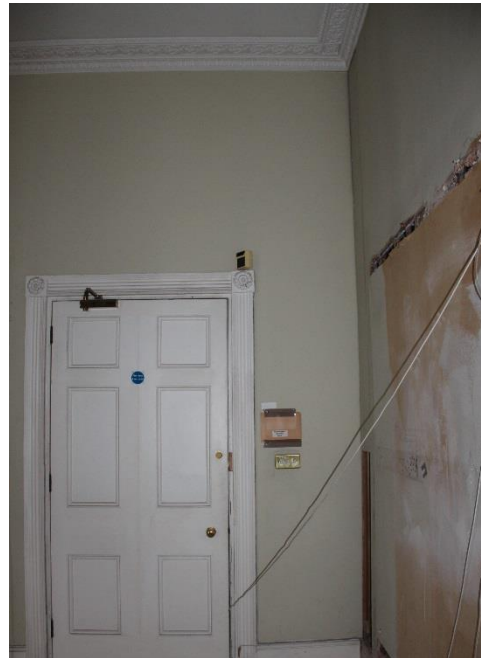




ELEVATION 5 - Metal work and damaged modern plaster finishes to be carefully removed and replaced with lath and plaster to match existing adjacent. Redecoration throughout.



ELEVATION 6 - Original opening to be reinstated; Modern timber stud and plasterboard infill to be carefully removed; Fire upgrade requirements. Fire upgrade requirements. Damaged modern wall finishes to be made good to provide a suitable surface for new fire resistant board. Lath and plaster to be overboarded to achieve 30 minute fire protection. Existing cornice and skirting carefully removed, set aside with care and reinstated when the overboarding is completed. Ironmongery to be retained and refurbished.



ELEVATION 7 - Metal work and damaged modern plaster finishes to be carefully removed and replaced with lath and plaster to match existing adjacent. Redecoration throughout. New enclosure design for main service run. Refer to BDP detail drawing (50)AD009



ELEVATION 8 - Windows and shutters to undergo full overhaul to ensure good working condition and receive full redecoration

Room No. 1MS/3/003 Office	
Item	Scope of works
General	<ul style="list-style-type: none"> ▪ Existing furniture, fittings and services have already been removed; ▪ Carefully remove metal work and modern plaster finishes associated with previous museum shelving arrangement and repair adjacent finishes; ▪ New replacement lath and plaster finish to damaged areas of walls. Refer to BDP drawings (70)AD026/027; ▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum; ▪ Existing ceilings to be redecorated with matt emulsion paint. ▪ New door 1-1-D06, associated architrave and skirting where missing to be fitted and decorated in eggshell paint; Refer to BDP series drawings (32) ▪ Existing skirting in good condition, doors, architrave, cornices and decorative mouldings to be retained, repaired where necessary and redecorated; ▪ New services provision throughout. Electrical distribution to be recessed. ▪ New lighting to be installed ▪ Windows to be redecorated and receive full overhaul to ensure full operation
Ceilings	<ul style="list-style-type: none"> ▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster; ▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required; ▪ Ceiling to be redecorated with white emulsion paint finish; ▪ Existing cornice to be made good where necessary and redecorated with thin paint coating to ensure that decorative detail is not lost.
Floors	<ul style="list-style-type: none"> ▪ Existing floor finishes have been removed. ▪ No current requirement for re-levelling. ▪ Floor boards appear in good condition. Where damaged, they are to be fully repaired and made good as required; ▪ Notched joists to be repaired/strengthened where required (to structural engineer's detail); ▪ New threshold strips in doorways (Fire strategy TBD) ▪ New electrical floor outlet boxes as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.
External walls, windows, doors	<ul style="list-style-type: none"> ▪ Exterior brick façade to be cleaned. Repair and redecoration of reveal and stone window cills if required. ▪ Windows refurbished in situ. Windows, window panels, window reveals, window cills to be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match skirting;

	<ul style="list-style-type: none"> ▪ Window shutters to remain operational. To be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match redecorated joinery. Shutter bars to be restricted to prevent further damage to adjacent reveal panels;
Internal walls	<ul style="list-style-type: none"> ▪ Walls to be made good where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered with lath and plaster where necessary. 3 x coats of non-hydraulic lime plaster finish unless stated otherwise. ▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow & Ball type colours to be matched with Dulux trade paint; ▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.
Joinery	<ul style="list-style-type: none"> ▪ New internal door 1-1-D06 and associated architrave to be fitted and decorated in eggshell paint; ▪ Existing internal doors and architrave to be repaired where necessary and redecorated in eggshell paint ▪ For door information refer to door schedule; ▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows. ▪ Existing skirting to be redecorated with eggshell paint
Decorations	<ul style="list-style-type: none"> ▪ New enclosure design for floor mounted VRF units. Refer to detail drawing (50)AD001 ▪ Fine decorative cornices to be cleaned prior to redecoration with new thin paint coating to ensure decorative detail is not lost. ▪ Refer to finishes schedule.
Fireplace	<ul style="list-style-type: none"> ▪ N/A
Fixtures and Fittings	<ul style="list-style-type: none"> ▪ N/A
Services	<ul style="list-style-type: none"> ▪ Installation of new mechanical and electrical services. ▪ Lighting design in accordance with building services engineer's details.
Fire Protection	<ul style="list-style-type: none"> ▪ Refer to drawing (67)AD003 ▪ Existing door 1-1-D02 provide 30min fire protection. Method of upgrade to be confirmed following fire engineer's door survey ▪ New door 1-1-D06 to provide 60min fire protection.
Additional Notes	<ul style="list-style-type: none"> ▪ Tenant to provide their own blinds; ▪ For window information refer to window schedule; ▪ For ironmongery information refer to ironmongery schedule.



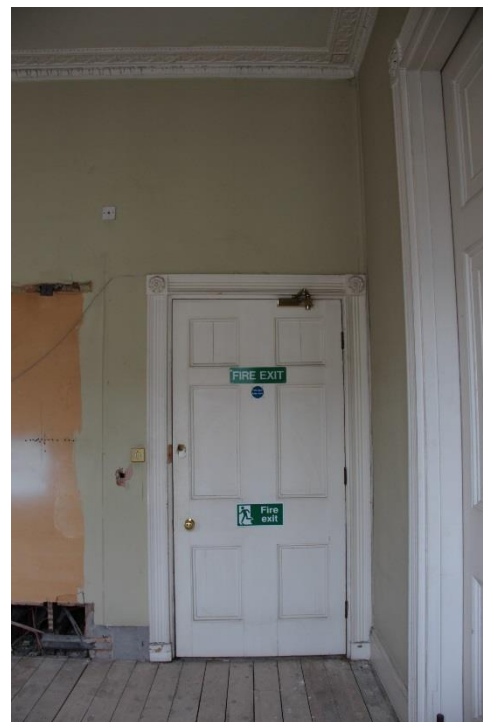
ELEVATION 3 - Damaged modern wall finishes to be carefully removed with existing adjacent construction to be made good. New lath and plaster finishes required and full redecoration throughout. Existing door to be refurbished and redecorated. Ironmongery to be retained and refurbished.



ELEVATION 2 - Windows and shutters to undergo full overhaul to ensure good working condition and receive full redecoration. Metal work and damaged modern plaster finishes to be carefully removed and replaced with lath and plaster to match existing adjacent. Redecoration throughout.



ELEVATION 2 – New FD30 double doors to be fitted in existing opening to match design of door 1-1-D01. Refer to detail drawing (32)AD002



ELEVATION 4 - Metal work and damaged modern plaster finishes to be carefully removed and replaced with lath and plaster to match existing adjacent. Redecoration throughout. Existing door refurbished and redecorated. Fire upgrade requirements TBD. Ironmongery to be retained and refurbished.

