

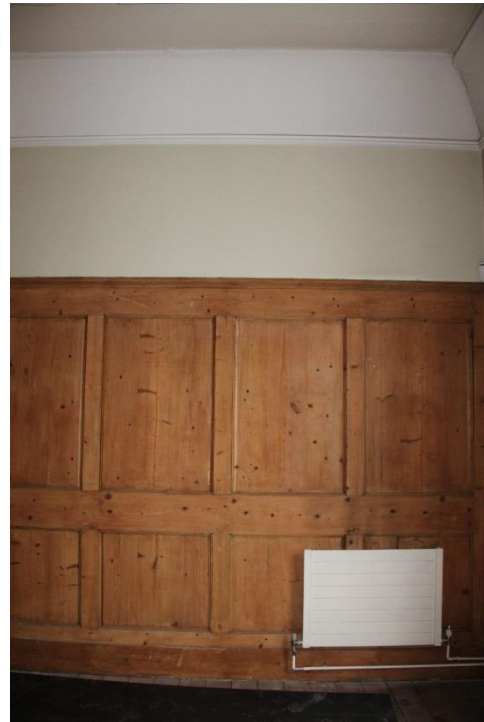
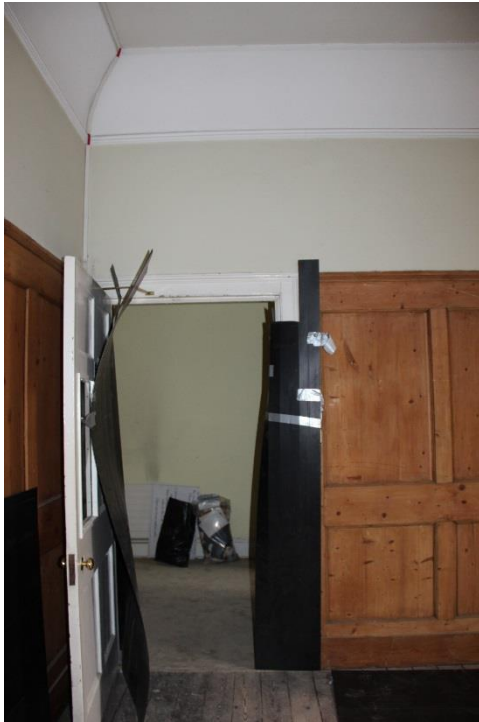
*Existing doors, architrave, fanlight, walls, ceiling, cornices, skirting and stairs to be redecorated*

<b>Room No. 1MS/2/003 Lobby</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Existing fittings and services have already been removed;</li> <li>▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum;</li> <li>▪ Existing ceilings to be redecorated with matt emulsion paint.</li> <li>▪ Existing stairs, skirting, doors and architrave to be retained, repaired where necessary and redecorated;</li> <li>▪ New services provision throughout. Electrical distribution to be recessed.</li> <li>▪ New lighting to be installed</li> <li>▪ External roof light to be retained and cleaned.</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster;</li> <li>▪ External roof light to be retained and cleaned, upstand to be redecorated;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ Ceiling to be redecorated with white emulsion paint finish;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed. Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ No requirement for re-levelling;</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ External roof light to be retained and cleaned, upstand to be redecorated;</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Internal walls to be made good where intrusive investigations have been carried out and fixtures, fitting and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ Existing internal door and architrave to be repaired where necessary and redecorated in eggshell paint. For door information refer to door schedule;</li> <li>▪ Existing skirting to be redecorated with eggshell paint</li> </ul>
Other Decorations	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Within fire protected enclosure. Refer to drawing (67)AD002 and information for room 1MS/2/009 in relation to upgrade of existing walls;</li> </ul>

	<ul style="list-style-type: none"><li>Existing door 1-G-D08 to provide 30min fire protection. Method of upgrade to be confirmed following fire engineer's door survey</li></ul>
Additional Notes	<ul style="list-style-type: none"><li>For ironmongery information refer to ironmongery schedule.</li></ul>

Room No. 1MS/2/004 Office	
Item	Scope of works
General	<ul style="list-style-type: none"> <li>▪ Refer to BDP drawings (70)AD021/022;</li> <li>▪ Existing furniture, fittings and services have already been removed;</li> <li>▪ Plaster finish walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Original timber wall panelling to be redecorated with eggshell paint finish. Colour to be agreed with architect and British Museum;</li> <li>▪ Existing ceilings to be redecorated with matt emulsion paint.</li> <li>▪ Existing fireplace, skirting architrave and picture rails are to be retained, repaired where necessary and redecorated;</li> <li>▪ New door 1-G-D03 and associated architrave to be fitted and decorated in eggshell paint; Refer to BDP drawing (32)AD001;</li> <li>▪ New door 1-G-D13 and associated architrave to be fitted and decorated in eggshell paint; Refer to BDP drawing (32)AD002;</li> <li>▪ New services provision throughout. Existing location of light switch and cable route to be reused and new electrical outlets to be positioned within floor boxes to avoid any interference with wall panels;</li> <li>▪ New lighting to be installed;</li> <li>▪ Window to be redecorated and receive full overhaul to ensure full operation</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable of loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ Ceiling to be redecorated with white emulsion paint finish.</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No current requirement for re-levelling.</li> <li>▪ Floor boards appear in good condition. Where damaged, they are to be fully repaired and made good as required;</li> <li>▪ Notched joists to be repaired/strengthened where required (to structural engineer's detail);</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> <li>▪ Openings through concrete screed required for services route from level below. Refer to (50)AP002 and structural details for information.</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ Exterior stucco facade to be repaired. No other works to take place on external wall other than repair and redecoration of reveal and stone window cills if required.</li> <li>▪ Windows refurbished in situ. Windows, window panels, window reveals, window cills, rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match skirting;</li> <li>▪ Window shutters to remain operational. To be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match redecorated joinery. Shutter bars to be restricted to prevent further damage to adjacent reveal panels;</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Internal walls to be made good where intrusive investigations have been carried out and fixtures, fitting and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> </ul>

