

**READ IN CONJUNCTION WITH THE SCHEDULE OF WORKS / SPECIFICATION.**




**ROOMS 5 & 6 - NOTES**

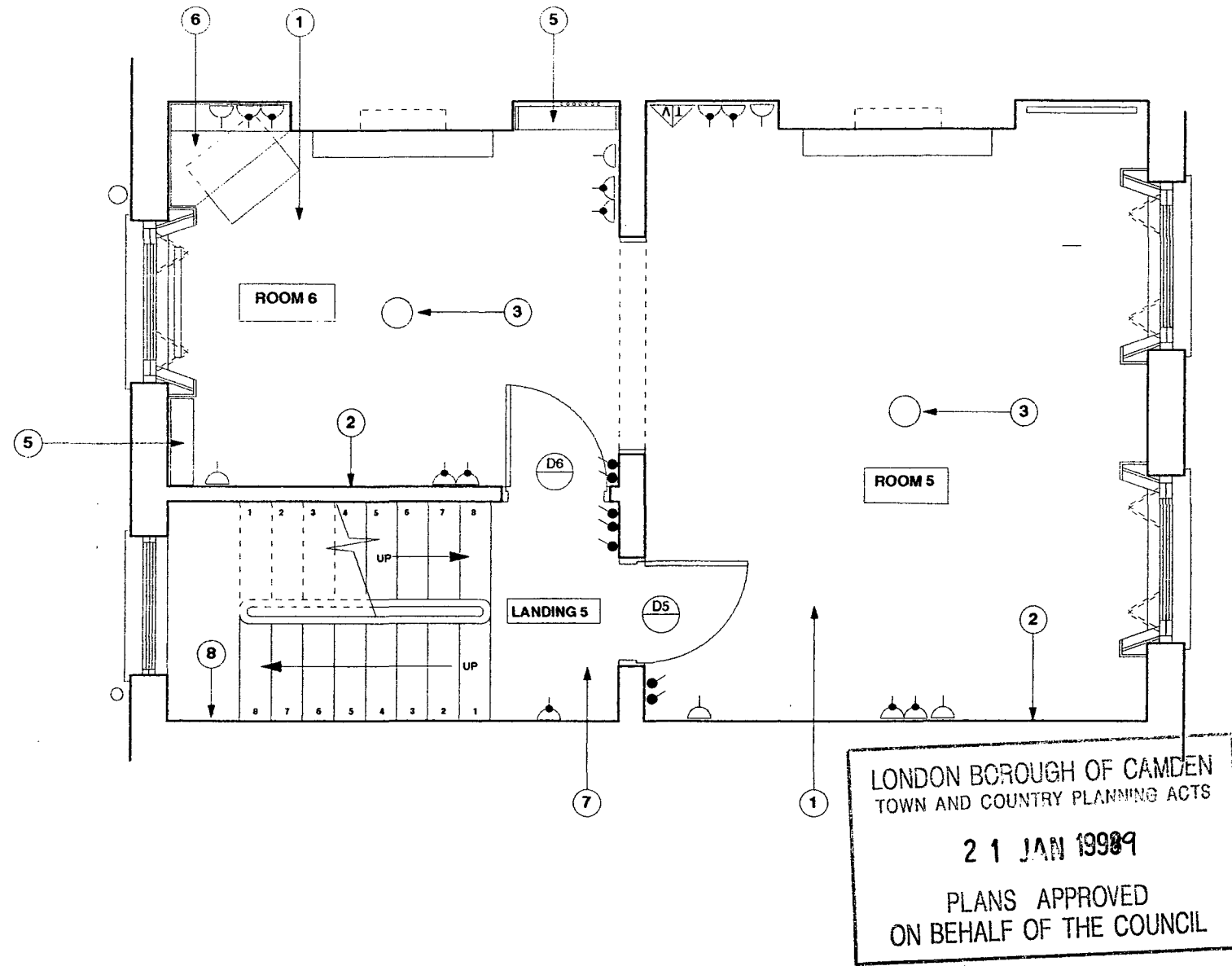
- ① NEW TIMBER FLOOR LAID OVER EXISTING BOARDS
- ② NEW PAINT FINISHES TO ALL WALLS, CEILING AND WOODWORK.
- ③ NEW LIGHT FITTING.
  
- ⑤ STORAGE SHELVING UNITS. REFER TO DRWG No. MH / 115
- ⑥ WORKTOP WITH PULL OUT KEYBOARD SHELF AND SHELVING UNIT ABOVE. REFER TO DRAWING No. MH / 116

**LANDING 5 - NOTES**

- ⑦ NEW TIMBER FLOOR LAID OVER EXISTING BOARDS. NOTE: THE FLOOR IS TO END AT THE EDGE OF THE LANDING.
- ⑧ NEW PAINT FINISHES TO ALL WALLS, CEILING AND WOODWORK.

**NOTE:- CHANGES TO THE ELECTRICAL / LIGHTING & SWITCHING LAYOUTS ARE LISTED INDIVIDUALLY IN THE NOTES ABOVE.**

-  ELECTRICAL SOCKETS.
-  LIGHT SWITCHES
-  LIGHT SWITCH CIRCUIT SOCKETS AT SKIRTING LEVEL.



