopy
04	Black louvred facade cladding
05	Glazed third floor facade with timber sun louvres
06	Solid side return section of third floor
07	Neighbouring unit parapet







01 - Grey Wash Brick



02 - Ripped Black Metal Cladding



03 - Blackened Steel



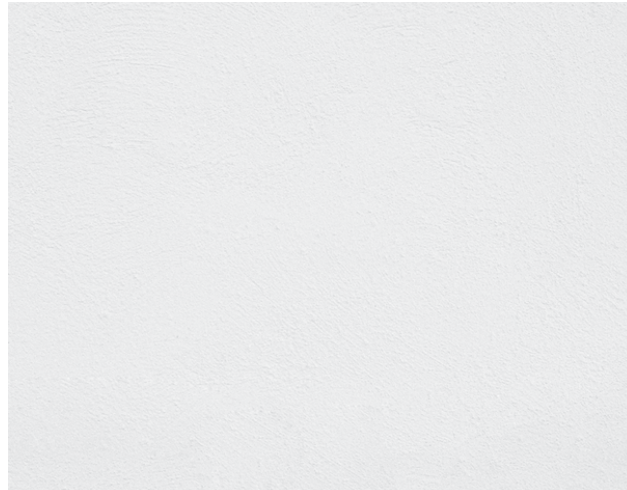
04 - Exposed Concrete



06 - White Stains Timber



07 - Cobbled Paving



08 - Whitewash

3.5 CONSTRUCTION METHOD & MATERIALITY

To ensure longevity of the new scheme, locally sourced materials will be specified, where possible, and detailed to the highest quality. The new building fabric will consist of appropriate insulation methods allowing optimum efficiency and as small carbon footprint attainable.

The material palette consists of a light industrial aesthetic with inspiration of New York meat packaging district elevating the aesthetic to create a desirable workspace.

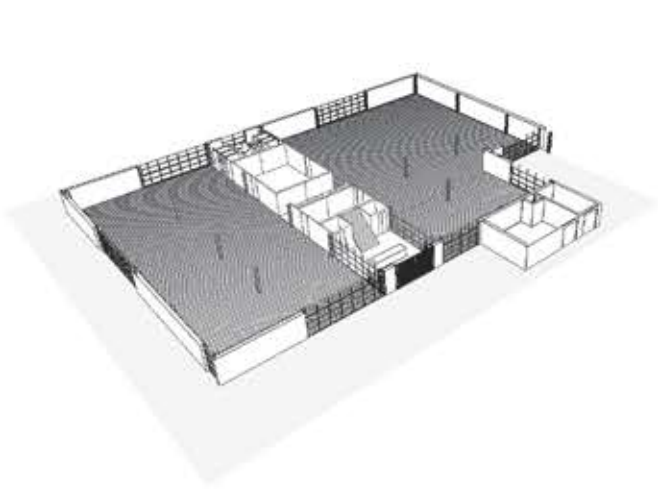
Exposed services and raw finishes are complimented and softened with white stained timber and minimalist glazing details. Ripped black external cladding breaks up the vast facade with elegant full height windows.

The dark exterior of the building is contrasted with the internal environment with white washed finishes that promote natural light flooding the open planned floor levels.

3.6 SCHEME AREAS

Total Existing Areas	
GEA:	3,629 sq.m / 39,070 sq.ft
GIA:	2,520 sq.m / 27,000 sq.ft
NIA:	2,130 sq.m / 22,950 sq.ft

