



*Existing room 1AMS/4/012:  
Walls to be made good where necessary following removal of existing wall adjoining room 1AMS/4/014.  
Existing windows and shutters to undergo full overhaul to ensure good working condition and receive full redecoration*

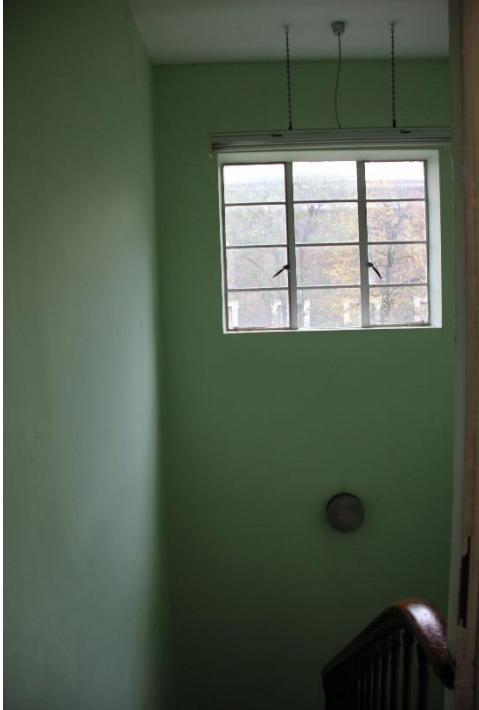


*Existing room 1AMS/4/013:*

*New opening to be created within room to become part of 1AMS/4/011. Adjoining walls to be made good where necessary. Existing window and shutters to undergo full overhaul to ensure good working condition and receive full redecoration*

Room No. 1AMS/4/S01 – S02 Stairs (including store room)	
Item	Scope of works
General	<ul style="list-style-type: none"> <li>▪ Existing fittings and services have already been removed;</li> <li>▪ New infills created in existing walls to enclose 2 x existing door openings;</li> <li>▪ New replacement lath and plaster finish to damaged areas of walls.</li> <li>▪ Walls to be redecorated (including inside store room) with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum;</li> <li>▪ Existing ceilings to be repaired where evidence of dampness exists and redecorated with matt emulsion paint.</li> <li>▪ Existing stairs, doors, architrave and skirting in good condition to be retained, repaired where necessary and redecorated;</li> <li>▪ New services provision throughout. Electrical distribution to be recessed.</li> <li>▪ New lighting to be installed;</li> <li>▪ Windows to be redecorated and receive full overhaul to ensure full operation</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ Where evidence of dampness exists, assess condition and associated structure, carry out repairs and relining where necessary;</li> <li>▪ Ceiling to be redecorated with white emulsion paint finish;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ New threshold strips in doorways (Fire strategy TBD).</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ Exterior brick façade to be cleaned. Repair and redecoration of reveal and stone window cills if required.</li> <li>▪ Existing metal framed window refurbished in situ. Existing paint to be striped where necessary and touch-in paint applied to any scratched or chipped surface. Any loose putty to be removed and replaced with metal casement putty. Window and security bars to be redecorated with at least 3 coats of metal paint finish;</li> <li>▪ No shutters</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Walls to be made good where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary. 3 x coats of non-hydraulic lime plaster finish unless stated otherwise.</li> <li>▪ Walls to be made good where new opening has been created and intrusive investigations, fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> </ul>

	<ul style="list-style-type: none"> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ Existing internal doors and architrave to be repaired where necessary and redecorated in eggshell paint; For door information refer to door schedule;</li> <li>▪ Existing skirting to be redecorated with eggshell paint</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ Refer to finishes schedule.</li> </ul>
Fireplace	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Refer to drawing (67)AD004</li> <li>▪ Existing door 1A-2-D01 to provide 30min fire protection. Method of upgrade to be confirmed following fire engineer's door survey</li> <li>▪ 1no. 13a (6 litres aqueous film forming foam (AFFF) and 1no. 34b (2kg carbon dioxide) fire extinguishers.</li> <li>▪ Panels adjacent to door 1-3-D01 should be over clad on the fire side (non - stair side) with a fire resisting board that achieves 30 minutes fire resistance.</li> </ul>
Stairs	<ul style="list-style-type: none"> <li>▪ Repairs to be carried out to existing stone stairs 1AMS/4/S01 and curved wooden handrail in accordance with detail 24AD001;</li> <li>▪ Balustrade to be redecorated in black metal paint;</li> <li>▪ Handrail to be sanded down, stained and oiled;</li> <li>▪ Stringer, treads, risers and all visible elements of stair painted in eggshell paint to match existing.</li> <li>▪ Soffit of stair to be painted in emulsion to match ceiling;</li> <li>▪ Repairs to be carried out to existing timber stairs 1AMS/4/S02 in accordance with detail 24AD001;</li> <li>▪ Timber balustrade, handrail and associated paneling to be redecorated with eggshell paint;</li> <li>▪ Stringer, treads, risers and all visible elements of stair painted in eggshell paint to match existing.</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ For window information refer to window schedule;</li> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>



*Existing window to undergo full overhaul to ensure good working condition and receive full redecoration. Existing door to access stairs to first floor to be removed. Main stone stair to be redecorated.*



*Timber stair and associated panelling to be redecorated. Existing door linking 1MS to be upgraded to a 30min fire protected door. Panels adjacent to the door should be over clad on the fire side (non-stair side) with a fire resistant board that achieves 30 minutes fire protection.*



*Existing door openings to be infilled where necessary and finished to match adjoining walls*