**L 9800855**

**Jeff Baines**

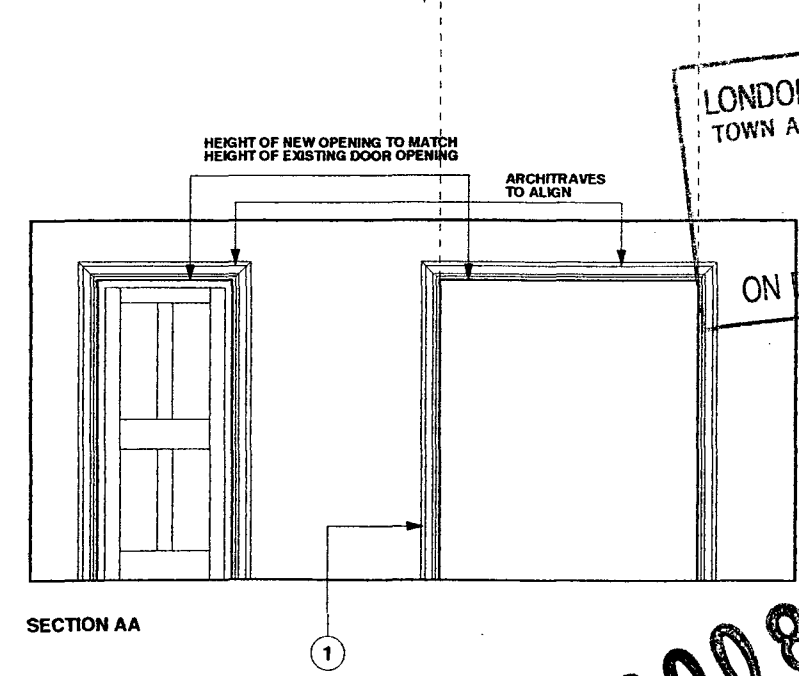
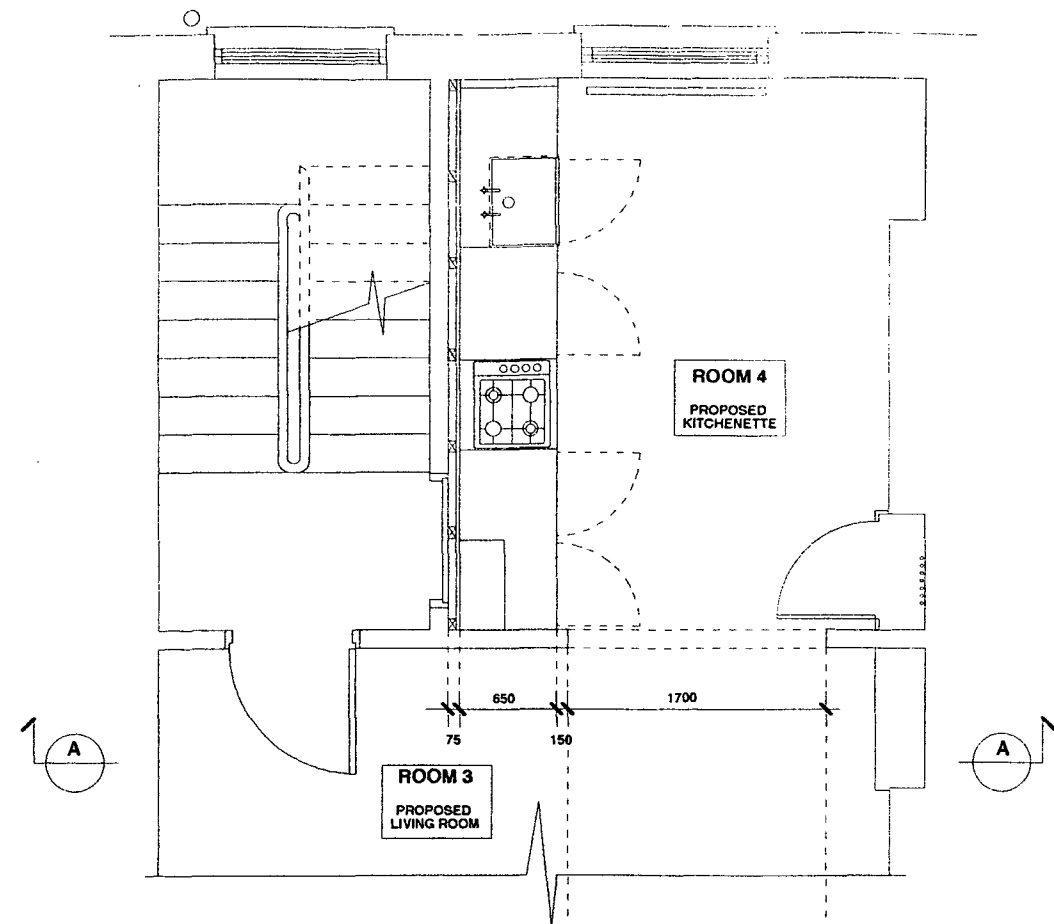
**Interior Designer**

Client: Martin Brigdale & Helen Trent	Project: 42 Mornington Terrace London NW1 7RT	Scale: 1:50	Date: October 1998
Drawing: <b>1st FLOOR - PROPOSED LAYOUT</b>		Drwg No: <b>MH / 106</b>	Revision:

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① NEW ARCHITRAVES TO NEW OPENING TO MATCH EXISTING ARCHITRAVES



LONDON BOROUGH OF CAMDEN  
TOWN AND COUNTRY PLANNING ACTS  
21 JAN 1998  
PLANS APPROVED  
ON BEHALF OF THE COUNCIL

L9800855

**Jeff Baines** Interior Designer

Client: Martin Brigdale & Helen-Trent	Project: 42 Morningside Terrace London NW1 7RT	Scale: 1:50	Date: November 1998
Drawing: 2nd FLOOR - PROPOSED ELEVATION OF NEW OPENING		Drwg No: MH / 107	Revision:

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**ROOM 3 - NOTES**

- 1 EXISTING FULL HEIGHT FITTED WARDROBES TO BE REMOVED.
- 2 EXISTING RADIATORS TO REMAIN.
- 3 EXISTING FIREPLACE TO REMAIN.
- 4 EXISTING OPEN SHELVING TO REMAIN (IF POSSIBLE).
- 5 EXISTING CARPET AND UNDERLAY TO BE REMOVED.
- 6 EXISTING SUSPENDED LIGHT FITTING TO BE REMOVED. MAIN CABLING TO REMAIN TO ACCEPT NEW LIGHT FITTING.