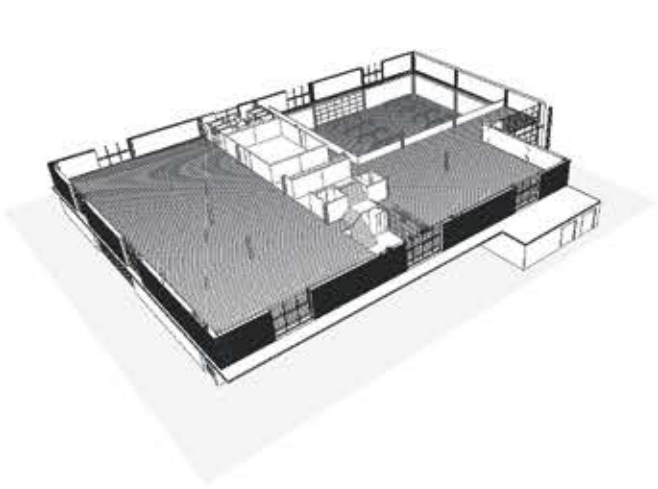
Total Proposed Areas	
GEA:	4521 sq.m / 48,666 sq.ft
GIA:	3,433 sq.m / 36,959 sq.ft
NIA:	3,015 sq.m / 32,456 sq.ft



PROPOSED

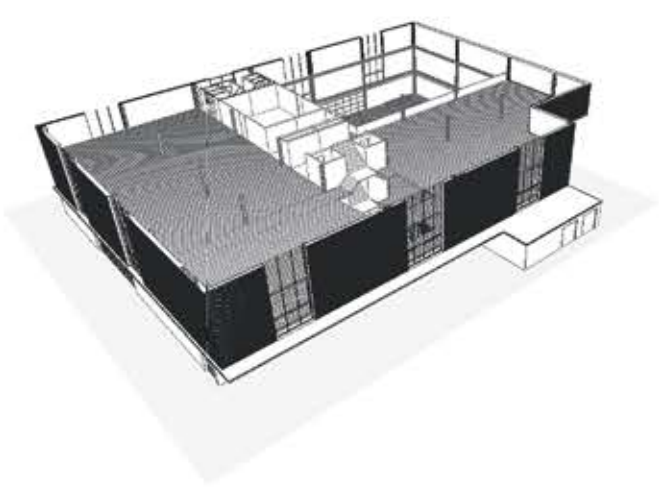
00 - Ground Floor

GEA:	1154 sq.m / 12,418 sq.ft
GIA:	1096 sq.m / 11,800 sq.ft
NIA:	985 sq.m / 10,597 sq.ft



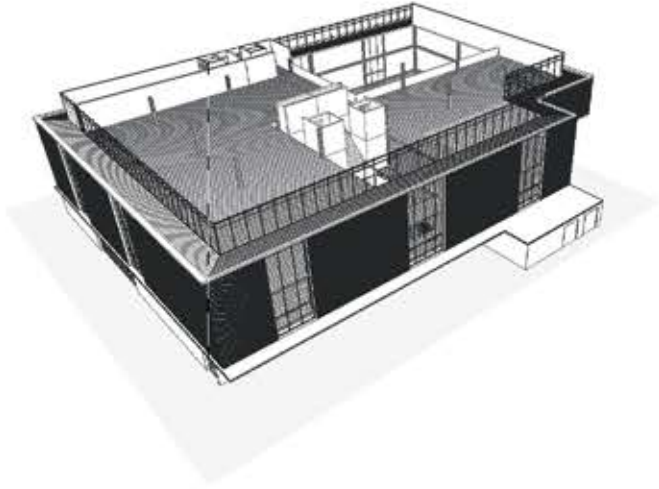
01 - First Floor

GEA:	1186 sq.m / 12,770 sq.ft
GIA:	816 sq.m / 8,780 sq.ft
NIA:	697 sq.m / 7,504 sq.ft



02 - Second floor

GEA:	1227 sq.m / 13,208 sq.ft
GIA:	856 sq.m / 9,209 sq.ft
NIA:	755 sq.m / 8,127 sq.ft