**THIRD FLOOR LEVEL**

Room No. 1MS/5/006 Lobby	
Item	Scope of works
General	<ul style="list-style-type: none"> <li>▪ Existing fittings and services have already been removed;</li> <li>▪ New replacement lath and plaster finish to damaged areas of walls.</li> <li>▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum;</li> <li>▪ Existing ceilings to be redecorated with matt emulsion paint; New access hatch to be constructed;</li> <li>▪ New door 1-3-D05, 1-LG-D1 to be fitted and decorated in eggshell paint;</li> <li>▪ Existing stairs, skirting, doors, architrave and cornices to be retained, repaired where necessary and redecorated;</li> <li>▪ New services provision throughout. Electrical distribution to be recessed.</li> <li>▪ New lighting to be installed;</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable of loose/live plaster;</li> <li>▪ New hatch 1400 x 700mm to be constructed as set out in drawing (35)AP005; Localised trimming to joists required and new timber hatch reveal to be fitted, New retractable aluminium scissors stair and grab rail with integrated timber access panel to be installed; Refer to drawing (27)AD001; Timber surround to access hatch to be installed and decorated to match adjoining ceiling;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ Ceiling to be redecorated with white emulsion paint finish;</li> <li>▪ Existing cornice to be made good where necessary and redecorated;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No requirement for re-levelling</li> <li>▪ Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Walls to be made good where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary. 3 x coats of non-hydraulic lime plaster finish unless stated otherwise.</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes;</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ New internal door 1-3-D05 to be fitted and decorated in eggshell paint;</li> <li>▪ Existing door to stairs 1MS/5/S02 to be removed</li> <li>▪ Existing internal doors and architrave to be repaired where necessary and redecorated in eggshell paint</li> </ul>



	<ul style="list-style-type: none"> <li>▪ For door information refer to door schedule;</li> <li>▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows.</li> <li>▪ Existing skirting to be redecorated with eggshell paint</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ Refer to finishes schedule.</li> </ul>
Fireplace	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Refer to drawing (67)AD005</li> <li>▪ Existing door 1-3-D01, D02, D03 &amp; D04 to provide 30min fire protection. Method of upgrade to be confirmed following fire engineer's door survey</li> <li>▪ Proposed door 1-3-D05 to be FD30 door</li> <li>▪ Panels adjacent to door 1-3-D01 should be over clad on the fire side (non - stair side) with a fire resisting board that achieves 30 minutes fire resistance.</li> <li>▪ 1no. 13a (6 litres aqueous film forming foam (AFFF) and 1no. 34b (2kg carbon dioxide) fire extinguishers.</li> </ul>
Stairs	<ul style="list-style-type: none"> <li>▪ Repairs to be carried out to existing timber stairs 1MS/4/S02 &amp; 1MS/5/S02 in accordance with detail 24AD002;</li> <li>▪ Timber balustrade and handrail to be redecorated with eggshell paint;</li> <li>▪ Stringer, treads, risers and all visible elements of stair painted in eggshell paint to match existing.</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>



*Existing door to stairs 1MS/5/S02 to be removed and exposed wall to be made good. Existing doors to be retained to be upgraded for 30 min fire protection. Redecoration throughout*

Room No. 1MS/5/009 Office	
Item	Scope of works
General	<ul style="list-style-type: none"> <li>▪ Existing furniture, fittings and services have already been removed;</li> <li>▪ New infill created in existing wall to enclose existing door opening;</li> <li>▪ New replacement lath and plaster finish to damaged areas of walls.</li> <li>▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum;</li> <li>▪ Existing ceilings to be redecorated with matt emulsion paint.</li> <li>▪ Existing doors, architrave, skirting, and cornices to be retained, repaired where necessary and redecorated;</li> <li>▪ New services provision throughout. New surface mounted perimeter trunking for horizontal distribution. Electrical services chased into wall when they have to travel from floor or ceiling voids to the trunking enclosure.</li> <li>▪ New lighting to be installed;</li> <li>▪ Windows to be redecorated and receive full overhaul to ensure full operation</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ Ceiling to be redecorated with white emulsion paint finish;</li> <li>▪ Existing cornice to be made good where necessary and redecorated;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ Re-levelling of flooring required, Existing floor boards to be removed and joists to be packed and adjusted where necessary to ensure level surface;</li> <li>▪ Notched joists to be repaired/strengthened where required (to structural engineer's detail);</li> <li>▪ Floor boards appear in good condition and are to be relaid. Where damaged, they are to be fully repaired and made good as required;</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ Exterior brick façade to be cleaned. Repair and redecoration of reveal and stone window cills if required.</li> <li>▪ Windows refurbished in situ. Windows, window panels, window reveals, window cills to be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match skirting;</li> <li>▪ Window shutters to remain operational. To be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match redecorated joinery. Shutter bars to be restricted to prevent further damage to adjacent reveal panels;</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Walls to be made good where intrusive investigations have been carried out, where an infill has been created in wall to enclose existing door opening and where fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary. 3 x coats of non-hydraulic lime plaster finish unless stated otherwise.</li> </ul>

	<ul style="list-style-type: none"> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ Existing internal doors and architrave to be repaired where necessary and redecorated in eggshell paint; For door information refer to door schedule;</li> <li>▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows.</li> <li>▪ Existing skirting and shelving within alcove to be redecorated with eggshell paint;</li> <li>▪ Where wall requires overboarding, existing skirting is to be carefully removed, set aside with care and reinstated and redecorated in eggshell after overboarding of wall is completed.</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ Refer to finishes schedule.</li> </ul>
Fireplace	<ul style="list-style-type: none"> <li>▪ Gently clean fireplace with soap flakes dissolved in warm water using a soft cloth</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Refer to drawing (67)AD005</li> <li>▪ New door 1-3-D03 to provide 30min fire protection.</li> <li>▪ Existing wall as highlighted on drawing (67)AP005 to be overboarded with new fire resistant board to provide the required 30 minute fire protection.</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ Tenant to provide their own blinds;</li> <li>▪ For window information refer to window schedule;</li> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>