**ROOM 4 - NOTES**

- 7 EXISTING CUPBOARD TO BE RETAINED (IF POSSIBLE). CUPBOARD CONTAINS PIPEWORK RUNNING DOWN FROM LOFT. PIPES TO REMAIN.
- 8 EXISTING BOXING TO CHIMNEY BREAST TO BE REMOVED.
- 9 EXISTING RADIATOR TO BE REMOVED AND RELOCATED BELOW WINDOW. REFER TO NEW KITCHEN LAYOUT.
- 10 EXISTING WC AND ASSOCIATED PIPEWORK AND FITTINGS TO BE REMOVED.
- 11 EXISTING BATH AND ASSOCIATED PIPEWORK AND FITTINGS TO BE REMOVED.
- 12 EXISTING WHB AND ASSOCIATED PIPEWORK AND FITTINGS TO BE REMOVED.
- 13 EXISTING VENTED SOIL PIPE.
- 14 EXISTING RAIN WATER DOWNPIPE.
- 15 EXISTING SUSPENDED LIGHT FITTING TO BE REMOVED. MAIN CABLING TO REMAIN TO ACCEPT NEW LIGHT FITTINGS.
- 16 REMOVE ALL EXISTING WALL TILES. STRIP OFF AND REMOVE ALL WALLPAPER FROM WALLS AND CEILING READY TO ACCEPT NEW PAINT FINISH.
- 17 REMOVE SECTION OFF EXISTING STUDWORK WALL TO CREATE NEW OPENING BETWEEN ROOMS 3 & 4 AS SHOWN. ALLOW FOR TEMPORARY SUPPORT FOR STRUCTURE ABOVE. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH STRUCTURAL ENGINEERS INSTRUCTIONS.
- 18 REMOVE EXISTING CORK FLOOR TILES AND UNDERLAY

**LANDING 3 - NOTES**

- 19 EXISTING CARPET AND UNDERLAY TO BE REMOVED. NOTE:- REMOVE ONLY FROM THE LANDING (i.e. NOT THE STAIRS.)

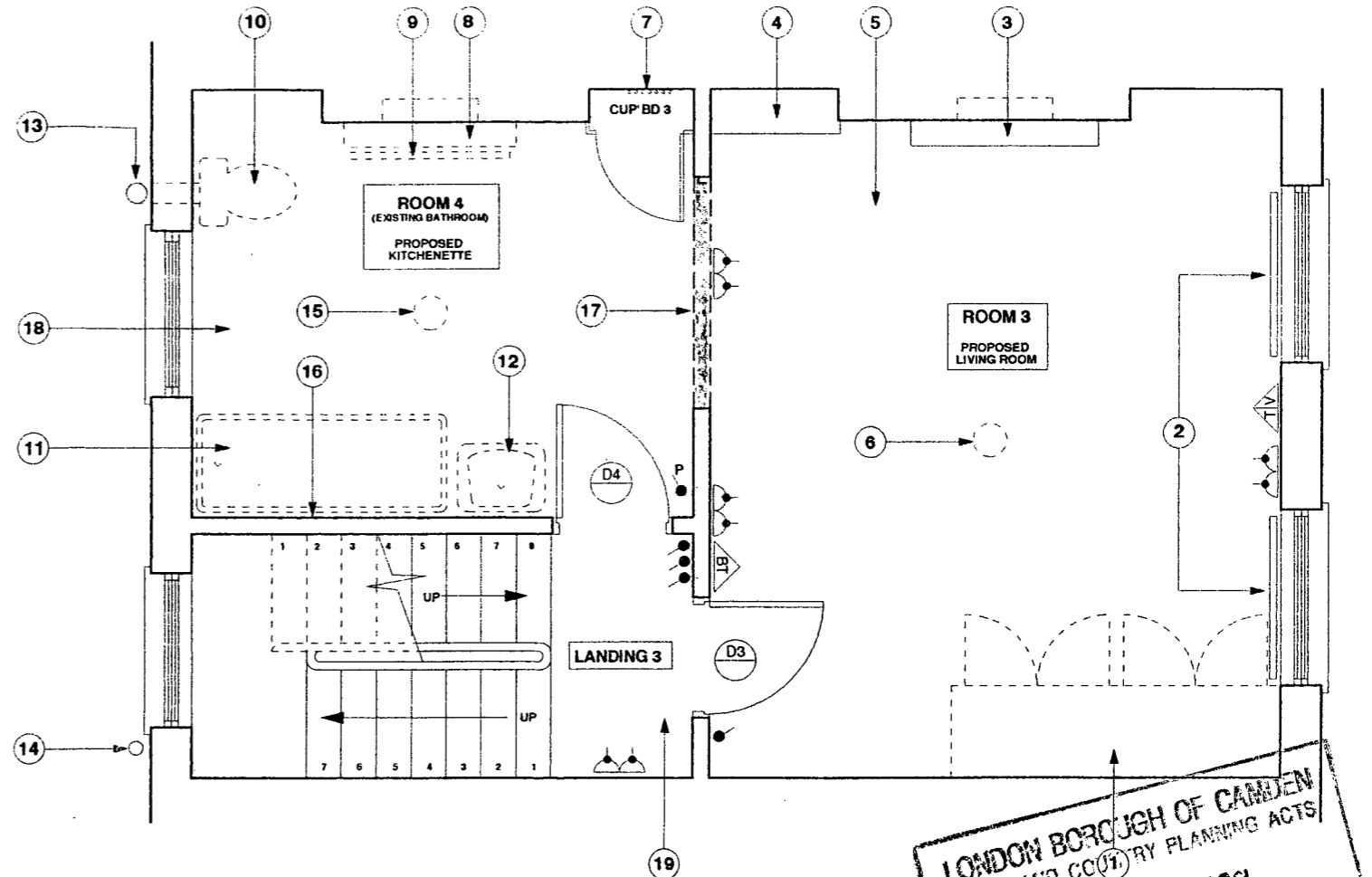
NOTE:- THE ELECTRICAL / LIGHTING / SWITCHING LAYOUTS SHOWN ON THIS DRAWING ARE THE EXISTING LAYOUTS. REFER TO THE PROPOSED LAYOUT DRAWINGS FOR CHANGES.

 APPROXIMATE POSITION OF EXISTING ELECTRICAL SOCKETS.