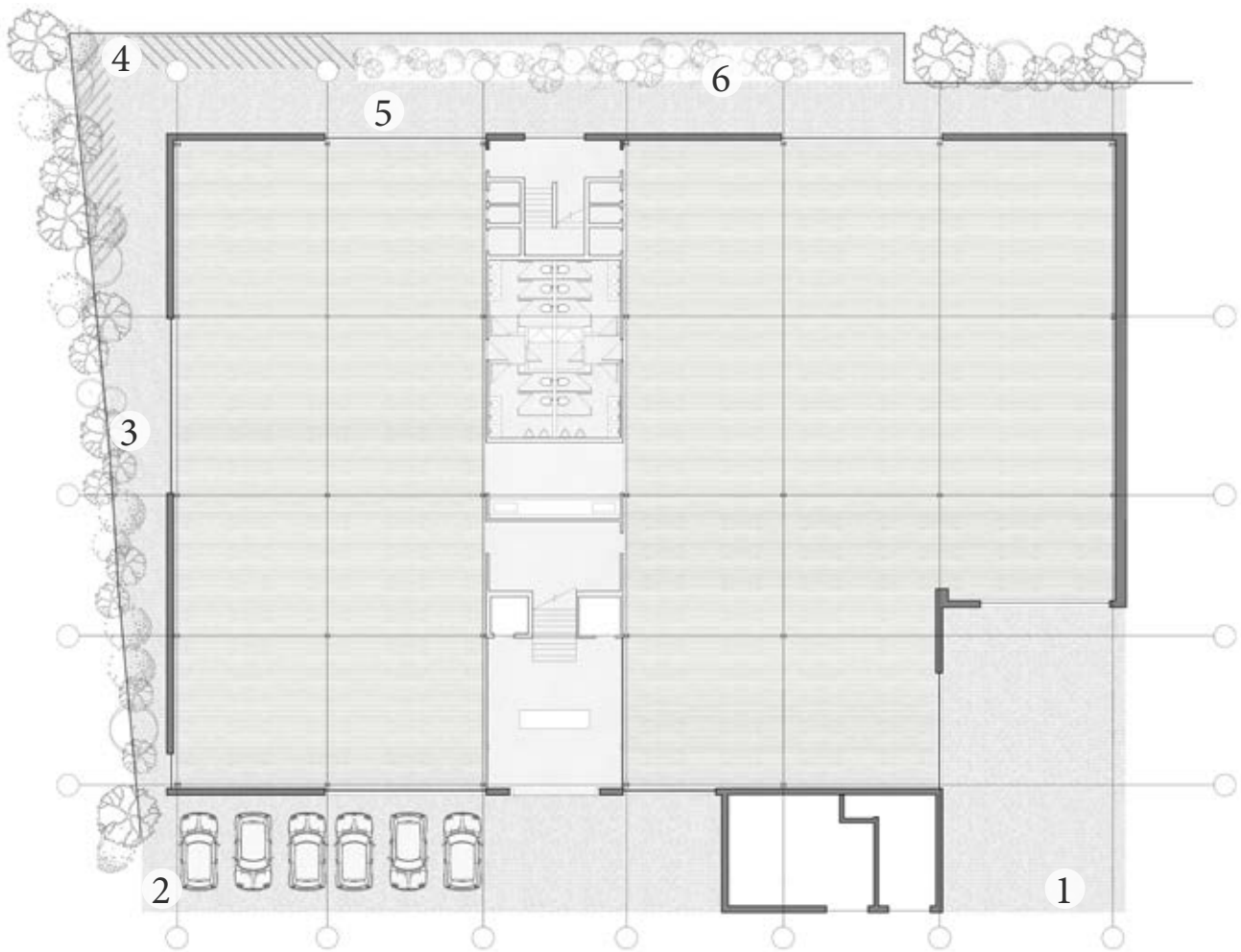
03 - Third floor

GEA:	954 sq.m / 10,270 sq.ft
GIA:	666 sq.m / 7,170 sq.ft
NIA:	579 sq.m / 6,228 sq.ft