*Windows to undergo full overhaul to ensure good working condition and receive full redecoration.*



*Redecoration throughout. Fireplace to be cleaned.*



*Existing lighting to be removed and replaced. Refer to drawing (35)AP004. Ceiling to be repaired and made good following works.*

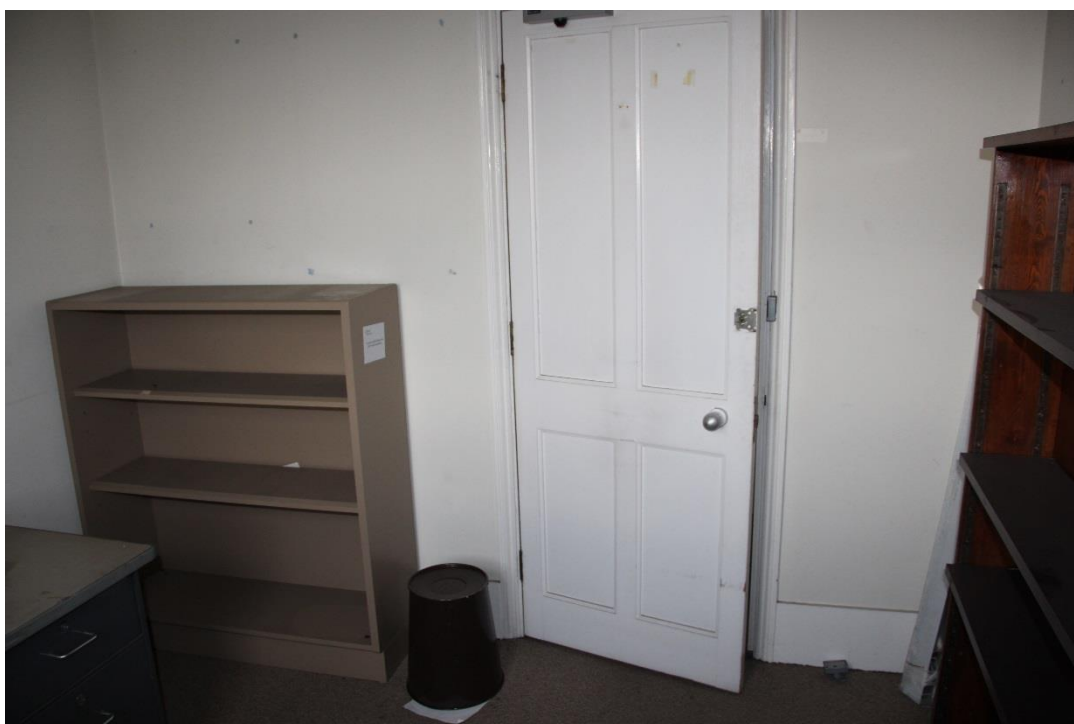


*Existing door to be removed and opening to be infilled. Finish to match adjoining walls*

Room No. 1MS/5/010 Office	
Item	Scope of works
General	<ul style="list-style-type: none"> <li>▪ Existing furniture, fittings and services have already been removed;</li> <li>▪ Existing secondary fabric to be removed as per drawing (18)AP005</li> <li>▪ New opening to be created within timber stud wall;</li> <li>▪ Carefully remove metal work and modern plaster finishes associated with previous museum shelving arrangement;</li> <li>▪ New plaster finish to any damaged area of walls;</li> <li>▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum;</li> <li>▪ Existing ceilings to be made good where existing partitions have been removed and redecorated with matt emulsion paint; Existing ceiling hatch to be enclosed;</li> <li>▪ New door 1-3-D08 to be fitted and decorated in eggshell paint;</li> <li>▪ Existing skirting, doors 1-3-D04 and 1-3-D02, architrave and cornices to be retained, repaired where necessary and redecorated;</li> <li>▪ New services provision throughout. New surface mounted perimeter trunking for horizontal distribution. Electrical services chased into wall when they have to travel from floor or ceiling voids to the trunking enclosure</li> <li>▪ New lighting to be installed</li> <li>▪ Windows to be redecorated and receive full overhaul to ensure full operation</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster;</li> <li>▪ Existing ceiling hatch to be enclosed; Timber surround, access door and reveal to be carefully removed. New timber ceiling joist elements to be fitted where previously removed to create access hatch. Remaining damaged ceiling to be repaired and finished as necessary to match adjoining ceiling.</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ Ceiling to be redecorated with white emulsion paint finish;</li> <li>▪ Existing cornice to be made good where necessary and redecorated;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No current requirement for re-levelling.</li> <li>▪ Floor boards appear in good condition. Where damaged, they are to be fully repaired and made good as required; New floor boards to be laid to match adjacent where partitions have been removed;</li> <li>▪ Notched joists to be repaired/strengthened where required (to structural engineer's detail);</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> <li>▪ New notches to joists required. Refer to (50)AP005 and structural details for information</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ Exterior brick façade to be cleaned. Repair and redecoration of reveal and stone window cills if required.</li> <li>▪ Windows refurbished in situ. Windows, window panels, window reveals, window cills to be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match skirting;</li> </ul>