 APPROXIMATE POSITION OF EXISTING LIGHT SWITCHES

**FLOOR AREAS (For reference)**

ROOM 3 = 21.13 sq m  
 ROOM 4 = 11.09 sq m  
 LANDING 3 = 1.89 sq.m (not including stairs)  
 TOTAL AREA THIS FLOOR = 34.11 sq m (not including stairs)



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 TOWN AND COUNTRY PLANNING ACTS  
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**Jeff Baines**

**Interior Designer**

Client: Martin Brigdale & Helen Trent	Project: 42 Mornington Terrace London NW1 7RT	Scale: 1:50	Date: November 1998
Drawing: <b>2nd FLOOR - EXISTING LAYOUT / STRIP OUT &amp; REMOVAL</b>		Drwg No: <b>MH / 102</b>	Revision:

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**ROOMS 5 & 6 - NOTES**

- 1 EXISTING FIREPLACE WITH MARBLE SURROUND AND BRASS FRAMED HEARTH TO REMAIN.
- 2 EXISTING RADIATOR TO REMAIN.
- 3 ALL EXISTING TIMBER WINDOW SHUTTER HOLDERS AND SHUTTERS TO REMAIN.
- 4 EXISTING RADIATOR TO BE REMOVED.
- 5 PIPES RUNNING DOWN FROM LOFT TO REMAIN.
- 6 EXISTING SHELVING ON SPUR BRACKETS TO BE REMOVED.
- 7 EXISTING FIREPLACE WITH MARBLE SURROUND TO REMAIN.
- 8 EXISTING VENTED SOIL PIPE.
- 9 EXISTING RADIATOR TO REMAIN.
- 10 EXISTING RAINWATER DOWNPIPE.
- 11 EXISTING CARPET AND UNDERLAY TO BE REMOVED.
- 12 EXISTING OPENING BETWEEN ROOMS TO REMAIN AS EXISTING.
- 13 EXISTING SUSPENDED LIGHT FITTING TO BE REMOVED. MAIN CABLING TO REMAIN TO ACCEPT NEW LIGHT FITTING.

**LANDING 5 - NOTES**

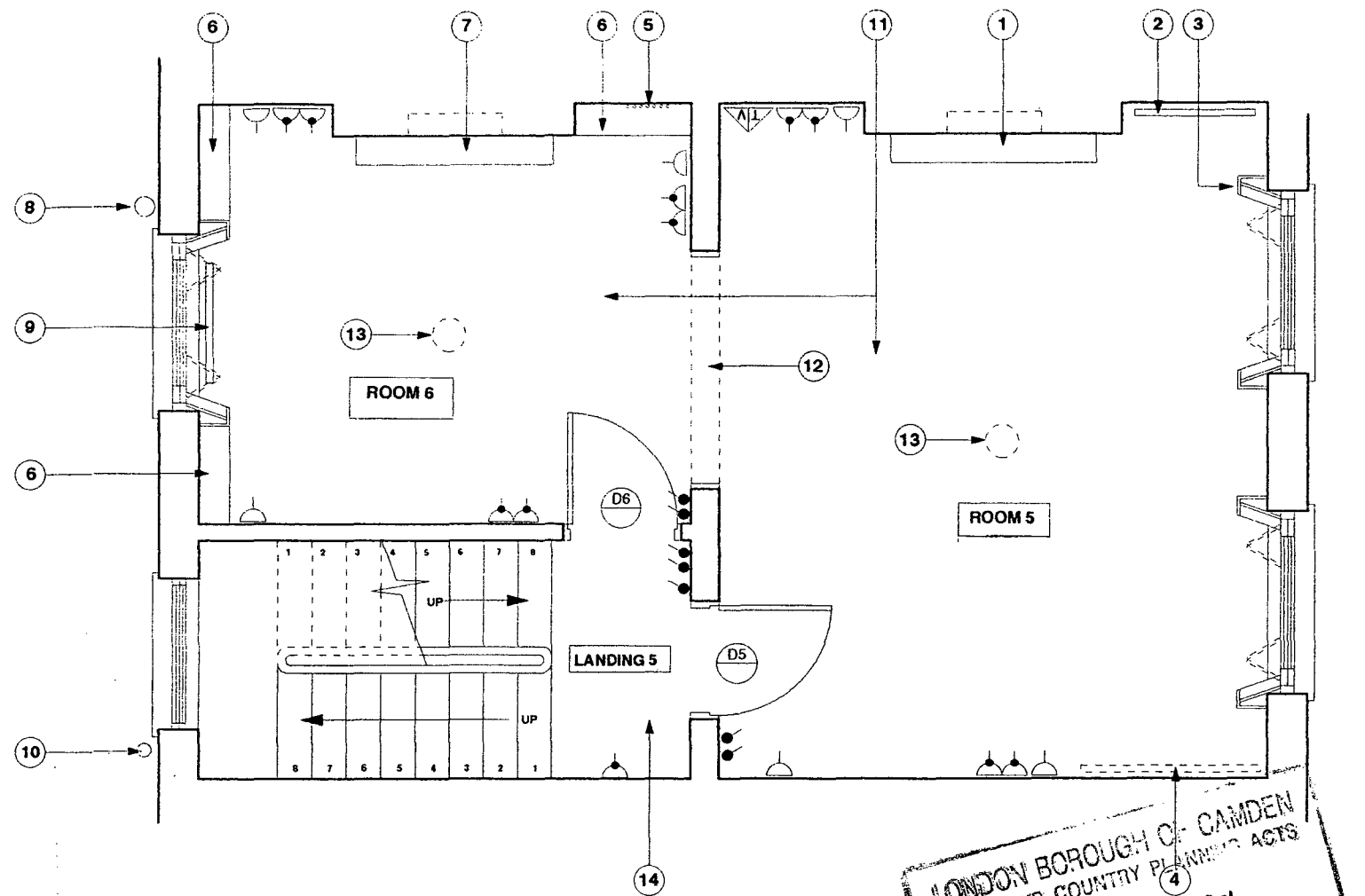
- 14 EXISTING CARPET AND UNDERLAY TO BE REMOVED. NOTE:- REMOVE ONLY FROM THE LANDING (i.e. NOT THE STAIRS.)