Room No. 1MS/3/S01 Stairs	
Item	Scope of works
General	<ul style="list-style-type: none"> ▪ Existing fittings and services have already been removed; ▪ New replacement lath and plaster finish to damaged areas of walls. ▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum; ▪ Existing ceilings to be redecorated with matt emulsion paint. ▪ Existing stairs, skirting, doors, architrave, cornices and decorative mouldings to be retained, repaired where necessary and redecorated; ▪ New services provision throughout. Electrical distribution to be recessed. ▪ New lighting to be installed ▪ Window to be redecorated and receive full overhaul to ensure full operation
Ceilings	<ul style="list-style-type: none"> ▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable of loose/live plaster; ▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required; ▪ Ceiling to be redecorated with white emulsion paint finish; ▪ Existing cornice to be made good where necessary and redecorated with thin paint coating to ensure that decorative detail is not lost.
Floors	<ul style="list-style-type: none"> ▪ Existing floor finishes have been removed. ▪ No requirement for re-levelling ▪ Stone floor appears in good condition. Any areas of damage to be made good as required; ▪ New threshold strips in doorways (Fire strategy TBD)
External walls, windows, doors	<ul style="list-style-type: none"> ▪ Exterior brick façade to be cleaned. Repair and redecoration of reveal and stone window cills if required. ▪ Windows refurbished in situ. Windows, window panels, window reveals, window cills to be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match skirting; ▪ No shutters
Internal walls	<ul style="list-style-type: none"> ▪ Walls to be made good where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary. 3 x coats of non-hydraulic lime plaster finish unless stated otherwise. ▪ Beading to be replaced to match existing where damaged area of wall is to be repaired ▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow & Ball type colours to be matched with Dulux trade paint; ▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.

Joinery	<ul style="list-style-type: none"> ▪ Existing internal doors and architrave to be repaired where necessary and redecorated in eggshell paint, For door information refer to door schedule; ▪ Existing skirting to be redecorated with eggshell paint
Decorations	<ul style="list-style-type: none"> ▪ Fine decorative cornices to be cleaned prior to redecoration with new thin paint coating to ensure decorative detail is not lost. ▪ Refer to finishes schedule.
Fireplace	<ul style="list-style-type: none"> ▪ N/A
Fixtures and Fittings	<ul style="list-style-type: none"> ▪ N/A
Services	<ul style="list-style-type: none"> ▪ Installation of new mechanical and electrical services. ▪ Lighting design in accordance with building services engineer's details.
Fire Protection	<ul style="list-style-type: none"> ▪ Within fire protected enclosure. Refer to drawing (67)AD001 and information for room 1MS/3/002 in relation to upgrade of specific existing walls; ▪ Existing door 1-1-D02, D03 & D04 to provide 30min fire protection. Method of upgrade to be confirmed following fire engineer's door survey ▪ 1no. 13a (6 litres aqueous film forming foam (AFFF) and 1no. 34b (2kg carbon dioxide) fire extinguishers.
Stairs	<ul style="list-style-type: none"> ▪ Repairs to be carried out to existing stone stairs and curved wooden handrail in accordance with detail 24AD002; ▪ Balustrade redecorated in black metal paint; ▪ Handrail to be sanded down, stained and oiled; ▪ Stringer, treads, risers and all visible elements of stair painted in eggshell paint to match existing. ▪ Soffit of stair to be painted in emulsion to match ceiling;
Additional Notes	<ul style="list-style-type: none"> ▪ For window information refer to window schedule; ▪ For ironmongery information refer to ironmongery schedule.



Window to undergo full overhaul to ensure good working condition and receive full redecoration. Existing doors to be refurbished and redecorated. Fire upgrade requirements TBD. Ironmongery to be retained and refurbished. Stairs, balustrade and handrail to be fully refurbished and redecorated

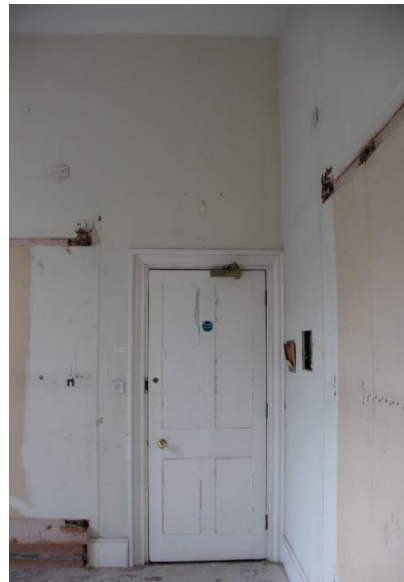


Repairs to be carried out to damaged area of wall. Existing damaged plasterwork to be carefully removed and replaced with new plaster to match adjacent existing. Wall beading to be replaced as required. Full redecoration throughout

Room No. 1AMS/3/005 Office	
Item	Scope of works
General	<ul style="list-style-type: none"> ▪ Existing furniture, fittings and services have already been removed; ▪ Original opening to be reinstated; Modern timber stud and plasterboard infill to be carefully removed; Refer to structural engineer's information; ▪ New structural opening created in loadbearing wall for services routes to travel from the existing lift shaft. Refer to structural engineer's information and BDP drawing (50)AD002. ▪ Carefully remove metal work and modern plaster finishes associated with previous museum shelving arrangement and repair adjacent finishes; ▪ New replacement lath and plaster finish to damaged areas of walls. Refer to BDP drawings (70)AD028/029/030; ▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum; ▪ New suspended ceiling to be installed to contain services in specific area of room. See BDP drawing (35)AP003. ▪ Existing ceiling to be redecorated with matt emulsion paint. ▪ New doors 1A-1-D01, D02, D03 & D05 and skirting where missing to be fitted and decorated in eggshell paint; ▪ Existing skirting, architrave, cornices and decorative mouldings to be retained, repaired where necessary and redecorated; ▪ New services provision throughout. Electrical distribution to be recessed. ▪ New lighting to be installed ▪ Windows to be redecorated and receive full overhaul to ensure full operation
Ceilings	<ul style="list-style-type: none"> ▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable of loose/live plaster; ▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required; ▪ New suspended ceiling to be installed to contain services in specific area of room. See BDP drawing (35)AP003. ▪ Ceiling to be redecorated with white emulsion paint finish; ▪ Existing cornice to be made good where necessary and redecorated with thin paint coating to ensure that decorative detail is not lost.
Floors	<ul style="list-style-type: none"> ▪ Existing floor finishes have been removed. ▪ No requirement for re-levelling ▪ Floor boards appear in good condition. Where damaged, they are to be fully repaired and made good as required; ▪ Notched joists to be repaired/strengthened where required (to structural engineer's detail); ▪ Stone floor appears in good condition. Any areas of damage to be made good as required; ▪ New threshold strips in doorways (Fire strategy TBD) ▪ New electrical floor outlet boxes as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes. ▪ New notches to joists required. Refer to (50)AP003 and structural details for information.

