

**Queens Head and Artichoke**

**Design and Access Statement**

**June 2017**

**Alterations and additions to 30-32 Albany Street Camden**

**London NW1 4EA**



## **Introduction**

This Statement accompanies a planning application for the alteration and refurbishment of 30-32 Albany Street (The Queens Head and Artichoke Public House) to provide serviced apartments in association with the existing public house business, relocation of the kitchen to the basement, a loft conversion incorporating dormer windows to the side of the existing building and a new fire escape/access stair serving the new and existing accommodation.

The site lies within the London Borough of Camden specifically in the Longford Street character area which is within Regents Park Conservation Area formed in 1985.

The proposal is to retain all the architectural features of the existing front and side elevations of the building (with minor alteration to existing railings), to extend within the yard area to the East of the building but to limit the scope of works to the yard and to the rear (East) elevation and East roof pitch.

This statement is set out as follows;

1. Assessment
  - a. Physical
  - b. Social
  - c. Economic
  - d. Planning Policy
  - e. Planning History
2. Design
  - a. Proposals
  - b. Use
  - c. Amount
  - d. Amenity
  - e. Character and Appearance
3. Access
4. Heritage Statement

It also takes account of the local requirements of the Council as well as setting out the appropriate planning background to the proposals.



Queens Head and Artichoke

Longford Street Elevation



Queens Head and Artichoke

Corner View from Albany Street



Queens Head and Artichoke

View from car park to Rear of Walton House

## **1. Assessment**

### **a. Physical**

The site consists of a corner site Public House currently used as such with a restaurant and kitchens at first floor level and an apartment above which is currently accessed through the pub at ground floor level. The building is thought to have been built around 1900.

To the East adjoining the yard is a Victorian apartment building; to the North is a terrace of early Victorian houses, both the apartment building to the East and the houses to the North are grade II listed.

### **b. Social**

The key consideration is that the new arrangement allows the building to provide good quality accommodation for the current residents of the building and high quality new serviced accommodation for paying guests and that the proposals do not impact on the amenity of adjoining sites.

The windows to the front and rear elevations of the adjoining terraced houses to the North of the site are parallel with the front and rear facades of 30-32; no windows look onto the site from neighbouring properties. The amenity of the gardens to the rear of the terraced houses is not affected by the new fire escape stair or the new dormer windows; the fire escape stair is set well back from the North boundary of the site and the dormer roof additions are set back behind the line of the existing rear parapet.

The Victorian apartment building to the East of the site presents a flank elevation which contains no windows however to the rear of this building a projecting half-hexagonal bay contains kitchen windows. The new stair will be enclosed within brick walls on all sides in order to control views and overlooking.

### **c. Economic**

The area of the basement is larger than the first floor rooms which currently house the restaurant kitchen, our clients will be able to install a larger area for preparation and better facilities for cooking; an improved, enlarged commercial kitchen is essential to the sustainability of our clients business as it will allow the current restaurant to expand its menu and to cater for the tastes of a changing and more diversified clientele.

The new serviced apartments will help sustain the project and provide funding for the renovation of the existing building and help offset the considerable cost of relocating the commercial kitchen to the basement.

Currently, the existing apartment at 2<sup>nd</sup> floor level is accessed solely through the restaurant and pub; this arrangement is unsafe and is untenable. *The provision of a new fire escape staircase to the will enable access at 1 2*

### **d. Planning Policy**

- Please refer to the supporting statement prepared for this application.

## **e. Planning History**

In June 1981, consent was granted for the erection of a roof over the rear yard to provide improved toilet facilities and the installation of a new frontage to part of the Longford Street elevation (ref M11/5X/A/32213). The works to the Longford Street elevation were not carried out; however the toilet block was extended.

In August 1994, consent was granted for alterations to the Longford Street elevation comprising the replacement of existing double doors with a new window in connection with the conversion of the rear yard/store area to a covered bar seating area (ref PL/9400670). These works were not carried out.

In May 2016, an application was submitted for a three storey extension to the rear of the building incorporating fire escape staircase and lift along with an almost full length dormer extension to the main roof at rear of the property. The additional floorspace was to accommodate an extension to the existing commercial kitchen and much needed additional residential accommodation at upper levels. The application was revised following a site meeting with Robert Lester the Case Officer and on receipt of advice from Nick Baxter Senior Heritage and Conservation Officer. The application was withdrawn in July 2016 following the Conservation Officers concerns about massing, materials and the non-traditional design of the dormer windows.

In November 2016, an application was submitted for an extension at first floor level only, provision of additional residential accommodation at first and third floor levels, installation of a fire escape staircase and lift, and the provision of traditionally detailed dormer windows at third floor level.