NOTE:- THE ELECTRICAL / LIGHTING / SWITCHING LAYOUTS SHOWN ON THIS DRAWING ARE THE EXISTING LAYOUTS. REFER TO THE PROPOSED LAYOUT DRAWINGS FOR CHANGES.

-  APPROXIMATE POSITION OF EXISTING ELECTRICAL SOCKETS.
-  APPROXIMATE POSITION OF EXISTING LIGHT SWITCHES
-  APPROXIMATE POSITION OF EXISTING LIGHT SWITCH CIRCUIT SOCKETS AT SKIRTING LEVEL.

**FLOOR AREAS (For reference)**

ROOM 4 & 5 = 31.74 sq m  
 LANDING 5 = 1.89 sq m (not including stairs)  
 TOTAL AREA THIS FLOOR = 33.63 sq m (not including stairs)



**Jeff Baines**

**Interior Designer**

Client: Martin Brigdale & Helen Trent	Project: 42 Morningside Terrace London NW1 7RT	Scale: 1:50	Date: October 1998
Drawing: <b>1st FLOOR - EXISTING LAYOUT / STRIP OUT &amp; REMOVAL</b>		Drwg No: <b>MH / 103</b>	Revision:

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**ROOM 1 - NOTES**

- 1 NEW TIMBER FLOOR TO BE LAID OVER EXISTING BOARDS
- 2 NEW PAINT FINISHES TO ALL WALLS, CEILING AND WOODWORK. MAKE GOOD WALL WHERE SHELVING HAS BEEN REMOVED AND RE LINE IF NECESSARY WITH PAPER TO MATCH EXISTING
- 3 NEW LIGHT FITTING.

**ROOM 2 - NOTES.**

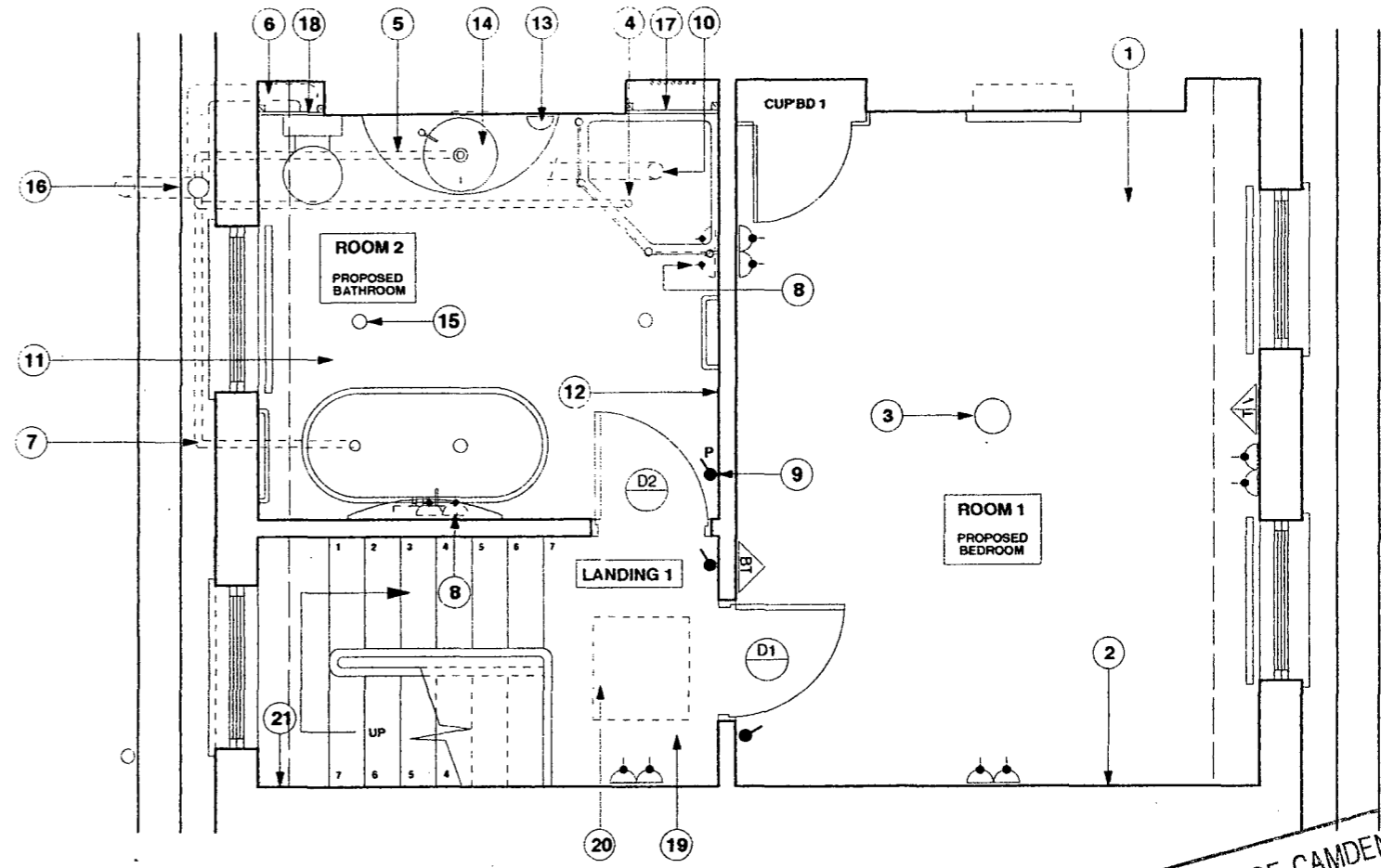
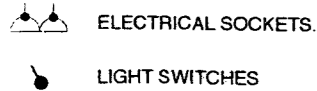
REFER ALSO TO DRAWING Nos. MH /108, 109, 110, 111 & 112.