External walls, windows, doors	<ul style="list-style-type: none"> ▪ Exterior brick façade to be cleaned. Repair and redecoration of reveal and stone window cills if required. ▪ Windows refurbished in situ. Windows, window panels, window reveals, window cills to be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match skirting; ▪ Window shutters to remain operational. To be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match redecorated joinery. Shutter bars to be restricted to prevent further damage to adjacent reveal panels;
Internal walls	<ul style="list-style-type: none"> ▪ Walls to be made good where original opening has been reinstated, intrusive investigations carried out and where fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered with lath and plaster where necessary. 3 x coats of non-hydraulic lime plaster finish unless stated otherwise. ▪ New structural opening created in loadbearing wall for services routes to travel from the existing lift shaft. Refer to structural engineer's information and BDP drawing (50)AD002. ▪ Where modern plaster exists in the rear area of the room, (later addition to original building) walls to be re-plastered to match adjacent where necessary; ▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow & Ball type colours to be matched with Dulux trade paint; ▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes. ▪ Opening to wall required to allow services routes to pass through wall. Refer to (50)AP003 and structural details for information.
Joinery	<ul style="list-style-type: none"> ▪ New internal doors 1A-1-D01, D02, D03 & D05, to be fitted and decorated in eggshell paint; For door information refer to door schedule; ▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows. ▪ Existing skirting to be redecorated with eggshell paint ▪ Existing skirting as highlighted in drawing (70)AD028 carefully removed and set aside with care if wall requires upgrade to 30minute fire protection. Reinstated and redecorated when the overboarding of the wall is completed. If damage occurs refer to method of statement
Decorations	<ul style="list-style-type: none"> ▪ New enclosure design for floor mounted VRF units. Refer to detail drawing (50)AD001 ▪ Fine decorative cornices to be cleaned prior to redecoration with new thin paint coating to ensure decorative detail is not lost. ▪ Refer to finishes schedule.
Fireplace	<ul style="list-style-type: none"> ▪ N/A
Fixtures and Fittings	<ul style="list-style-type: none"> ▪ N/A
Services	<ul style="list-style-type: none"> ▪ Installation of new mechanical and electrical services. ▪ Lighting design in accordance with building services engineer's details.
Fire Protection	<ul style="list-style-type: none"> ▪ Refer to drawing (67)AD001

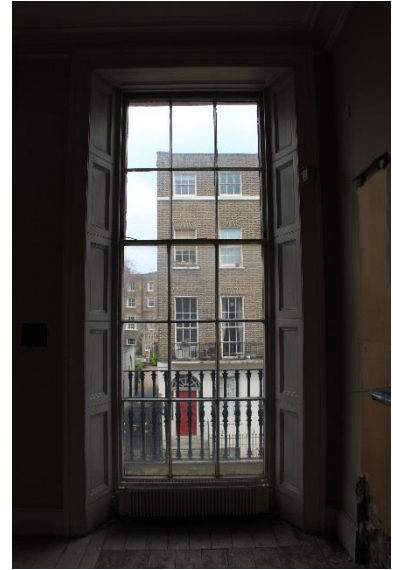
	<ul style="list-style-type: none"> ▪ Proposed doors 1A-1-D01, D02 & D06 to be FD30 doors ▪ Existing wall as highlighted on drawing (67)AP003 to be confirmed on site if provides 30 min fire resistance. If not to be overboarded with new fire resistant board to provide the required 30 minute fire protection.
<p>Additional Notes</p>	<ul style="list-style-type: none"> ▪ Tenant to provide their own blinds; ▪ For window information refer to window schedule; ▪ For ironmongery information refer to ironmongery schedule.



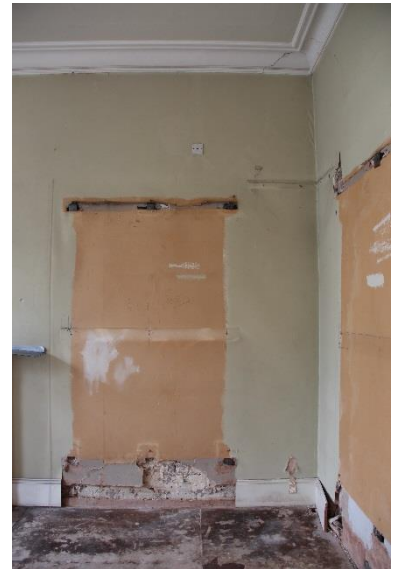
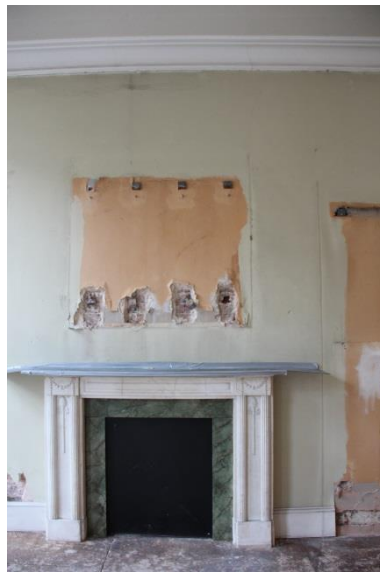
ELEVATION 1 - Metal work and damaged modern plaster finishes to be carefully removed. To be confirmed on site if wall provides 30 min fire resistance. If it doesn't, wall to be overboarded with new fire resistant board to provide the required 30 minute fire protection. If it does, damaged plasterboard replaced with plasterboard to match existing adjacent. Redecoration throughout. Existing door containing asbestos to be replaced with new FD30 door.



ELEVATION 1 - Metal work and damaged modern plaster finishes to be carefully removed and replaced with original plaster to match existing adjacent. Redecoration throughout. New FD30 double doors to be fitted in existing opening to match design of door 1-1-D01. Refer to detail drawing (32)AD002



ELEVATION 2 - Windows and shutters to undergo full overhaul to ensure good working condition and receive full redecoration. Metal work and damaged modern plaster finishes to be carefully removed and replaced with original plaster to match existing adjacent. Redecoration throughout.



ELEVATION 3 - Metal work and damaged modern plaster finishes to be carefully removed and replaced with original plaster to match existing adjacent. Redecoration throughout. Existing door containing asbestos to be replaced with new FD30 door.



ELEVATION 3 - Metal work and damaged modern plaster finishes to be carefully removed and replaced with original plaster to match existing adjacent. Redecoration throughout. New FD30 double doors to replace existing lift shaft doors to match design of adjacent doors. Refer to detail drawing (32)AD002



ELEVATION 4 - Metal work and damaged modern plaster finishes to be carefully removed and replaced with original plaster to match existing adjacent. Redecoration throughout. Existing door containing asbestos to be replaced with new FD30 door.



ELEVATION 5 - Damaged modern plaster finishes to be carefully removed and replaced with original plaster to match existing adjacent. Redecoration throughout. New sash window 1A-1-W04 to replace existing rear window. Refer to BDP drawing (31)AD002;



ELEVATION 6 - Metal work and damaged modern plaster finishes to be carefully removed and replaced with original plaster to match existing adjacent. Redecoration throughout.

Room No. 1AMS/3/S01 Stairs	
Item	Scope of works
General	<ul style="list-style-type: none"> ▪ Existing fittings and services have already been removed; ▪ New replacement lath and plaster finish to damaged areas of walls; ▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum; ▪ Existing ceilings to be repaired where evidence of dampness exists and redecorated with matt emulsion paint. ▪ Existing doors, architrave and skirting to be retained, repaired where necessary and refinished; ▪ New services provision throughout. Electrical distribution to be recessed. ▪ New lighting to be installed ▪ Windows to be redecorated and receive full overhaul to ensure full operation
Ceilings	<ul style="list-style-type: none"> ▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster; ▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required; ▪ Where evidence of dampness exists, assess condition and associated structure, carry out repairs and relining where necessary; ▪ Ceiling to be redecorated with white emulsion paint finish;
Floors	<ul style="list-style-type: none"> ▪ Existing floor finishes have been removed. ▪ Stone floor appears in good condition. Any areas of damage to be made good as required; ▪ New threshold strips in doorways (Fire strategy TBD).
External walls, windows, doors	<ul style="list-style-type: none"> ▪ Exterior brick façade to be cleaned. Repair and redecoration of reveal and stone window cills if required. ▪ Windows refurbished in situ. Windows, window panels, window reveals, window cills to be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match skirting; ▪ No shutters
Internal walls	<ul style="list-style-type: none"> ▪ Walls to be made good where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary. ▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow & Ball type colours to be matched with Dulux trade paint; ▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.
Joinery	<ul style="list-style-type: none"> ▪ Existing internal doors and architrave to be repaired where necessary and redecorated in eggshell paint ▪ For door information refer to door schedule;