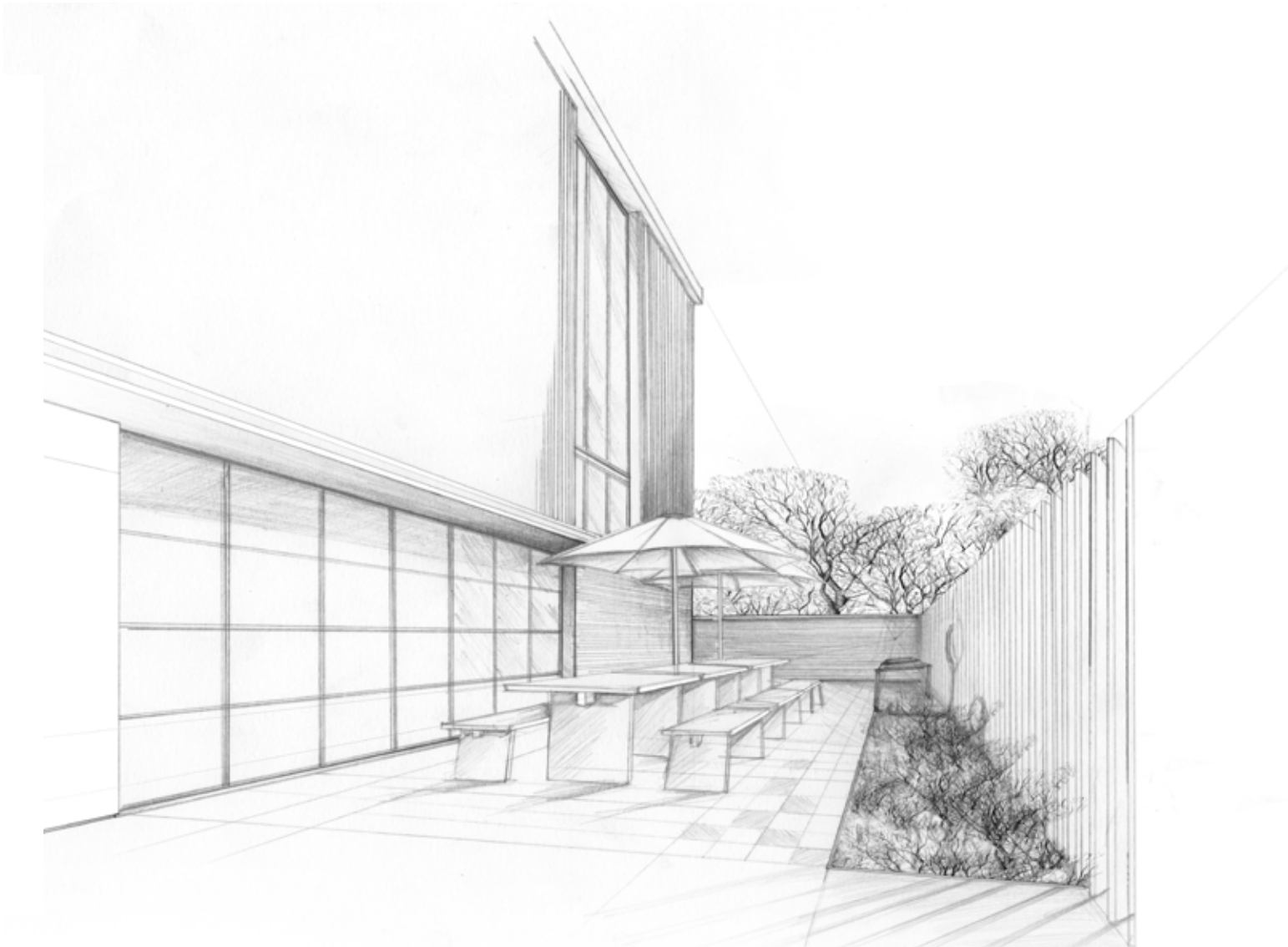
3.7 LANDSCAPING

The property has a small section of external space to west and north that was not being utilised due to the presence of large storage containers and an excess of badly positioned plant.