- 4 OUTFLOW FROM SHOWER TO ROUTE BELOW FLOOR AND CONNECT INTO EXISTING SOIL PIPE.
  - 5 OUTFLOW FROM WHB TO ROUTE BELOW FLOOR AND CONNECT INTO EXISTING SOIL PIPE.
  - 6 OUTFLOW FROM WC TO ROUTE INTO BOXED OUT RECESS AND CONNECT INTO EXISTING SOIL PIPE.
  - 7 OUTFLOW FROM SHOWER TO ROUTE BELOW FLOOR AND CONNECT INTO EXISTING SOIL PIPE.
- ALLOW FOR ALL RELEVANT TRAPS, RODDING EYES AND CONNECTIONS TO LOCAL AUTHORITY APPROVAL.
- 8 EXISTING ELECTRICAL SOCKETS TO BE REMOVED.
  - 9 NEW PULL CORD LIGHT SWITCH TO CONNECT TO NEW LOW VOLTAGE LIGHT FITTINGS.
  - 10 AIR EXTRACT UNIT TO SHOWER ENCLOSURE. DUCTWORK TO ROUTE INTO LOFT AND OUT THROUGH EXTERNAL WALL.
  - 11 NEW TIMBER FLOOR LAID OVER EXISTING BOARDS.
  - 12 NEW PAINT FINISHES TO ALL WALLS, CEILING AND WOODWORK.
  - 13 NEW SHAVER SOCKET
  - 14 NEW BATHROOM WARE. REFER TO DRAWINGS LISTED ABOVE.
  - 15 4 No. NEW LOW VOLTAGE LIGHT FITTINGS.
  - 16 EXISTING SOIL PIPE TO ACCEPT ALL NEW WASTE OUTFLOWS.
  - 17 PLY WOOD PANELLING TO FORM BACK OF SHOWER ENCLOSURE.
  - 18 PLY WOOD PANELLING TO BOX RECESS OUT FOR WC INTSALLATION.

**LANDING 1 - NOTES**

- 19 NEW TIMBER FLOOR LAID OVER EXISTING BOARDS.  
NOTE: THE FLOOR IS TO END AT THE EDGE OF THE LANDING.
- 20 EXISTING LOFT HATCH ENLARGED. SIZE AND DETAILS TO BE AGREED ON SITE WITH CONTRACTOR.
- 21 NEW PAINT FINISHES TO ALL WALLS, CEILING AND WOODWORK.

NOTE:- CHANGES TO THE ELECTRICAL / LIGHTING & SWITCHING LAYOUTS ARE LISTED INDIVIDUALLY IN THE NOTES ABOVE.



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**Jeff Baines**

**Interior Designer**

Client: Martin Brigdale & Helen Trent	Project: 42 Morningson Terrace London NW1 7RT	Scale: 1:50	Date: November 1998
Drawing: <b>3RD FLOOR - PROPOSED LAYOUT</b>		Drwg No: <b>MH / 104</b>	Revision:

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**READ IN CONJUNCTION WITH THE SCHEDULE OF WORKS / SPECIFICATION.**

**ROOM 3 - NOTES**

- ① NEW TIMBER FLOOR LAID OVER EXISTING BOARDS
- ② NEW PAINT FINISHES TO ALL WALLS, CEILING AND WOODWORK.
- ③ NEW LIGHT FITTING.
- ④ EXISTING GAS FIRE TO BE RECONNECTED TO GAS SUPPLY.
- ⑤ EXISTING SHELVING TO REMAIN (IF POSSIBLE).
- ⑥ NEW OPENING BETWEEN ROOMS 3 & 4. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH STRUCTURAL ENGINEERS INSTRUCTIONS.
- ⑦ EXISTING ELECTRICAL SOCKET TO BE RELOCATED AS SHOWN.
- ⑧ 2 No. NEW LIGHT SWITCHES FOR KITCHEN LIGHT CIRCUITS.

**ROOM 4 - NOTES.**

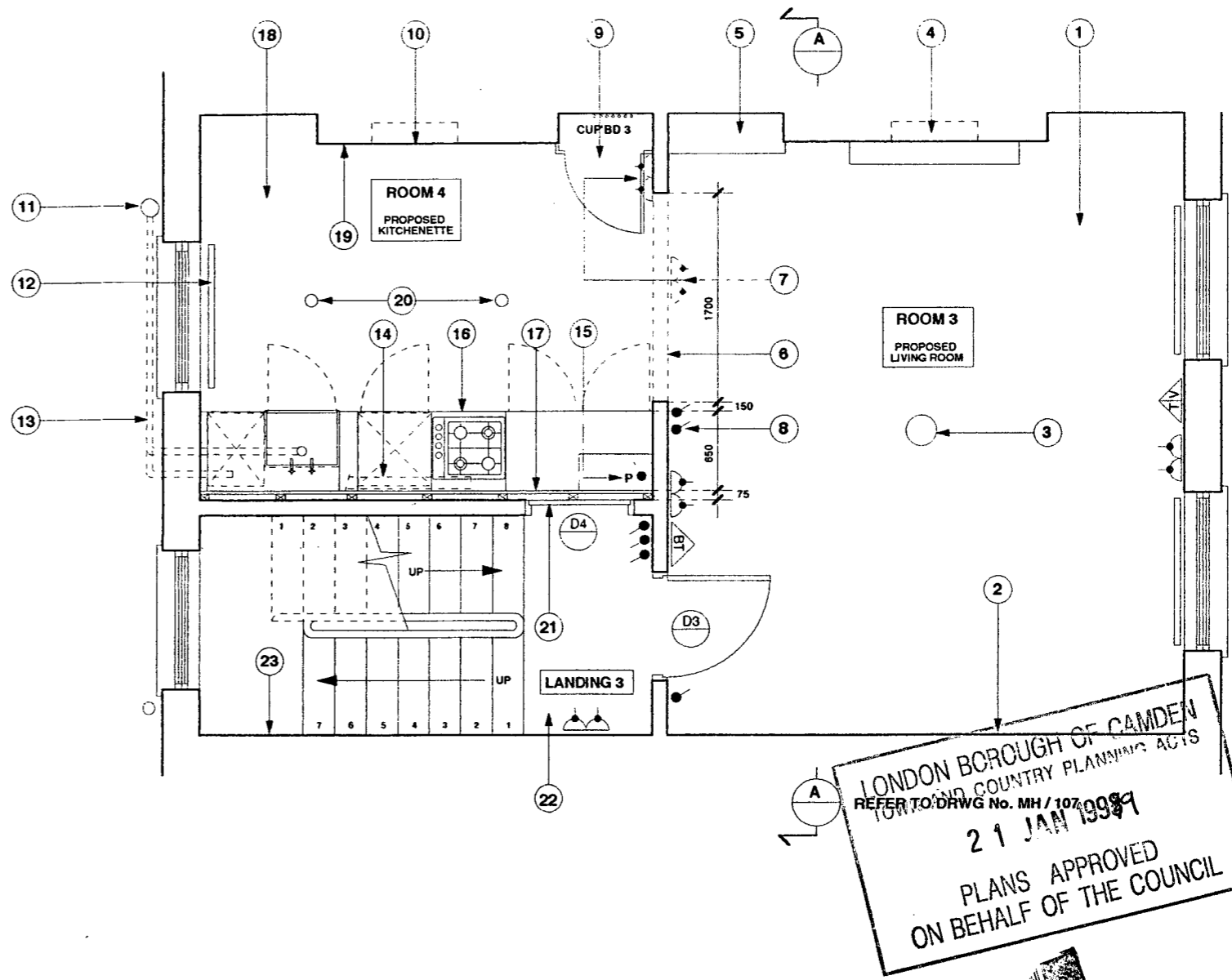
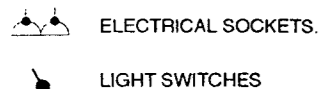
REFER ALSO TO DRAWING Nos. MH /13 & 14