	<ul style="list-style-type: none"> ▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows. ▪ Existing skirting to be redecorated with eggshell paint
Decorations	<ul style="list-style-type: none"> ▪ Refer to finishes schedule.
Fireplace	<ul style="list-style-type: none"> ▪ N/A
Fixtures and Fittings	<ul style="list-style-type: none"> ▪ N/A
Services	<ul style="list-style-type: none"> ▪ Installation of new mechanical and electrical services. ▪ Lighting design in accordance with building services engineer's details.
Fire Protection	<ul style="list-style-type: none"> ▪ Refer to drawing (67)AD003 ▪ Proposed doors 1A-1-D01, D02 to be FD30 doors ▪ 1no. 13a (6 litres aqueous film forming foam (AFFF) and 1no. 34b (2kg carbon dioxide) fire extinguishers.
Stairs	<ul style="list-style-type: none"> ▪ Repairs to be carried out to existing stone stairs and curved wooden handrail in accordance with detail 24AD001; ▪ Balustrade redecorated in black metal paint; ▪ Handrail to be sanded down, stained and oiled; ▪ Stringer, treads, risers and all visible elements of stair painted in eggshell paint to match existing. ▪ Soffit of stair to be painted in emulsion to match ceiling;
Additional Notes	<ul style="list-style-type: none"> ▪ For window information refer to window schedule; ▪ For ironmongery information refer to ironmongery schedule.

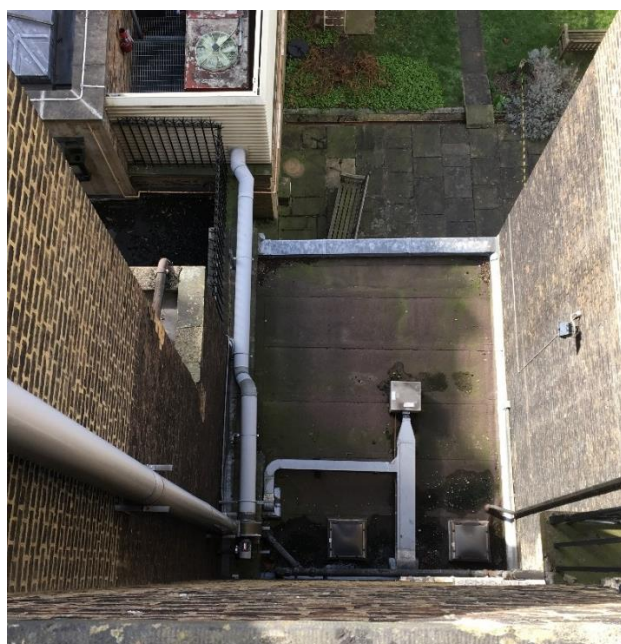


Window to undergo full overhaul to ensure good working condition and receive full redecoration. Stairs, balustrade and handrail to be fully refurbished and redecorated



Where evidence of dampness exists, assess condition and associated structure, rectify source and carry out repairs and relining where necessary;

Room No. 1MS/3/X01	
Item	Scope of works
General	<ul style="list-style-type: none"> ▪ Flat roof condition to be confirmed. ▪ Existing roof including parapet walls to be repaired if necessary ▪ All Stone copings to be cleaned to remove any organic growth and loose debris ▪ Remove all organic growth from existing roof coverings.
External walls, windows, doors, railings	<ul style="list-style-type: none"> ▪ N/A
Stairs	<ul style="list-style-type: none"> ▪ N/A
Internal walls	<ul style="list-style-type: none"> ▪ N/A
Joinery	<ul style="list-style-type: none"> ▪ N/A
Decorations	<ul style="list-style-type: none"> ▪ N/A
Fixtures and Fittings	<ul style="list-style-type: none"> ▪ N/A
Services	<ul style="list-style-type: none"> ▪ N/A
Fire Protection	<ul style="list-style-type: none"> ▪ N/A
Additional Notes	<ul style="list-style-type: none"> ▪ N/A



Roof / 3 /X01

Existing roof to be assessed. Parapet walls, roof covering and copings to be repaired if necessary.
 Remove all organic growth.

SECOND FLOOR LEVEL

Room No. 1MS/4/002 Lobby	
Item	Scope of works
General	<ul style="list-style-type: none"> ▪ Existing fittings and services have already been removed; ▪ New replacement lath and plaster finish to any damaged areas of walls; ▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum; ▪ Existing ceilings to be redecorated with matt emulsion paint. ▪ New doors 1-LG-D13, 1-LG-D1, associated architrave and skirting to new partitions to be fitted and decorated in eggshell paint; ▪ Existing pendant light, doors, architrave, skirting, cornices and decorative mouldings to be retained, repaired where necessary and redecorated; ▪ Stairs to be redecorated; ▪ New services provision throughout. Electrical distribution to be recessed; ▪ New wall lighting to be installed; ▪ Windows to be redecorated and receive full overhaul to ensure full operation;
Ceilings	<ul style="list-style-type: none"> ▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster; ▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required; ▪ Ceiling to be redecorated with white emulsion paint finish; ▪ Existing cornice to be made good where necessary and redecorated with thin paint coating to ensure that decorative detail is not lost;
Floors	<ul style="list-style-type: none"> ▪ Existing floor finishes have been removed; ▪ No requirement for re-levelling; ▪ Stone floor appears in good condition. Any areas of damage to be made good as required; ▪ New threshold strips in doorways (Fire strategy TBD). ▪ New notches to joists required. Refer to (50)AP004 and structural details for information.
External walls, windows, doors	<ul style="list-style-type: none"> ▪ Exterior brick façade to be cleaned. Repair and redecoration of reveal and stone window cills if required. ▪ Windows refurbished in situ. Windows, window panels, window reveals, window cills to be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match skirting; ▪ No shutters
Internal walls	<ul style="list-style-type: none"> ▪ Walls to be made good where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary. 3 x coats of non-hydraulic lime plaster finish unless stated otherwise. ▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow & Ball type colours to be matched with Dulux trade paint; ▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.

Joinery	<ul style="list-style-type: none"> ▪ Existing internal doors and architrave to be repaired where necessary and redecorated in eggshell paint, For door information refer to door schedule; ▪ Existing skirting to be redecorated with eggshell paint
Decorations	<ul style="list-style-type: none"> ▪ Fine decorative cornices to be cleaned prior to redecoration with new thin paint coating to ensure decorative detail is not lost. ▪ Refer to finishes schedule.
Fireplace	<ul style="list-style-type: none"> ▪ N/A
Fixtures and Fittings	<ul style="list-style-type: none"> ▪ N/A
Services	<ul style="list-style-type: none"> ▪ Installation of new mechanical and electrical services. ▪ Lighting design in accordance with building services engineer's details.
Fire Protection	<ul style="list-style-type: none"> ▪ Within fire protected enclosure. Refer to drawing (67)AD004 and information for room 1MS/4/004, 005, 008 & 009 in relation to upgrade of specific existing walls; ▪ Existing door 1-2-D01, D02 & D03 to provide 30min fire protection. Method of upgrade to be confirmed following fire engineer's door survey ▪ 1no. 13a (6 litres aqueous film forming foam (AFFF) and 1no. 34b (2kg carbon dioxide) fire extinguishers.
Stairs	<ul style="list-style-type: none"> ▪ Repairs to be carried out to existing stone stairs 1MS/4/S01 and curved wooden handrail in accordance with detail 24AD002; ▪ Balustrade to be redecorated in black metal paint; ▪ Handrail to be sanded down, stained and oiled; ▪ Stringer, treads, risers and all visible elements of stair painted in eggshell paint to match existing. ▪ Soffit of stair to be painted in emulsion to match ceiling; ▪ Repairs to be carried out to existing timber stairs 1MS/4/S02 in accordance with detail 24AD002; ▪ Timber balustrade, handrail and associated paneling to be redecorated with eggshell paint; ▪ Stringer, treads, risers and all visible elements of stair painted in eggshell paint to match existing.
Additional Notes	<ul style="list-style-type: none"> ▪ For window information refer to window schedule; ▪ For ironmongery information refer to ironmongery schedule.