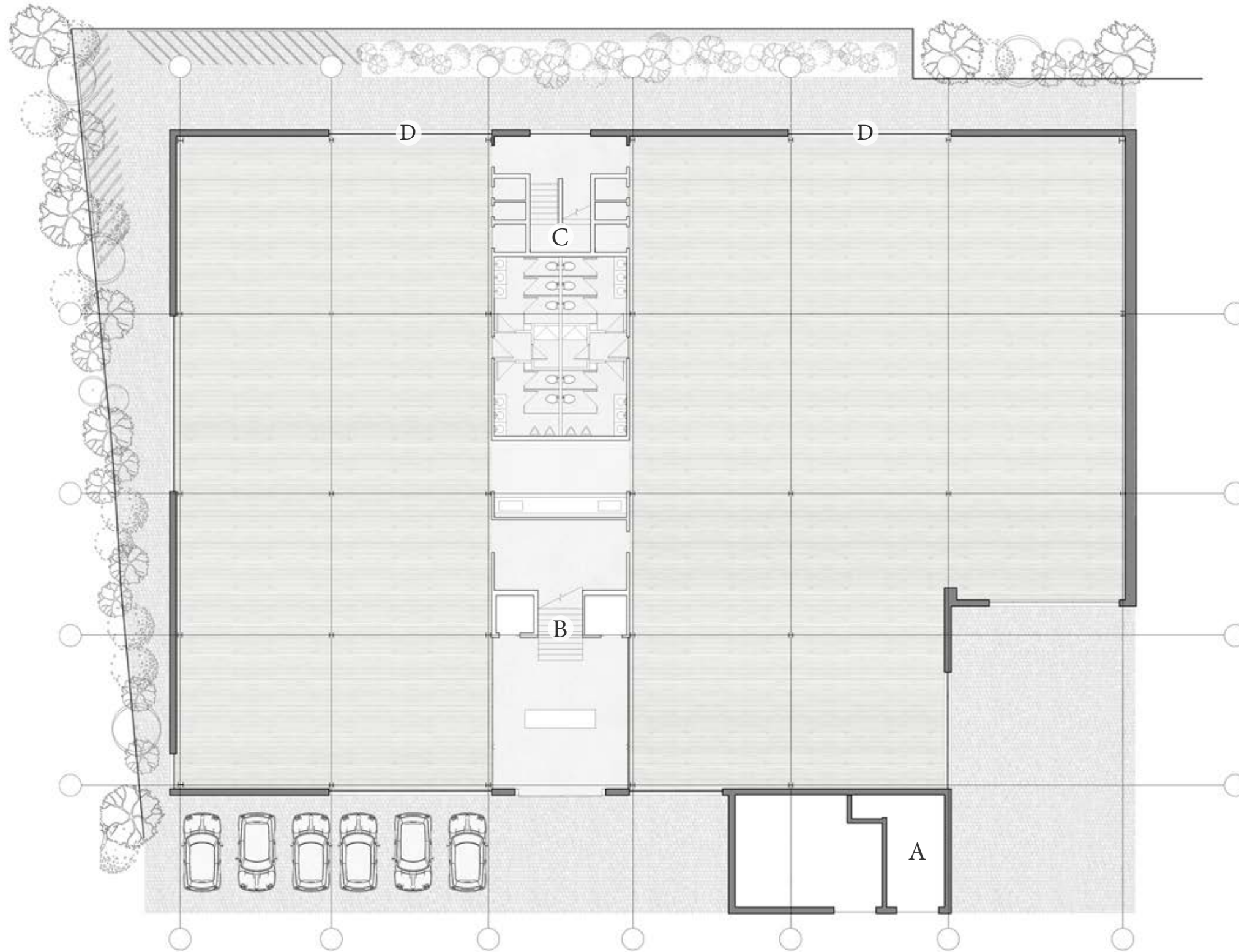
We plan on returning the spaces to the occupants through removing storage containers and condensing the plant in a designated plant room. This allows the exterior space to be reallocated for tenants to use and bike storage. A 35 space bike store is to be located in the north west of boundary with the remaining space landscaped with tactile cobbled patio space and increase in vegetation to create valuable outside space for the tenants to enjoy.



- Ground Floor**
1. Proposed new cobbled ground finish
 2. Car park spaces to service building
 3. Increased vegetation along boundary
 4. Bike storage
 5. Tenant patio area
 6. Exterior planting



Rear Exterior Landscape Sketch



3.8 SUSTAINABILITY

In order for the building to be as sustainable as possible, the new building envelope will be detailed to a very high standard and follow the proposals set out by the government regarding carbon emissions and reducing energy consumption. This would be much harder to achieve in retention of the existing structure as we endeavour to exceed the current Building Regulations guidelines.