	<ul style="list-style-type: none"> <li>▪ Window shutters to remain operational. To be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match redecorated joinery. Shutter bars to be restricted to prevent further damage to adjacent reveal panels;</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Walls to be made good where intrusive investigations have been carried out, where partitions have been removed and where fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary. 3 x coats of non-hydraulic lime plaster finish unless stated otherwise.</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.</li> <li>▪ Opening to wall required to allow services routes to pass through wall. Refer to (50)AP005 and structural details for information</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ New door 1-3-D08 to be fitted and decorated in eggshell paint;</li> <li>▪ Existing retained internal door and architrave to be repaired where necessary and redecorated in eggshell paint; For door information refer to door schedule;</li> <li>▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows.</li> <li>▪ Existing skirting to be redecorated with eggshell paint</li> <li>▪ Where wall requires overboarding, existing skirting is to be carefully removed, set aside with care and reinstated and redecorated in eggshell after overboarding of wall is completed</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ Refer to finishes schedule.</li> </ul>
Fireplace	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Refer to drawing (67)AD005</li> <li>▪ Existing door 1-3-D02 &amp; D04 to provide 30min fire protection. Method of upgrade to be confirmed following fire engineer's door survey</li> <li>▪ Existing walls as highlighted on drawing (67)AP005 to be overboarded with new fire resistant board to provide the required 30 minute fire protection.</li> <li>▪ New door 1-3-D08 to provide 60 min fire protection</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ Tenant to provide their own blinds;</li> <li>▪ For window information refer to window schedule;</li> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>



*Existing room 1MS/5/010:  
Existing fabric to be removed as per drawing (18)AP005. Remaining walls to be made good where necessary.  
Windows to undergo full overhaul to ensure good working condition and receive full redecoration.  
Redecoration throughout;*



*Existing room 1MS/5/011:*

*Existing fabric to be removed as per drawing (18)AP005. Remaining walls to be made good where necessary. Windows to undergo full overhaul to ensure good working condition and receive full redecoration. Existing ceiling hatch to be enclosed. Redecoration throughout;*



*Existing room 1MS/5/012:*

*Existing fabric to be removed as per drawing (18)AP005. Remaining walls to be made good where necessary.*

*Windows to undergo full overhaul to ensure good working condition and receive full redecoration.*

*Redecoration throughout;*





*Existing room 1MS/5/005:*

*Existing fabric to be removed as per drawing (18)AP005. Remaining walls to be made good where necessary.*

*Redecoration throughout;*

Room No. 1MS/5/013 Office	
Item	Scope of works
General	<ul style="list-style-type: none"> <li>▪ Existing furniture, fittings and services have already been removed;</li> <li>▪ New opening created within timber stud wall. Refer to detail drawing (70)AD031/032 and structural engineers information;</li> <li>▪ New replacement lath and plaster finish to damaged areas of walls. Refer to BDP drawings (70)AD031/032;</li> <li>▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum;</li> <li>▪ Existing ceilings to be made good where existing partitions have been removed and redecorated with matt emulsion paint. Existing ceiling hatch to be enclosed and new larger hatch to be constructed;</li> <li>▪ New door 1-3-D05, associated architrave and skirting to new partition to be fitted and decorated in eggshell paint;</li> <li>▪ Existing skirting in good condition, cornices and decorative mouldings to be retained, repaired where necessary and redecorated;</li> <li>▪ New services provision throughout. New surface mounted perimeter trunking for horizontal distribution. Electrical services chased into wall when they have to travel from floor or ceiling voids to the trunking enclosure</li> <li>▪ New service riser enclosure to contain main service run, See BDP detail drawing 50AD010;</li> <li>▪ New lighting to be installed;</li> <li>▪ Windows to be redecorated and receive full overhaul to ensure full operation</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster;</li> <li>▪ Existing ceiling hatch to be enclosed; Timber surround, access door and reveal to be carefully removed. New timber ceiling joist elements to be fitted where previously removed to create access hatch. Remaining damaged ceiling to be repaired and finished as necessary to match adjoining ceiling.</li> <li>▪ New hatch 1400 x 700mm to be constructed as set out in drawing (35)AP005; Localised trimming to joists required and new timber hatch reveal to be fitted, New retractable aluminium scissors stair and grab rail with integrated timber access panel to be installed; Refer to drawing (27)AD001; Timber surround to access hatch to be installed and decorated to match adjoining ceiling;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ Ceiling to be redecorated with white emulsion paint finish;</li> <li>▪ Existing cornice to be made good where necessary and redecorated;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No current requirement for re-levelling.</li> <li>▪ Floor boards appear in good condition. Where damaged, they are to be fully repaired and made good as required; New floor boards to be laid to match adjacent where partitions have been removed;</li> <li>▪ Notched joists to be repaired/strengthened where required (to structural engineer's detail);</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> </ul>

	<ul style="list-style-type: none"> <li>▪ New notches to joists required. Refer to (50)AP005 and structural details for information</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ Exterior brick façade to be cleaned. Repair and redecoration of reveal and stone window cills if required.</li> <li>▪ Windows refurbished in situ. Windows, window panels, window reveals, window cills to be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match skirting;</li> <li>▪ Window shutters to remain operational. To be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match redecorated joinery. Shutter bars to be restricted to prevent further damage to adjacent reveal panels;</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Walls to be made good where intrusive investigations have been carried out, where opening has been made in existing timber stud wall and where fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary. 3 x coats of non-hydraulic lime plaster finish unless stated otherwise.</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ New internal door 1-3-D05 and associated architrave to be fitted and decorated in eggshell paint; For door information refer to door schedule;</li> <li>▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows.</li> <li>▪ Existing skirting and shelving within alcove to be redecorated with eggshell paint;</li> <li>▪ Where wall requires overboarding, existing skirting is to be carefully removed, set aside with care and reinstated and redecorated in eggshell after overboarding of wall is completed</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ New enclosure design for main service run. Refer to BDP detail drawing (50)AD010;</li> <li>▪ Refer to finishes schedule.</li> </ul>
Fireplace	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Refer to drawing (67)AD005</li> <li>▪ Proposed doors 1-3-D05 to be FD30 door</li> <li>▪ Existing wall as highlighted on drawing (67)AP005 to be overboarded with new fire resistant board to provide the required 30 minute fire protection.</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ Tenant to provide their own blinds;</li> <li>▪ For window information refer to window schedule;</li> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>