Existing mahogany door and glazed panel to be removed to reinstate original condition



Existing brass light pendant to be retained and refurbished



Existing doors to be upgraded for fire protection and redecorated. Refer to door schedule.



Stairs, balustrade and handrail to be fully refurbished and redecorated



Window to undergo full overhaul to ensure good working condition and receive full redecoration.

Room No. 1MS/4/003 Cleaner's Cupboard	
Item	Scope of works
General	<ul style="list-style-type: none"> ▪ Room to be repaired following removal of existing partition and sanitary ware. ▪ New plasterboard stud partition with plaster finish to be formed to create cleaner's cupboard and electrical riser; ▪ New plaster finish to any damaged area of walls; ▪ Existing window to be removed and replaced; ▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum; ▪ Existing ceilings to be redecorated with matt emulsion paint. ▪ New door 1-2-D04 and associated architrave and skirting to new partition to be fitted and decorated in eggshell paint; ▪ New services provision throughout. Electrical distribution to be recessed. ▪ New lighting to be installed
Ceilings	<ul style="list-style-type: none"> ▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster; ▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required; ▪ Ceiling to be redecorated with white emulsion paint finish;
Floors	<ul style="list-style-type: none"> ▪ Existing floor finishes have been removed. ▪ No current requirement for re-levelling; ▪ Floor boards appear in good condition. Where damaged, they are to be fully repaired and made good as required; ▪ Notched joists to be repaired/strengthened where required (to structural engineer's detail);
External walls, windows, doors	<ul style="list-style-type: none"> ▪ Exterior brick façade to be cleaned. Repair and redecoration of reveal and stone window cills if required. ▪ Existing window to be carefully removed and replaced with solid timber framed single opening casement window decorated with at least 3 coats of eggshell paint to match skirting;
Internal walls	<ul style="list-style-type: none"> ▪ Walls to be made good where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered. ▪ New internal plasterboard stud partitions with plaster finish to be formed to create cleaner's cupboard and electrical riser; ▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow & Ball type colours to be matched with Dulux trade paint; ▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.
Joinery	<ul style="list-style-type: none"> ▪ New internal door 1-2-D04 and associated architrave and skirting to new partition to be fitted and decorated in eggshell paint; ▪ For door information refer to door schedule;

	<ul style="list-style-type: none"> ▪ New timber hardwood skirting painted in eggshell paint required; ▪ Where wall requires overboarding, existing skirting is to be carefully removed, set aside with care and reinstated and redecorated in eggshell after overboarding of wall is completed
Decorations	<ul style="list-style-type: none"> ▪ Refer to finishes schedule.
Fireplace	<ul style="list-style-type: none"> ▪ N/A
Fixtures and Fittings	<ul style="list-style-type: none"> ▪ Refer to sanitary ware schedule
Services	<ul style="list-style-type: none"> ▪ Installation of new mechanical and electrical services. ▪ Lighting design in accordance with building services engineer's details.
Fire Protection	<ul style="list-style-type: none"> ▪ Refer to drawing (67)AD004 ▪ Existing wall as highlighted on drawing (67)AP004 to be overboarded with new fire resistant board to provide the required 30 minute fire protection.
Additional Notes	<ul style="list-style-type: none"> ▪ For window information refer to window schedule; ▪ For ironmongery information refer to ironmongery schedule.



Existing window to be carefully removed and replaced with solid timber framed single opening casement window decorated with at least 3 coats of eggshell paint to match skirting;

Room No. 1MS/4/004 Office	
Item	Scope of works
General	<ul style="list-style-type: none"> ▪ Existing furniture, fittings and services have already been removed; ▪ Carefully remove metal work and modern plaster finishes associated with previous museum shelving arrangement and repair adjacent finishes; ▪ New replacement lath and plaster finish to damaged areas of walls. ▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum; ▪ Existing ceilings to be redecorated with matt emulsion paint. ▪ Re-levelling of flooring required ▪ Existing skirting, doors, architrave and cornices to be retained, repaired where necessary and redecorated; ▪ New services provision throughout. New surface mounted perimeter trunking for horizontal distribution. Electrical services chased into wall when they have to travel from floor or ceiling voids to the trunking enclosure. ▪ New lighting to be installed ▪ Windows to be redecorated and receive full overhaul to ensure full operation.
Ceilings	<ul style="list-style-type: none"> ▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster; ▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required; ▪ Ceiling to be redecorated with white emulsion paint finish; ▪ Existing cornice to be made good where necessary and redecorated ▪ Existing cornice as highlighted in ceiling drawing (35)AP004 carefully removed and set aside with care. Reinstated and redecorated when the overboarding of the wall is completed. If damage occurs refer to method of statement
Floors	<ul style="list-style-type: none"> ▪ Existing floor finishes have been removed. ▪ Re-levelling of flooring required, Existing floor boards to be removed and joists to be packed and adjusted where necessary to ensure level surface; ▪ Notched joists to be repaired/strengthened where required (to structural engineer's detail); ▪ Floor boards appear in good condition and are to be re-laid. Where damaged, they are to be fully repaired and made good as required; ▪ New threshold strips in doorways (Fire strategy TBD)
External walls, windows, doors	<ul style="list-style-type: none"> ▪ Exterior brick façade to be cleaned. Repair and redecoration of reveal and stone window cills if required. ▪ Windows refurbished in situ. Windows, window panels, window reveals, window cills to be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match skirting; ▪ Window shutters to remain operational. To be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match redecorated joinery. Shutter bars to be restricted to prevent further damage to adjacent reveal panels;
Internal walls	<ul style="list-style-type: none"> ▪ Walls to be made good where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed

	<p>down. Walls to be re-plastered where necessary. 3 x coats of non-hydraulic lime plaster finish unless stated otherwise.</p> <ul style="list-style-type: none"> ▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow & Ball type colours to be matched with Dulux trade paint; ▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.
Joinery	<ul style="list-style-type: none"> ▪ Existing internal doors and architrave to be repaired where necessary and redecorated in eggshell paint. For door information refer to door schedule; ▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows. ▪ Existing skirting to be redecorated with eggshell paint ▪ Where wall requires overboarding, existing skirting is to be carefully removed, set aside with care and reinstated and redecorated in eggshell after overboarding of wall is completed.
Decorations	<ul style="list-style-type: none"> ▪ Refer to finishes schedule.
Fireplace	<ul style="list-style-type: none"> ▪ Existing flu to be swept; ▪ Ventilated cap to be installed at top of chimney and flu balloon to be installed at the base of the flu ▪ Gently clean fireplace with soap flakes dissolved in warm water using a soft cloth
Fixtures and Fittings	<ul style="list-style-type: none"> ▪ N/A
Services	<ul style="list-style-type: none"> ▪ Installation of new mechanical and electrical services. ▪ Lighting design in accordance with building services engineer's details.
Fire Protection	<ul style="list-style-type: none"> ▪ Refer to drawing (67)AD004 ▪ New door 1-2-D02 to provide 30min fire protection. Refer to door schedule. ▪ Existing wall as highlighted on drawing (67)AP004 to be overboarded with new fire resistant board to provide the required 30 minute fire protection.
Additional Notes	<ul style="list-style-type: none"> ▪ Tenant to provide their own blinds; ▪ For window information refer to window schedule; ▪ For ironmongery information refer to ironmongery schedule.