3.9 REFUSE & RECYCLING

The refuse strategy has been carefully considered so that bins are not left out on the street potentially causing an eyesore or a hazard. A specific area has been designed to house the potential waste, whether it is general waste or recycleables such as paper, for example (A). There is ample room to store the relevant bins, allowing access efficient access and space to store refuse until collection day.

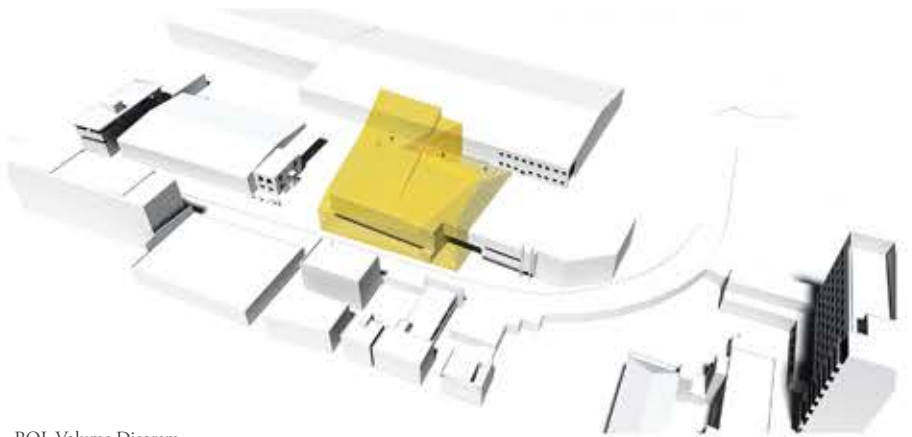
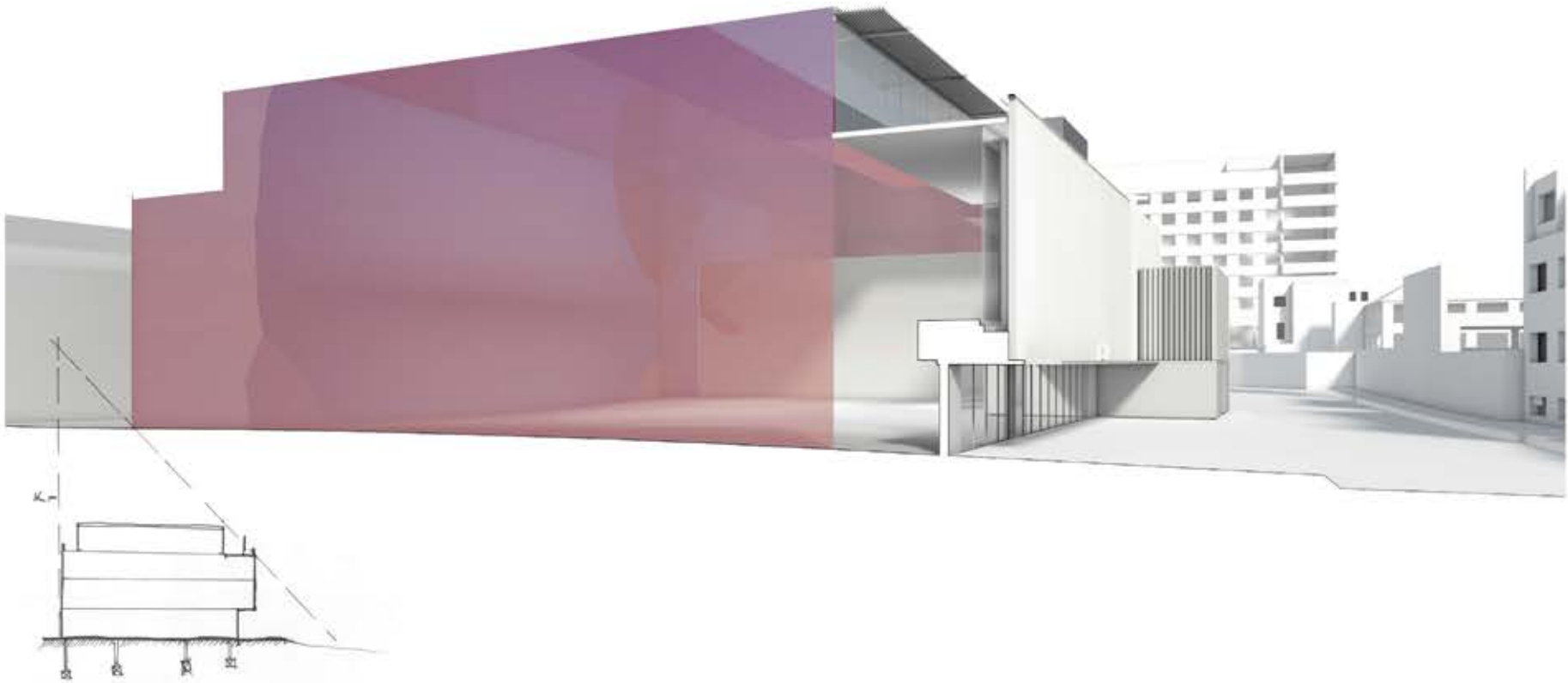
3.10 ACCESS