*Windows to undergo full overhaul to ensure good working condition and receive full redecoration. Redecoration throughout;*



*Existing lighting to be removed and replaced. Refer to drawing (35)AP005. Ceiling to be repaired and made good following works.*



*New opening to be created within timber stud wall. Refer to detail drawings (70)AD031/032 and structural engineers information;*



*Existing room 1MS/5/013:*

*Existing fabric to be removed as per drawing (18)AP005. Remaining walls to be made good where necessary. Windows to undergo full overhaul to ensure good working condition and receive full redecoration. Redecoration throughout;*

Room No. 1AMS/5/001 Office	
Item	Scope of works
General	<ul style="list-style-type: none"> <li>▪ Existing furniture, fittings and services have already been removed;</li> <li>▪ New opening created within masonry wall to link existing rooms 1AMS/5/003 and 1AMS/5/004. Refer to structural engineer's information; and 2 x openings in timber study walls.</li> <li>▪ New structural opening created in loadbearing wall for services routes to travel from the existing lift shaft. Refer to structural engineer's information and BDP drawing (50)AD002.</li> <li>▪ New infills created in existing walls to enclose existing door openings;</li> <li>▪ New replacement lath and plaster/original plaster finish to damaged areas of walls. (Refer to lath and plaster survey)</li> <li>▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum;</li> <li>▪ Existing ceilings to be made good where existing partitions have been removed and redecorated with matt emulsion paint. Existing ceiling hatch to be increased in size and additional new larger hatch to be constructed;</li> <li>▪ New door 1A-3-D03 and associated architrave to be fitted and decorated in eggshell paint;</li> <li>▪ Existing doors 1A-3-D01 &amp; 1A-3-D02, architrave and skirting in good condition to be retained, repaired where necessary and redecorated;</li> <li>▪ New services provision throughout. New surface mounted perimeter trunking for horizontal distribution. Electrical services chased into wall when they have to travel from floor or ceiling voids to the trunking enclosure</li> <li>▪ New lighting to be installed;</li> <li>▪ Windows to be redecorated and receive full overhaul to ensure full operation</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable of loose/live plaster;</li> <li>▪ Retain existing rainwater pipe and replace boxing in with plasterboard enclosure. Finish to match adjoining walls;</li> <li>▪ Existing ceiling access hatch to be increased in size to 1400mm x 700mm as set out in drawing (35)AP005. Localised trimming to joists required. Timber hatch reveal and timber surround to be repaired and extended as necessary; New retractable aluminium scissors stair and grab rail with integrated timber access panel to be installed; Refer to drawing (27)AD001; Timber surround to access hatch to be installed and decorated to match adjoining ceiling;</li> <li>▪ New hatch 1400 x 700mm to be constructed as set out in drawing (35)AP005; Localised trimming to joists required and new timber hatch reveal to be fitted, New retractable aluminium scissors stair and grab rail with integrated timber access panel to be installed; Refer to drawing (27)AD001; Timber surround to access hatch to be installed and decorated to match adjoining ceiling;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ Where evidence of dampness exists, assess condition and associated structure, carry out repairs and relining where necessary;</li> <li>▪ Ceiling to be redecorated with white emulsion paint finish;</li> </ul>

	<ul style="list-style-type: none"> <li>▪ Existing cornice to be made good where necessary and redecorated with thin paint coating to ensure that decorative detail is not lost.</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No current requirement for re-levelling.</li> <li>▪ Floor boards appear in good condition. Where damaged, they are to be fully repaired and made good as required; New floor boards to be laid to match adjacent where partitions have been removed;</li> <li>▪ Notched joists to be repaired/strengthened where required (to structural engineer's detail);</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> <li>▪ New notches to joists required. Refer to (50)AP005 for information.</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ Exterior brick façade to be cleaned. Repair and redecoration of reveal and stone window cills if required.</li> <li>▪ Windows refurbished in situ. Windows, window panels, window reveals, window cills to be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match skirting;</li> <li>▪ No shutters;</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Walls to be made good where intrusive investigations have been carried out, where openings and infills have been made in existing walls and where fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary and damaged areas of lath and plaster to be replaced. (Refer to lath and plaster survey). 3 x coats of non-hydraulic lime plaster finish unless stated otherwise.</li> <li>▪ New structural opening created in loadbearing wall for services routes to travel from the existing lift shaft. Refer to structural engineer's information and BDP drawing (50)AD002.</li> <li>▪ Where evidence of dampness exists, assess condition and associated structure, carry out repairs and relining where necessary;</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.</li> <li>▪ Opening to wall required to allow services routes to pass through wall. Refer to (50)AP005 and structural details for information.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ New internal door 1A-3-D03 and associated architrave to be fitted and decorated in eggshell paint;</li> <li>▪ Existing internal doors and architrave to be repaired where necessary and redecorated in eggshell paint</li> <li>▪ For door information refer to door schedule;</li> <li>▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows.</li> <li>▪ Existing skirting to be redecorated with eggshell paint</li> <li>▪ Where wall requires overboarding, existing skirting is to be carefully removed, set aside with care and reinstated and redecorated in eggshell after overboarding of wall is completed.</li> </ul>