Windows and shutters to undergo full overhaul to ensure good working condition and receive full redecoration.



Metal work and damaged modern plaster finishes following removal of museum shelving, to be carefully removed and replaced with lath and plaster/original plaster to match existing adjacent. Redecoration throughout. Existing door refurbished and redecorated. Fire upgrade required. Refer to (67)AP004. Ironmongery to be retained and refurbished.

1-1A Montague Street – Second Floor Level Room No. 1MS/4/005 Office	
Item	Scope of works
General	<ul style="list-style-type: none"> ▪ Existing furniture, fittings and services have already been removed; ▪ New opening created within existing timber stud partition to enlarge room. ▪ Carefully remove metal work and modern plaster finishes associated with previous museum shelving arrangement and repair adjacent finishes; ▪ New replacement lath and plaster finish to damaged areas of walls. Refer to BDP drawings (70)AD013/014; ▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum; ▪ Existing ceilings to be redecorated with matt emulsion paint. ▪ Existing skirting, door, architrave and cornices to be retained, repaired where necessary and redecorated; ▪ New services provision throughout. New surface mounted perimeter trunking for horizontal distribution. Electrical services chased into wall when they have to travel from floor or ceiling voids to the trunking enclosure ▪ New lighting to be installed ▪ Windows to be redecorated and receive full overhaul to ensure full operation ▪ New internal door 1-2-D11 and associated architrave to be fitted and decorated in eggshell paint; Refer to drawing (32)AD02
Ceilings	<ul style="list-style-type: none"> ▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster; ▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required; ▪ Ceiling to be redecorated with white emulsion paint finish; ▪ Existing cornice to be made good where necessary and redecorated; ▪ Existing cornice as highlighted in ceiling drawing (35)AP004 carefully removed and set aside with care. Reinstated and redecorated when the overboarding of the wall is completed. If damage occurs refer to method of statement
Floors	<ul style="list-style-type: none"> ▪ Existing floor finishes have been removed. ▪ No current requirement for re-levelling. ▪ Floor boards appear in good condition. Where damaged, they are to be fully repaired and made good as required; ▪ Notched joists to be repaired/strengthened where required (to structural engineer's detail); ▪ New threshold strips in doorways (Fire strategy TBD) ▪ New notches to joists required. Refer to (50)AP004 and structural details for information
External walls, windows, doors	<ul style="list-style-type: none"> ▪ Exterior brick façade to be cleaned. Repair and redecoration of reveal and stone window cills if required. ▪ Windows refurbished in situ. Windows, window panels, window reveals, window cills to be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match skirting;

	<ul style="list-style-type: none"> ▪ Window shutters to remain operational. To be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match redecorated joinery. Shutter bars to be restricted to prevent further damage to adjacent reveal panels;
Internal walls	<ul style="list-style-type: none"> ▪ Walls to be made good where new opening has been created in existing stud partition, where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary. 3 x coats of non hydraulic lime plaster finish unless stated otherwise. ▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow & Ball type colours to be matched with Dulux trade paint; ▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.
Joinery	<ul style="list-style-type: none"> ▪ Existing internal doors and architrave to be repaired where necessary and redecorated in eggshell paint. For door information refer to door schedule; ▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows. ▪ Existing skirting to be redecorated with eggshell paint ▪ New internal door 1-2-D11 and associated architrave to be fitted and decorated in eggshell paint. ▪ Where wall requires overboarding, existing skirting is to be carefully removed, set aside with care and reinstated and redecorated in eggshell after overboarding of wall is completed
Decorations	<ul style="list-style-type: none"> ▪ Refer to finishes schedule.
Fixtures and Fittings	<ul style="list-style-type: none"> ▪ N/A
Services	<ul style="list-style-type: none"> ▪ Installation of new mechanical and electrical services. ▪ Lighting design in accordance with building services engineer's details.
Fire Protection	<ul style="list-style-type: none"> ▪ Refer to drawing (67)AD004 ▪ Existing door 1-2-D01 to provide 30min fire protection. Method of upgrade to be confirmed following fire engineer's door survey ▪ Existing wall as highlighted on drawing (67)AP004 to be overboarded with new fire resistant board to provide the required 30 minute fire protection. ▪ New door 1-2-D11 to provide 60 min fire protection.
Additional Notes	<ul style="list-style-type: none"> ▪ Tenant to provide their own blinds; ▪ For window information refer to window schedule; ▪ For ironmongery information refer to ironmongery schedule.



*Opening to be created in existing room 1MS/4/005 to enlarge room to include 1MS/4/006.
Metal work and damaged modern plaster finishes following removal of museum shelving, to be carefully removed and replaced with lath and plaster/original plaster to match existing adjacent.
New replacement lath and plaster finish to damaged areas of walls. Redecoration throughout.*



Existing door replaced with FD60 door to match design of existing. Fireplace to be protected throughout construction and cleaned with a non abrasive cleaner



Windows and shutters to undergo full overhaul to ensure good working condition and receive full redecoration.



Metal work and damaged modern plaster finishes following removal of museum shelving, to be carefully removed and replaced with lath and plaster/original plaster to match existing adjacent. Redecoration throughout.

Room No. 1MS/4/007 Toilets	
Item	Scope of works
General	<ul style="list-style-type: none"> ▪ Existing furniture, fittings and services have already been removed; ▪ New plasterboard stud partition with plaster finish to be formed to create toilet cubicles and mechanical riser; ▪ New replacement lath and plaster finish to damaged areas of existing walls. ▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats, and tile finish as per detail drawing (74)AD003 Colour and tile specification to be agreed with architect and British Museum; ▪ New suspended ceiling with access panel to be installed and decorated with matt emulsion paint ▪ New doors 1-2-D06, D07, D08, D09, associated architrave and skirting to new partitions to be fitted and decorated in eggshell paint; ▪ Existing cornices to be retained, repaired where necessary and redecorated; ▪ All new sanitary ware and associated services to be installed; ▪ New services provision throughout. Electrical distribution to be recessed. ▪ New lighting to be installed ▪ Windows to be redecorated and receive full overhaul to ensure full operation ▪ New flue to exhaust to side elevation, refer to M&E drawings.
Ceilings	<ul style="list-style-type: none"> ▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable of loose/live plaster; ▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required; ▪ New suspended ceiling with access panel as set out in drawing (35)AP001 to be installed and decorated with matt emulsion paint ▪ Ceiling to be redecorated with white emulsion paint finish;
Floors	<ul style="list-style-type: none"> ▪ Existing floor finishes have been removed. ▪ No current requirement for re-levelling; ▪ Floor boards appear in good condition. Where damaged, they are to be fully repaired and made good as required; ▪ Notched joists to be repaired/strengthened where required (to structural engineer's detail); ▪ A layer of 6mm hardboard underlay to be fixed to floor boards. ▪ Ceramic tile finish to floors. Refer to (74)AD003 For specification; ▪ New threshold strips required in doorway to compensate for level differences between tile floor finish and floor boards ▪ New notches to joists required. Refer to (50)AP004 and structural details for information
External walls, windows, doors	<ul style="list-style-type: none"> ▪ Exterior brick façade to be cleaned. Repair and redecoration of reveal and stone window cills if required. ▪ Window refurbished in situ. Window, window panels, window reveals, window cill to be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match skirting;