The Conservation officer advised the omission of the extension at first floor level and the enclosure of the proposed staircase with brick;

*‘The two separate blocks are excessively bulky, both in terms of the host building and in terms of crowding the listed building next door, and awkwardly designed in terms of their different heights and widths. Furthermore, the terrace would necessitate an excessive amount of addition screening, adding further bulk. The modern design is inappropriate in this context.*

*I suggest that the applicant investigate omitting the front tower, and redesigning the stair tower in a traditional idiom (recycled stock brick, sash windows) with a parapet flat roof, to read as a well set-back side extension, to be as small as possible.*

*This would require the loss of the second bedroom on the first floor and the roof terrace.*

*This would have the advantage of preserving views of the listed building, being less harmful to views of the positive contributor and preserving more of the characterful gap/pattern of construction between the two buildings.’*

The proposals were revised in accordance with the above advice however following concerns raised regarding loss of pub space, the application was withdrawn in June 2017.

It is worth noting that following resubmission of the revised scheme, comments from the case officer suggested that as the Conservation Officer was 'much happier' with the revised design, the report would be written-up with a recommendation for approval.

## **2. Design**

### **a. Proposals**

The proposals are as follows;

- Relocation of the commercial kitchen to the basement and the installation of a fire escape stair to the lightwell (West elevation).
- Provision of 3 new serviced apartments at 1<sup>st</sup> and 2<sup>nd</sup> floor levels.
- Extension of the existing residential accommodation at 3<sup>rd</sup> floor (former roof) level in the form of individual dormer windows.
- The installation of a new fire escape staircase and mini-lift within the existing yard.

### **b. Use**

Works to the upper floors of the building will provide the following residential accommodation;

1<sup>st</sup> floor

2 no. 1 double bedroomed 2 person serviced apartments

2<sup>nd</sup> floor

1 double bedroomed 1 person serviced apartment.

3 double bedroomed 6 person self-contained apartment

As illustrated, the residential accommodation complies with the space and storage requirements set out in CPG 2.

The provision of ground floor residential accommodation is not possible within these proposals.

The ground floor use as a pub and restaurant will remain unaltered, the rear yard of the building will remain as an open courtyard and will be used for access to the apartments.

The basement will become the commercial kitchen area staff welfare and office accommodation.

### **c. Amount**

In order to limit potential visual impact on the existing building, the proposed rear extension for the fire escape staircase occupies the smallest possible footprint.

At roof level, the new residential accommodation sits within the existing footprint of the building and does not extend into the yard area.



Approximate additional internal floor area is as follows;

- Third floor - 46.9m<sup>2</sup>  
(within existing footprint)

#### **d. Amenity**

The amenity of the existing apartment is not compromised by the proposals

The proposals allow direct, safe access to and escape from the residential accommodation via the fire escape staircase.

#### **e. Character and Appearance**

##### **Dormer Roof additions**

As advised previously by the Conservation Officer, the dormer window extensions have been designed and detailed as traditional timber sliding sash windows set in simply detailed lead-clad dormers. It is proposed that where possible, the dormer windows align with and therefore reflect the distribution of the existing openings in the rear elevation. Befitting of a rear elevation, the distribution is deliberately asymmetrical and by contrast to the front and side elevation, is also informal.

##### **South Elevation rear extension**

In accordance with advice received from the Conservation Officer in relation to the previous application (see above), the staircase extension is proposed to be enclosed within brick walls with timber sliding sash windows and a flat roof with parapet.

The staircase and lift occupy the smallest possible footprint on the site and is set well back from the elevation fronting Longford Street.

##### **Ground Floor**

The painted timber doors to the yard at ground floor level will remain unaltered; the existing stonework and brickwork will be restored using original materials and methods.

The existing decorative iron railings on the Albany Street elevation will be modified to allow a section of the railing to become a gate to the new basement fire escape staircase.

Modifications will be detailed to ensure that the composition and design of the existing railings is not compromised visually; the intension is that the gate will be 'secret'; all hinges and catches will be concealed; when closed the gate will appear to be seamlessly jointed to the remainder of the railings. An example of this can be seen on the railings to the house immediately to the left on Albany Street.

##### **Materials**

The rear staircase extension will be clad in recycled stock brick with traditionally detailed timber sash windows.

The new dormer windows to the rear roof slope will also have traditionally detailed timber sash windows and will be clad in lead with lead cheeks, tops and window surrounds/reveals.

### **3. Access**

Access arrangements will allow direct entry to the existing residential accommodation above the pub as well as to the serviced apartments.

Access to the commercial kitchen will be via the pub.

All other access arrangements will remain as existing.

### **4. Heritage Statement**

Dating from the 16th Century, the Queen's Head & Artichoke was once a Royal Hunting Lodge on the site of what is now The Regent's Park. It is mentioned in the Crew's Survey in 1753 as 'a ramshackle old tavern'. When The Regent's Park was created, several well-known Inns were demolished, one of which was the Queen's Head & Artichoke. It was re-established at its present site in 1811, although the current building dates from around 1900. The licence itself dates from the time of Queen Elizabeth 1st reign. The origin of its name is attributed to Daniel Clark, Master Cook & Head Gardener to both Elizabeth 1st & James 1st.

As described previously in this report, the proposed building interventions have been designed to be subservient to the features of the existing building and no alterations are proposed to the existing elevations.



Buildings adjoining the Queens Head and Artichoke 1929  
London Metropolitan Archives



The former Queens Head and Artichoke Regents Park  
C 1750

Keith Tillman  
Tillman Architects