Decorations	<ul style="list-style-type: none"> <li>▪ Refer to finishes schedule.</li> </ul>
Fireplace	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Refer to drawing (67)AD005</li> <li>▪ Existing door 1A-3-D01 &amp; D02 to provide 30min fire protection. Method of upgrade to be confirmed following fire engineer's door survey</li> <li>▪ Existing wall as highlighted on drawing (67)AP005 to be overboarded with new fire resistant board to provide the required 30 minute fire protection.</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ Tenant to provide their own blinds;</li> <li>▪ For window information refer to window schedule;</li> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>





*Existing room 1AMS/5/002:*

*Existing fabric to be removed as per drawing (18)AP005. Remaining walls to be made good where necessary.*

*Existing door opening to be infilled and finished to match adjoining walls. Window to undergo full overhaul to ensure good working condition and receive full redecoration. Redecoration throughout;*







*Existing room 1AMS/5/002:*

*Existing fabric to be removed as per drawing (18)AP005. Remaining walls to be made good where necessary. Window to undergo full overhaul to ensure good working condition and receive full redecoration. Redecoration throughout;*







*Existing room 1AMS/5/003:*

*Where dampness exists, condition is to be assessed and repairs carried out as necessary. Redecoration throughout;*





*Existing room 1AMS/5/004:*

*Existing fabric to be removed as per drawing (18)AP005. Remaining walls to be made good where necessary. Where dampness exists, condition is to be assessed and repairs carried out as necessary. Redecoration throughout. Existing rainwater pipe to be retained and existing boxing in to be replaced with plasterboard enclosure.*



*Existing room 1AMS/5/001:*

*Existing fabric to be removed as per drawing (18)AP005. Remaining walls to be made good where necessary. Redecoration throughout;*

Room No. 1AMS/5/S02 Stair	
Item	Scope of works
General	<ul style="list-style-type: none"> <li>▪ Existing fittings and services have already been removed;</li> <li>▪ New replacement lath and plaster finish/plaster finish to any damaged areas of walls.</li> <li>▪ New infills created in existing walls to enclose existing door openings;</li> <li>▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum;</li> <li>▪ Existing ceilings to be made good where existing partition has been removed and redecorated with matt emulsion paint.</li> <li>▪ Existing stairs, doors, architrave and skirting in good condition to be retained, repaired where necessary and redecorated;</li> <li>▪ New balustrade to be fitted in landing area where partition has been removed;</li> <li>▪ New services provision throughout. Electrical distribution to be recessed.</li> <li>▪ New lighting to be installed</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ Where evidence of dampness exists, assess condition and associated structure, carry out repairs and relining where necessary;</li> <li>▪ Ceiling to be redecorated with white emulsion paint finish;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No requirement for re-levelling</li> <li>▪ Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Walls to be made good where intrusive investigations have been carried out, where infills have been made in existing walls and where fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary. 3 x coats of non-hydraulic lime plaster finish unless stated otherwise.</li> <li>▪ Where evidence of dampness exists, assess condition and associated structure, carry out repairs and relining where necessary;</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.</li> <li>▪ Opening to wall required to allow services routes to pass through wall. Refer to (50)AP005 and structural details for information.</li> </ul>

Joinery	<ul style="list-style-type: none"> <li>▪ Existing internal doors and architrave to be repaired where necessary and redecorated in eggshell paint; For door information refer to door schedule;</li> <li>▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows.</li> <li>▪ Existing skirting to be redecorated with eggshell paint</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ Refer to finishes schedule.</li> </ul>
Fireplace	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Refer to drawing (67)AD005</li> <li>▪ Existing door 1A-3-D01 &amp; D02 to provide 30min fire protection. Method of upgrade to be confirmed following fire engineer's door survey</li> <li>▪ Proposed door 1-3-D08 to be FD60 door</li> <li>▪ 1no. 13a (6 litres aqueous film forming foam (AFFF) and 1no. 34b (2kg carbon dioxide) fire extinguishers.</li> </ul>
Stairs	<ul style="list-style-type: none"> <li>▪ Repairs to be carried out to existing timber stairs 1MS/5/S02 in accordance with detail 24AD002;</li> <li>▪ Timber balustrade and handrail to be redecorated with eggshell paint;</li> <li>▪ Stringer, treads, risers and all visible elements of stair painted in eggshell paint to match existing.</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>



*Timber stair to be redecorated.*



*Existing doors to be removed as per drawing (18)AP005. Existing door opening to room to be infilled and finished to match adjoining walls. Remaining existing doors to be upgrades for 30min fire protection;*