	<ul style="list-style-type: none"> ▪ Window shutters to remain operational. To be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match redecorated joinery. Shutter bars to be restricted to prevent further damage to adjacent reveal panels;
Internal walls	<ul style="list-style-type: none"> ▪ Walls to be made good where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Existing walls to be re-plastered where necessary in toilet lobby area. 3 x coats of non-hydraulic lime plaster finish unless stated otherwise. ▪ New internal plasterboard stud partitions with plaster finish to be formed to create toilet cubicles and mechanical riser; ▪ Walls to be prepared and redecorated in matt emulsion with tile finish to a height of 1130mm as per detail drawings 74AD003. Suitable pastel colours and tile specification to be agreed with architect and British Museum. Suggested Farrow & Ball type colours to be matched with Dulux trade paint; ▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.
Joinery	<ul style="list-style-type: none"> ▪ New internal doors 1-2-D06, D07, D08, D09, and associated architrave to be fitted and decorated in eggshell paint; For door information refer to door schedule; ▪ Existing skirting in toilet lobby area to be redecorated with eggshell paint
Decorations	<ul style="list-style-type: none"> ▪ Refer to finishes schedule.
Fireplace	<ul style="list-style-type: none"> ▪ N/A
Fixtures and Fittings	<ul style="list-style-type: none"> ▪ Refer to sanitary ware schedule
Services	<ul style="list-style-type: none"> ▪ Installation of new mechanical and electrical services. ▪ Lighting design in accordance with building services engineer's details.
Fire Protection	<ul style="list-style-type: none"> ▪ N/A
Additional Notes	<ul style="list-style-type: none"> ▪ Tenant to provide their own blinds; ▪ For window information refer to window schedule; ▪ For ironmongery information refer to ironmongery schedule.



Existing condition of 1MS/4/007

Room No. 1MS/4/008 Office	
Item	Scope of works
General	<ul style="list-style-type: none"> ▪ Existing furniture, fittings and services have already been removed; ▪ Carefully remove metal work and modern plaster finishes associated with previous museum shelving arrangement and repair adjacent finishes; ▪ New replacement lath and plaster finish to damaged areas of walls. Refer to BDP drawings (70)AD011/012; ▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum; ▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats, and tile finish as per detail drawing (74)AD?? Colour and tile specification to be agreed with architect and British Museum; ▪ Existing ceilings to be redecorated with matt emulsion paint. ▪ New door 1-2-D05 be fitted and decorated in eggshell paint; ▪ Existing architrave, skirting in good condition and cornices to be retained, repaired where necessary and redecorated; ▪ Existing chimney piece, skirting, doors, architrave, cornices and decorative mouldings to be retained, repaired where necessary and redecorated; ▪ New services provision throughout. New surface mounted perimeter trunking for horizontal distribution. Electrical services chased into wall when they have to travel from floor or ceiling voids to the trunking enclosure. ▪ New lighting to be installed ▪ Windows to be redecorated and receive full overhaul to ensure full operation
Ceilings	<ul style="list-style-type: none"> ▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster; ▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required; ▪ Ceiling to be redecorated with white emulsion paint finish; ▪ Existing cornice to be made good where necessary and redecorated; ▪ Existing cornice as highlighted in ceiling drawing (35)AP004 carefully removed and set aside with care. Reinstated and redecorated when the overboarding of the wall is completed. If damage occurs refer to method of statement
Floors	<ul style="list-style-type: none"> ▪ Existing floor finishes have been removed. ▪ No current requirement for re-levelling. ▪ Floor boards appear in good condition. Where damaged, they are to be fully repaired and made good as required; ▪ Notched joists to be repaired/strengthened where required (to structural engineer's detail); ▪ New threshold strips in doorways (Fire strategy TBD)
External walls, windows, doors	<ul style="list-style-type: none"> ▪ Exterior brick façade to be cleaned. Repair and redecoration of reveal and stone window cills if required. ▪ Windows refurbished in situ. Windows, window panels, window reveals, window cills to be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match skirting;

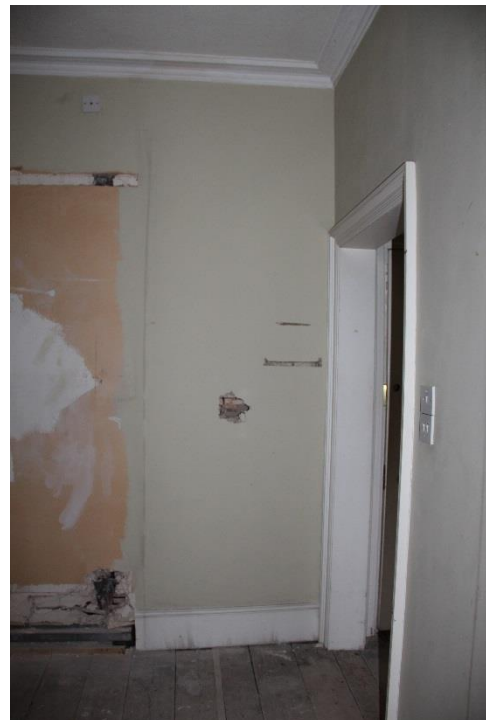
	<ul style="list-style-type: none"> ▪ Window shutters to remain operational. To be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match redecorated joinery. Shutter bars to be restricted to prevent further damage to adjacent reveal panels;
Internal walls	<ul style="list-style-type: none"> ▪ Walls to be made good where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary. 3 x coats of non-hydraulic lime plaster finish unless stated otherwise. ▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow & Ball type colours to be matched with Dulux trade paint; ▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.
Joinery	<ul style="list-style-type: none"> ▪ New internal door 1-2-D05 to be fitted and decorated in eggshell paint; For door information refer to door schedule; ▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows. ▪ Existing skirting to be redecorated with eggshell paint ▪ Existing skirting as highlighted in drawing (70)AD011 to be carefully removed, set aside with care and reinstated and redecorated in eggshell after overboarding of wall is completed.
Decorations	<ul style="list-style-type: none"> ▪ Refer to finishes schedule.
Fireplace	<ul style="list-style-type: none"> ▪ Existing flu to be swept; ▪ Ventilated cap to be installed at top of chimney and flu balloon to be installed at the base of the flu ▪ Gently clean fireplace with soap flakes dissolved in warm water using a soft cloth
Fixtures and Fittings	<ul style="list-style-type: none"> ▪ N/A
Services	<ul style="list-style-type: none"> ▪ Installation of new mechanical and electrical services. ▪ Lighting design in accordance with building services engineer's details.
Fire Protection	<ul style="list-style-type: none"> ▪ Refer to drawing (67)AD004 ▪ Proposed doors 1-2-D05 to be FD30 door ▪ Existing wall as highlighted on drawing (67)AP004 to be overboarded with new fire resistant board to provide the required 30 minute fire protection.
Additional Notes	<ul style="list-style-type: none"> ▪ Tenant to provide their own blinds; ▪ For window information refer to window schedule; ▪ For ironmongery information refer to ironmongery schedule.



Metal work and damaged modern plaster finishes following removal of museum shelving, to be carefully removed and replaced with lath and plaster/original plaster to match existing adjacent.



Windows and shutters to undergo full overhaul to ensure good working condition and receive full redecoration.



New door to be fitted within existing opening to access 1MS/4/008. Fire upgrade requirements. Damaged modern wall finishes made good to provide a suitable surface for new fire resistant board. Lath and plaster to be overboarded to achieve 30 minute fire protection. Existing cornice and skirting carefully removed, set aside with care and reinstated when the overboarding is completed. Ironmongery to be retained and refurbished.