The proposal provides easy access to all users through perimeter levelled landscape exterior, with a main entrance leading directly to a simple central lifts and stair core (B) to provide efficient access to the entire building. An enclosed escape stair (C) is located at the rear of service core that directly accesses each floor, central lift and stair cores complies with Part M Access to and Use of Buildings. Secondary exits (D) are located each side of escape stair at rear of property with levelled access to landscaped exterior.

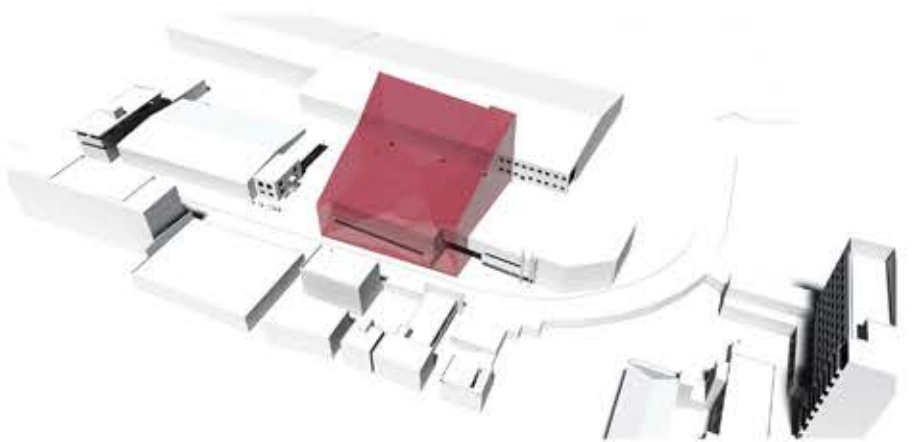
3.11 Privacy & Light

During the process we were provided with a guideline daylight / sunlight envelope within which we could develop our form. When approaching the project we were careful to maintain the parapet height of the existing unit due to the connecting facade of the neighbouring property therefore leading us to work with the volume to set the new third floor back from the building perimeter. By doing this we were able to ensure the higher area to the rear doesn't conflict with the neighbouring properties light access.

Issues of overlooking have been avoided by proposing windows on the facades that have existing and the additional third floor views are focus south into London where overlooking is not a concern.



ROL Volume Diagram



Daylight/ Sunlight Volume Diagram

4.0 CONCLUSION

This Design and Access statement has sought to emphasise the importance the designers and client have placed on creating a unique, inclusive, commercially attractive space in which future occupants can enjoy.

The carefully selected materials and low-rise light industrial form allows the proposal to blend into it's surroundings whilst acting as a point of interest in it's own right. Light is allowed to pour down into the various spaces through the expansive roof lights and contact with the outside environment is never out of reach.

We have aimed to create something that the neighbours can enjoy being part of their streetscape whilst attracting new commerce to the increasingly thriving area.