**ROOF LEVEL**

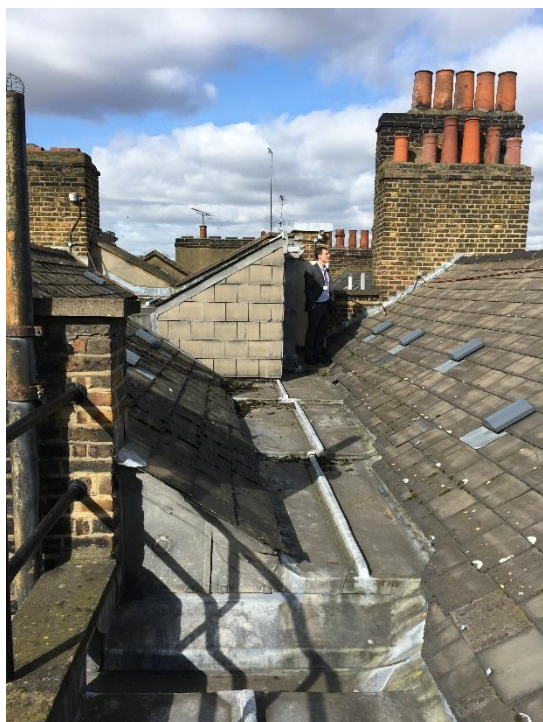
Room No. 1MS/6/X01 and roof void below	
Item	Scope of works
General	<ul style="list-style-type: none"> <li>▪ Localised repairs. All existing slate and leadwork to be cleaned to remove any organic growth and loose debris. New natural slates to match existing where modern tiles have been fitted and where damage has occurred.</li> <li>▪ All lead to gutters to be new in accordance to drawing (27)AP001.</li> <li>▪ All cover flashing to be new as per to drawing (27)AP001.</li> <li>▪ All Stone copings to be cleaned to remove any organic growth and loose debris</li> <li>▪ All chimney pots to be fitted with new terracotta ventilated caps.</li> <li>▪ New discreet fall restraint system fitted at the perimeter roof level to provide safe access for ongoing maintenance.</li> <li>▪ All organic growth from existing roof coverings to be removed. Allow for new natural slates to match existing where modern tiles have been fitted and where damage has occurred.</li> <li>▪ Allow for ridge repairs. Refer to detail 13 in Structural engineer drawings.</li> <li>▪ Localised lime mortar repairs where required.</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ New insulation laid within the ceiling void above the 3rd floor between existing joists and new crawl boards fitted to provide safe access.</li> </ul>
External walls, windows, doors, railings	<ul style="list-style-type: none"> <li>▪ Timber access door to be overhauled to ensure good working condition and redecorated with dulux weather shield.</li> <li>▪ Existing handrail to be interrogated. Redecorated with exterior grade metal paint.</li> </ul>
Stairs	<ul style="list-style-type: none"> <li>▪ Proposed aluminium grated access steps. Refer for (27)AP001.</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical services within roof void.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>





*Roof 1MS/6/X01*

All lead to gutters and cover flashing to be new in accordance to drawing (27)AP001.



*Roof 1MS/6/X01*

Timber access door to be overhauled to ensure good working condition and redecorated with dulux weather shield.

Room No. 1AMS/6/X01 and roof void below	
Item	Scope of works
General	<ul style="list-style-type: none"> <li>▪ Localised repairs. All existing slate and leadwork to be cleaned to remove any organic growth and loose debris. New natural slates to match existing where modern tiles have been fitted and where damage has occurred.</li> <li>▪ All lead to gutters to be new in accordance to drawing (27)AP001.</li> <li>▪ All cover flashing to be new as per to drawing (27)AP001.</li> <li>▪ All Stone copings to be cleaned to remove any organic growth and loose debris</li> <li>▪ All chimney pots to be fitted with new terracotta ventilated caps.</li> <li>▪ New discreet fall restraint system fitted at the perimeter roof level to provide safe access for ongoing maintenance.</li> <li>▪ All organic growth from existing roof coverings to be removed. Allow for new natural slates to match existing where modern tiles have been fitted and where damage has occurred.</li> <li>▪ Existing lead rainwater gully carefully removed and new wider lead design implemented to reduce risk of overflow. Note implications to base of existing slate roofs. Refer to drawing (27)AD001 and structural drawings (detail 14).</li> <li>▪ Existing roof access dormer to be removed. New timber and leadwork roof access dormer to match design and materials of existing.</li> <li>▪ Allow for ridge repairs. Refer to detail 13 in Structural engineer drawings.</li> <li>▪ Localised lime mortar repairs where required.</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ New insulation laid within the ceiling void above the 3rd floor between existing joists and new crawl boards fitted to provide safe access.</li> </ul>
External walls, windows, doors, railings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Stairs	<ul style="list-style-type: none"> <li>▪ Proposed aluminium grated access steps. Refer for (27)AP001.</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>



*Roof 1AMS/6/X01*

Existing roof access dormer to be removed. New timber and leadwork roof access dormer to match design and materials of existing



*Roof 1AMS/6/X01*

All existing slate and leadwork to be cleaned to remove any organic growth and loose debris. New natural slates to match existing where modern tiles have been fitted and where damage has occurred.

<b>Room No. 1AMS/5/L313</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Existing roof including parapet walls to be repaired if necessary</li> <li>▪ All Stone copings to be cleaned to remove any organic growth and loose debris</li> <li>▪</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
External walls, windows, doors, railings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Stairs	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>



*Roof 1AMS/5/L313*

Existing lift shaft roof. Existing roof including parapet walls and copings to be repaired if necessary.

**Facades**

<b>1-1A Montague Street Front Elevation</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Existing doors to be redecorated with exterior grade paint finish.</li> <li>▪ Patch repairs to render where necessary. Stucco to be redecorated with breathable mineral paint finish in colour to match existing.</li> <li>▪ All vegetation to be removed from brick facades and brick perimeter walls, brick to be cleaned;</li> <li>▪ Localised repointing if required. Non Hydraulic lime mortar.</li> <li>▪ Cracking to brickwork to be repaired if necessary. Replacement of bricks where required and new bricks where missing</li> <li>▪ All external rainwater goods to be repaired if necessary and receive new exterior grade paint finish.</li> <li>▪ All existing railings to be redecorated with exterior grade paint finish in colour to match existing. Access to balconies to be restricted.</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Floors / Steps	<ul style="list-style-type: none"> <li>▪ Front entrance steps to be cleaned of all organic growth and debris. Refer to BDP drawing (20)AE001 for method of statement.</li> </ul>
External walls, windows, doors, railings	<ul style="list-style-type: none"> <li>▪ Remove all friable of paint or loose/live plaster from stucco walls</li> <li>▪ Areas of existing damaged stucco to be made good where required and redecorated;</li> <li>▪ Existing external doors to be repaired where necessary and redecorated in a high gloss, weather resistant paint; For door information refer to door schedule;</li> <li>▪ All existing windows, reveals and cills, joinery and shutters to be repaired and redecorated as necessary. Colours to match existing. For window information refer to window schedule;</li> <li>▪ All existing railings to be redecorated with exterior grade paint finish in colour to match existing. Access to balconies to be restricted.</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ Refer to finishes schedule.</li> <li>▪ All existing pipework to be cleaned and redecorated</li> </ul>
Fireplace	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Lighting design in accordance with building services engineer's details. Visibility of light fittings from street to be prevented.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>