Room No. 1MS/4/009 Lobby	
Item	Scope of works
General	<ul style="list-style-type: none"> ▪ New replacement lath and plaster finish to damaged areas of existing walls and plaster finish to new plasterboard stud partition to create cleaner' cupboard. ▪ Walls to be decorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum; ▪ Existing ceilings to be redecorated with matt emulsion paint. ▪ Existing door 1-2-D3, architrave, skirting in good condition and cornices to be retained, repaired where necessary and redecorated; ▪ New services provision throughout. Electrical distribution to be recessed. ▪ New lighting to be installed
Ceilings	<ul style="list-style-type: none"> ▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster; ▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required; ▪ Ceiling to be redecorated with white emulsion paint finish; ▪ Existing cornice to be made good where necessary and redecorated;
Floors	<ul style="list-style-type: none"> ▪ Existing floor finishes have been removed. ▪ No current requirement for re-levelling. ▪ Floor boards appear in good condition. Where damaged, they are to be fully repaired and made good as required; ▪ Notched joists to be repaired/strengthened where required (to structural engineer's detail); ▪ New threshold strips in doorways (Fire strategy TBD)
External walls, windows, doors	<ul style="list-style-type: none"> ▪ N/A
Internal walls	<ul style="list-style-type: none"> ▪ Walls to be made good where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary; ▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow & Ball type colours to be matched with Dulux trade paint; ▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.
Joinery	<ul style="list-style-type: none"> ▪ Existing internal doors and architrave to be repaired where necessary and redecorated in eggshell paint ▪ For door information refer to door schedule; ▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows. ▪ Existing skirting to be redecorated with eggshell paint ▪ Where wall requires overboarding, existing skirting is to be carefully removed, set aside with care and reinstated and redecorated in eggshell after overboarding of wall is completed

Decorations	<ul style="list-style-type: none"> ▪ Refer to finishes schedule.
Fireplace	<ul style="list-style-type: none"> ▪ N/A
Fixtures and Fittings	<ul style="list-style-type: none"> ▪ N/A
Services	<ul style="list-style-type: none"> ▪ Installation of new mechanical and electrical services. ▪ Lighting design in accordance with building services engineer's details.
Fire Protection	<ul style="list-style-type: none"> ▪ Refer to drawing (67)AD005 ▪ Existing door 1-2-D03 to provide 30min fire protection. Method of upgrade to be confirmed following fire engineer's door survey ▪ Proposed doors 1-2-D04, D05 & D06 to be FD30 doors ▪ Existing wall as highlighted on drawing (67)AP005 to be overboarded with new fire resistant board to provide the required 30 minute fire protection.
Additional Notes	<ul style="list-style-type: none"> ▪ For ironmongery information refer to ironmongery schedule.

Room No. 1AMS/4/011 Office	
Item	Scope of works
General	<ul style="list-style-type: none"> ▪ Existing furniture, fittings and services have already been removed; ▪ Carefully remove metal work and modern plaster finishes associated with previous museum shelving arrangement and repair adjacent finishes; ▪ New structural opening created in loadbearing wall for services routes to travel from the existing lift shaft. Refer to structural engineer's information and BDP drawing (50)AD002. ▪ New infills created in existing walls to enclose 2 x existing door openings; ▪ New replacement lath and plaster finish/plaster finish to damaged areas of walls. ▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum; ▪ New suspended ceiling to be installed to conceal services in specific area of room. See BDP drawing (35)AP004; ▪ New doors 1A-2-D02 and skirting where missing to be fitted and decorated in eggshell paint; ▪ Existing skirting in good condition, door 1A-2-D01, architrave and cornices to be retained, repaired where necessary and redecorated; ▪ New services provision throughout. New surface mounted perimeter trunking for horizontal distribution. Electrical services chased into wall when they have to travel from floor or ceiling voids to the trunking enclosure. ▪ New lighting to be installed; ▪ Windows to be redecorated and receive full overhaul to ensure full operation;
Ceilings	<ul style="list-style-type: none"> ▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster; ▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required; ▪ New suspended ceiling to be installed to conceal services in specific area of room. See BDP drawing (35)AP004; ▪ Ceiling to be decorated with white emulsion paint finish; ▪ Existing cornice to be made good where necessary and redecorated; ▪ Existing cornice as highlighted in ceiling drawing (35)AP004 carefully removed and set aside with care. Reinstated and redecorated when the overboarding of the wall is completed. If damage occurs refer to method of statement
Floors	<ul style="list-style-type: none"> ▪ Existing floor finishes have been removed. ▪ No current requirement for re-levelling. ▪ Floor boards appear in good condition. Where damaged, they are to be fully repaired and made good as required; ▪ Notched joists to be repaired/strengthened where required (to structural engineer's detail); ▪ Stone floor appears in good condition. Any areas of damage to be made good as required; ▪ New threshold strips in doorways (Fire strategy TBD) ▪ New notches to joists required. Refer to (50)AP004 and structural details for information.

External walls, windows, doors	<ul style="list-style-type: none"> ▪ Exterior brick façade to be cleaned. Repair and redecoration of reveal and stone window cills if required. ▪ Existing sash windows refurbished in situ. Windows, window panels, window reveals, window cills to be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match skirting; ▪ Window shutters to remain operational. To be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match redecorated joinery. Shutter bars to be restricted to prevent further damage to adjacent reveal panels; ▪ Existing metal framed window refurbished in situ. Existing paint to be striped where necessary and touch-in paint applied to any scratched or chipped surface. Any loose putty to be removed and replaced with metal casement putty. Window and security bars to be redecorated with at least 3 coats of metal paint finish;
Internal walls	<ul style="list-style-type: none"> ▪ Walls to be made good where intrusive investigations have been carried out, where new infills have been created in existing walls to enclose 2 x existing door openings and where fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary. 3 x coats of non-hydraulic lime plaster finish unless stated otherwise. ▪ New structural opening created in loadbearing wall for services routes to travel from the existing lift shaft. Refer to structural engineer's information and BDP drawing (50)AD002. ▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow & Ball type colours to be matched with Dulux trade paint; ▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes ▪ Opening to wall required to allow services routes to pass through wall. Refer to (50)AP004 and structural details for information
Joinery	<ul style="list-style-type: none"> ▪ New internal door 1A-2-D02 to be fitted and decorated in eggshell paint; ▪ Existing internal door and architrave to be repaired where necessary and redecorated in eggshell paint ▪ For door information refer to door schedule; ▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows. ▪ Existing skirting to be redecorated with eggshell paint ▪ Where wall is to be overboarded, existing skirting to be carefully removed, set aside with care and reinstated and redecorated in eggshell after overboarding of wall is completed.
Decorations	<ul style="list-style-type: none"> ▪ Refer to finishes schedule.
Fireplace	<ul style="list-style-type: none"> ▪ N/A
Fixtures and Fittings	<ul style="list-style-type: none"> ▪ N/A
Services	<ul style="list-style-type: none"> ▪ Installation of new mechanical and electrical services. ▪ Lighting design in accordance with building services engineer's details.
Fire Protection	<ul style="list-style-type: none"> ▪ Refer to drawing (67)AD001

	<ul style="list-style-type: none">▪ Existing door 1A-2-D01 to provide 30min fire protection. Method of upgrade to be confirmed following fire engineer's door survey▪ Existing wall as highlighted on drawing (67)AP004 to be overboarded with new fire resistant board to provide the required 30 minute fire protection.
Additional Notes	<ul style="list-style-type: none">▪ Tenant to provide their own blinds;▪ For window information refer to window schedule;▪ For ironmongery information refer to ironmongery schedule.



New suspended ceiling to be installed to conceal services in specific area of room. See BDP drawing (35)AP004



New internal door 1A-2-D02 to be fitted to match existing door 1A-2-D01, to replace existing lift shaft doors



Existing opening to be retained. Redecoration throughout;



To be confirmed on site if wall provides 30 min fire resistance. If it doesn't, wall to be overboarded with new fire resistant board to provide the required 30 minute fire protection. Cornice carefully removed and set aside with care. Reinstated and redecorated when the overboarding of the wall is completed. If damage occurs refer to method of statement. If it does, damaged plasterboard replaced with plasterboard to match existing adjacent. Redecoration throughout. Existing door opening infilled with 30 minure fire resistance partition.



*Existing room 1AMS/4/014:
Existing door to be retained and redecorated; Wall adjoining room 1AMS/4/012 to be completely removed.
Adjoining walls to be made good where necessary. Redecoration throughout.*