- ⑨ EXISTING CUPBOARD TO REMAIN (IF POSSIBLE).
- ⑩ EXISTING OPENING TO CHIMNEY BREAST TO BE BLOCKED UP. ALLOW FOR AIR VENT FOR VENTILATION
- X ⑪ EXISTING SOIL PIPE.
- ⑫ RADIATOR RELOCATED FROM IN FRONT OF CHIMNEY BREAST.
- X ⑬ OUTFLOWS FROM SINK AND DISHWASHER TO BE ROUTED WITHIN KITCHEN BASE UNITS AND OUT THROUGH EXTERNAL WALL TO CONNECT INTO EXISTING SOIL PIPE.  
ALLOW FOR ALL RELEVANT TRAPS, RODDING EYES AND CONNECTIONS TO LOCAL AUTHORITY APPROVAL
- ⑭ AIR EXTRACT DUCTWORK TO ROUTE ALONG TOP OF WALL UNITS BEHIND CORNICE AND OUT THROUGH EXTERNAL WALL.
- ⑮ EXISTING PULL CORD LIGHT SWITCH TO BE REMOVED.
- ⑯ NEW KITCHEN UNITS. REFER TO DRAWINGS LISTED ABOVE.
- ⑰ WALL PANELLING TO BLOCK EXISTING DOOR UP AND CREATE FALSE WALL FOR KITCHEN UNITS
- ⑱ NEW TIMBER FLOOR LAID OVER EXISTING BOARDS.
- ⑲ NEW PAINT FINISHES TO ALL WALLS, CEILING AND WOODWORK.
- ⑳ 2 No. LOW VOLTAGE NEW LIGHT FITTINGS.

**LANDING 3 - NOTES**

- ㉑ EXISTING DOOR (D4) AND FRAME TO REMAIN IN SITU.
- ㉒ NEW TIMBER FLOOR LAID OVER EXISTING BOARDS. NOTE: THE FLOOR IS TO END AT THE EDGE OF THE LANDING.
- ㉓ NEW PAINT FINISHES TO ALL WALLS, CEILING AND WOODWORK.

NOTE:- CHANGES TO THE ELECTRICAL / LIGHTING & SWITCHING LAYOUTS ARE LISTED INDIVIDUALLY IN THE NOTES ABOVE.  
REFER ALSO TO DRAWING No. MH/ 113 & 114 FOR LAYOUT OF ELECTRICAL SOCKETS AND LIGHTING TO KITCHEN.



**L 9800855**

**Jeff Baines**

**Interior Designer**

Client: Martin Brigdale & Helen Trent	Project: 42 Mornington Terrace London NW1 7RT	Scale: 1:50	Date: November 1998
Drawing: <b>2nd FLOOR - PROPOSED LAYOUT</b>		Drwg No: <b>MH / 105</b>	Revision:

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**ROOM 1 - NOTES**

- 1 EXISTING FULL HEIGHT SHELVING TO BE CAREFULLY DISMANTLED AND RE ERECTED IN BASEMENT. CLIENT TO AGREE POSITION.
- 2 EXISTING RADIATORS TO REMAIN.
- 3 INTERNAL LINE OF WALL AT CEILING HEIGHT. (WALL INCLINES)
- 4 EXISTING FIREPLACE TO REMAIN.
- 5 EXISTING CUPBOARD TO REMAIN.
- 6 EXISTING CARPET AND UNDERLAY TO BE REMOVED.
- 7 EXISTING SUSPENDED LIGHT FITTING TO BE REMOVED. MAIN CABLING TO REMAIN TO ACCEPT NEW LIGHT FITTING.