Stairs	<ul style="list-style-type: none"><li>▪ N/A</li></ul>
Additional Notes	<ul style="list-style-type: none"><li>▪ For ironmongery information refer to ironmongery schedule.</li><li>▪ For door information refer to door schedule</li></ul>



*1A Montague Street - Front Elevation*



*1 and 1A Montague Street - Front Elevation*

1-1A Montague Street Rear Elevation	
Item	Scope of works
General	<ul style="list-style-type: none"> <li>▪ Existing doors to be redecorated with exterior grade paint finish</li> <li>▪ All vegetation to be removed from brick facades and brick perimeter walls, brick to be cleaned;</li> <li>▪ Carefully remove and replace existing brickwork at the upper left hand side in 1MS to align with adjacent. New lime mortar pointing. Refer to BDP drawing (20)AE002.</li> <li>▪ Minimum area of existing displaced brick around the balcony at the first floor in 1MS to be removed and replaced with a blend of saved brick and reclaimed brick to match existing. Refer to BDP drawing (20)AE002 and structural drawing 063007 First Floor for specifications.</li> <li>▪ Existing balconies in 1MS to be repaired and redecorated. Access to it to be restricted</li> <li>▪ Organic growth to be removed from rainwater hoppers where required.</li> <li>▪ Localised non hydraulic repointing where required.</li> <li>▪ Cracking to brickwork to be repaired if necessary. Replacement of bricks where required and new bricks where missing</li> <li>▪ All external rainwater goods to be repaired if necessary and receive new exterior grade paint finish.</li> <li>▪ All existing railings to be redecorated with exterior grade paint finish in colour to match existing. Access to balconies to be restricted.</li> <li>▪ Patch repairs to render in 1A MS where necessary. Stucco to be redecorated with breathable mineral paint finish in colour to match existing.</li> <li>▪ Two existing windows at Ground and First Floor in 1A MS to be replaced for a sash timber windows to match materials of existing sash windows in the adjacent Montague Street facing rooms. Existing security bars to be removed. Existing window cill at First Floor to match height of existing sash windows in the adjacent Montague Street facing room. Refer to BDP drawing (31)AD001 and 31)AD002.</li> <li>▪ Existing door in 1A MS containing asbestos to be replaced with new to match existing. Refer to detail drawing (32)AD001</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Floors / Steps	<ul style="list-style-type: none"> <li>▪ Front entrance steps to be cleaned of all organic growth and debris.</li> </ul>
External walls, windows, doors, railings	<ul style="list-style-type: none"> <li>▪ Remove all friable of paint or loose/live plaster from stucco walls in 1A MS</li> <li>▪ Areas of existing damaged stucco in 1A MS to be made good where required and redecorated;</li> <li>▪ Existing external doors to be repaired where necessary and redecorated in a high gloss, weather resistant paint; For door information refer to door schedule;</li> <li>▪ All existing windows, reveals and cills, joinery and shutters to be repaired and redecorated as necessary. Colours to match existing. For window information refer to window schedule;</li> <li>▪ Existing balustrade at roof level to be refurbished to ensure stability and redecorated with exterior grade paint finish to match existing colour.</li> </ul>



	<ul style="list-style-type: none"> <li>▪ All existing railings to be redecorated with exterior grade paint finish in colour to match existing. Access to balconies to be restricted.</li> <li>▪ New timber lintel behind window at Ground Floor in 1MS. Refer to structural engineer detail 10, drawing 063007-07</li> <li>▪ Railing in for ground in 1MS to be modified and redecorated. Refer to detail (41)AD002</li> <li>▪ New railing added in 1A MS to existing parapet in design and finish to replicate existing adjacent. Height to comply with building regulations.</li> <li>▪ Existing door in 1A MS containing asbestos to be replaced with new to match existing. Refer to detail drawing (32)AD001</li> <li>▪ Two existing windows at Ground and First Floor in 1A MS to be replaced for a sash timber windows to match materials of existing sash windows in the adjacent Montague Street facing rooms. Existing security bars to be removed. Existing window cill at First Floor to match height of existing sash windows in the adjacent Montague Street facing room. Refer to BDP drawing (31)AD001 and 31)AD002.</li> <li>▪ All metal windows to be redecorated.</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ External timber panelling in 1A MS to be stripped back repaired and redecorated in exterior grade paint finish to match colour of existing. Refer to drawing (20)AP002</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ Refer to finishes schedule.</li> <li>▪ All existing pipework to be cleaned and redecorated</li> <li>▪ Existing tie bars in 1MS to be redecorated with exterior grade paint finish to match colour of existing</li> </ul>
Fireplace	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Existing light fittings and cabling to be removed. New external replacement light fittings. Refer to BDP drawing (20)AE002 and M&amp;E specifications.</li> <li>▪ New extract duct from kitchenette and WC at ground floor level of 1MS.</li> <li>▪ Redundant vent pipes to be removed and holes to be blocked up with finishes to match existing adjacent. Refer to drawing (18)AE002</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Stairs	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ For ironmongery information refer to ironmongery schedule.</li> <li>▪ For door information refer to door schedule</li> </ul>