**ROOM 2 - NOTES**

- 8 EXISTING CUPBOARD TO BE REMOVED. REFER TO BATHROOM LAYOUT. CUPBOARD CONTAINS 7No. PIPES RUNNING DOWN FROM LOFT. PIPES TO BE RETAINED
- 9 EXISTING AIR BRICK TO CHIMNEY BREAST. (FIREPLACE CURRENTLY BLOCKED UP.) ALL TO REMAIN AS EXISTING.
- 10 EXISTING WHB TO BE REMOVED. PIPEWORK TO BE RE ROUTED TO SUIT NEW LAYOUT.
- 11 INTERNAL LINE OF WALL AT CEILING HEIGHT. (WALL INCLINES)
- 12 EXISTING RADIATOR TO BE RETAINED.
- 13 EXTERNAL SUNKEN GUTTER.
- 14 EXISTING VENTED SOIL PIPE.
- 15 EXTERNAL PARAPET WALL.
- 16 EXISTING RAINWATER DOWN PIPE.
- 17 EXISTING CARPET AND UNDERLAY TO BE REMOVED.
- 18 EXISTING SUSPENDED LIGHT FITTING TO BE REMOVED. MAIN CABLING TO REMAIN TO ACCEPT NEW LIGHT FITTINGS.
- 19 STRIP OFF AND REMOVE ALL WALLPAPER FROM WALLS AND CEILING READY TO ACCEPT NEW PAINT FINISH.

**LANDING 1 - NOTES**

- 20 EXISTING LOFT ACCESS HATCH TO BE ENLARGED. EXACT SIZE AND DETAILS TO BE AGREED ON SITE WITH CONTRACTOR.
- 21 EXISTING CARPET AND UNDERLAY TO BE REMOVED. NOTE:- REMOVE ONLY FROM THE LANDING (i.e. NOT THE STAIRS.)

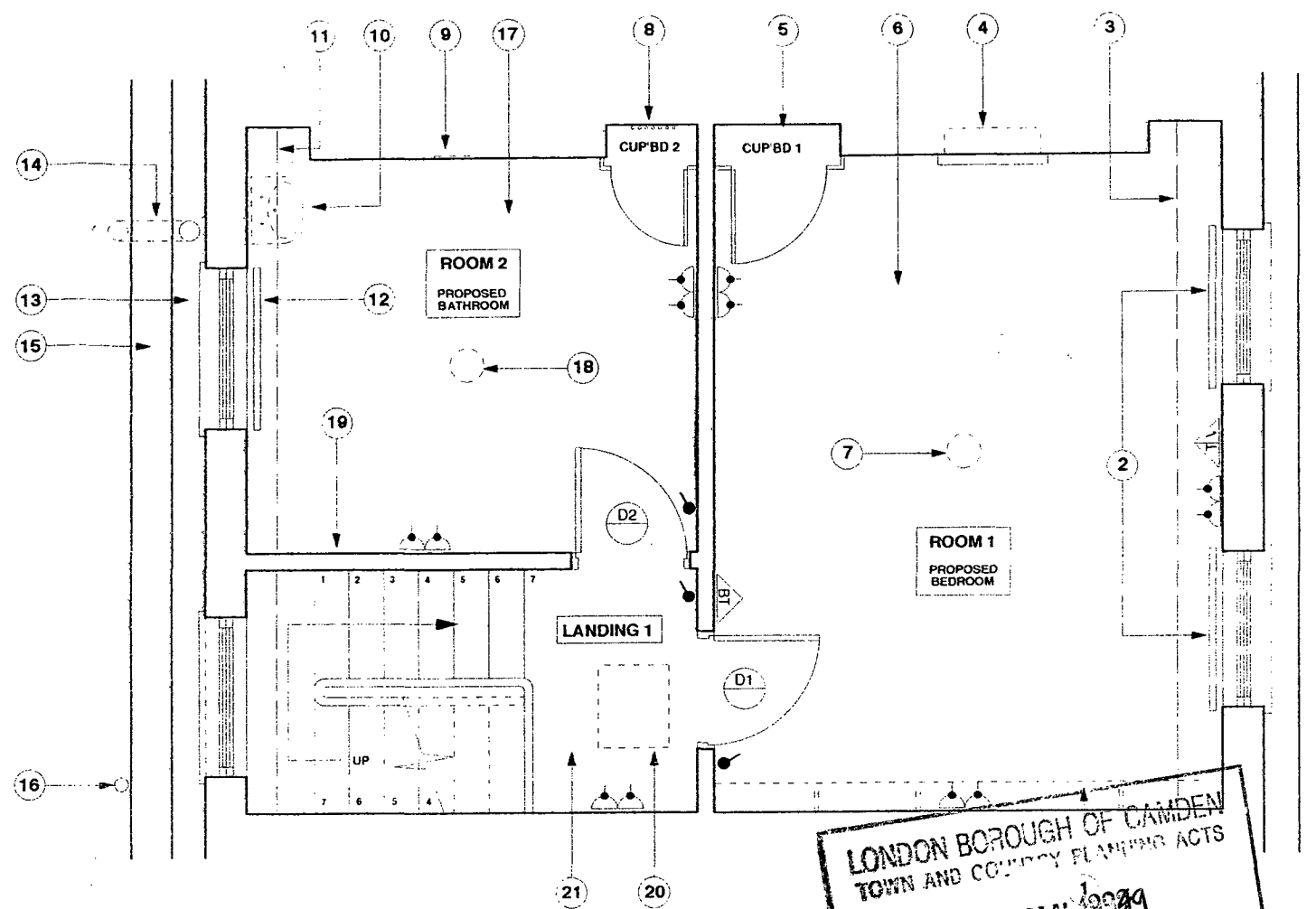
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APPROXIMATE POSITION OF EXISTING ELECTRICAL SOCKETS.

APPROXIMATE POSITION OF EXISTING LIGHT SWITCHES

**FLOOR AREAS (For reference)**

ROOM 1 = 18.34 sq m  
 ROOM 2 = 9.84 sq m  
 LANDING 1 = 2.16 sq m (not including stairs)  
 TOTAL AREA THIS FLOOR 30.34 sq m (not including stairs)



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**Jeff Baines**

**Interior Designer**

Client: Martin Brigdale & Helen Trent	Project: 42 Momington Terrace London NW1 7RT	Scale: 1:50	Date: November 1998
Drawing: <b>3RD FLOOR - EXISTING LAYOUT / STRIP OUT &amp; REMOVAL</b>	Drwg No: MH / 101	Revision:	

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