	<ul style="list-style-type: none"> <li>▪ Existing picture rail to be carefully removed, set aside with care and reinstated when the overboarding of the wall has been completed.</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ New internal door 1-G-D03 to be fitted and decorated in eggshell paint; Refer to BDP drawing (32)AD001 for further details;</li> <li>▪ New door 1-G-D13 and associated architrave to be fitted and decorated in eggshell paint; Refer to BDP drawing (32)AD002;</li> <li>▪ Existing internal door 1-G-D12 and associated architrave to be repaired where necessary and redecorated in eggshell paint</li> <li>▪ For door information refer to door schedule;</li> <li>▪ Existing skirting to be redecorated with eggshell paint.</li> </ul>
Other Decorations	<ul style="list-style-type: none"> <li>▪ New bespoke enclosure design for floor mounted VRF unit to match proportions of existing wall panelling.</li> <li>▪ Fine decorative cornices to be cleaned prior to redecoration with new thin paint coating to ensure decorative detail is not lost.</li> </ul>
Fireplace	<ul style="list-style-type: none"> <li>▪ Existing flue to be swept;</li> <li>▪ Ventilated cap to be installed at top of chimney and flu balloon to be installed at the base of flu;</li> <li>▪ Gently clean fireplace with soap flakes dissolved in warm water using a soft cloth;</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Refer to drawing (67)AD002</li> <li>▪ New door 1-G-D13 to provide 60 min fire protection.</li> <li>▪ Proposed door 1-G-D03 to be FD30 door</li> <li>▪ Existing plaster finish wall as highlighted on drawing (67)AP002 to be overboarded with new fire resistant board to provide the required 30 minute fire protection.</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ Tenant to provide their own blinds;</li> <li>▪ For window information refer to window schedule;</li> <li>▪ For ironmongery information refer to ironmongery schedule;</li> </ul>



*ELEVATION 1 - Existing door containing asbestos to be carefully removed and replaced with new door and ironmongery to match existing door. Fire upgrade requirements (Existing plaster finish wall to be overboarded with new fire resistant board to provide the required 30 minute fire protection). Original timber wall panelling to be retained, refurbished and redecorated.*

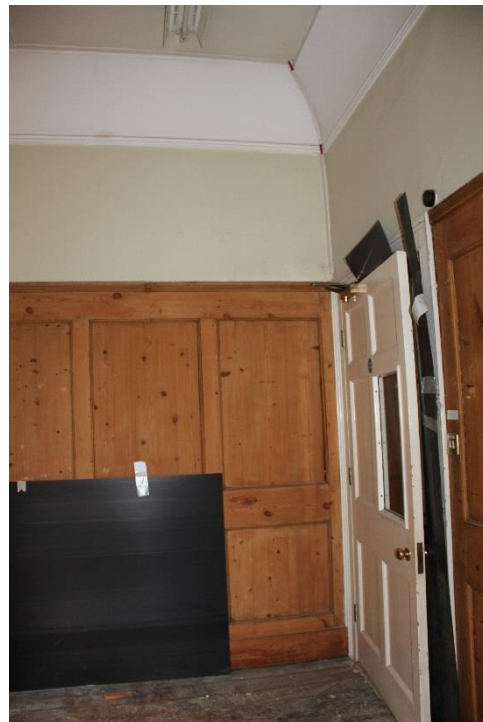


*ELEVATION 2 - Windows to undergo full overhaul to ensure good working condition and receive full redecoration.*





*ELEVATION 3 - Existing radiators to be carefully removed with all other existing services. Original timber panelling to front elevation to be retained, refurbished and redecorated.*



*ELEVATION 4 - Original timber panelling to front elevation to be retained, refurbished and redecorated*

Room No. 1MS/2/005 Office	
Item	Scope of works
General	<ul style="list-style-type: none"> <li>▪ Refer to BDP drawings (70)AD013/014;</li> <li>▪ Existing furniture, fittings and services have already been removed;</li> <li>▪ Carefully remove metal work and modern plaster finishes associated with previous museum shelving arrangement and repair adjacent finishes;</li> <li>▪ New replacement lath and plaster finish to damaged areas of walls;</li> <li>▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum;</li> <li>▪ Existing ceilings to be redecorated with matt emulsion paint.</li> <li>▪ Existing fireplace, skirting, doors, cornices and decorative mouldings to be retained, repaired where necessary and refinished;</li> <li>▪ New services provision throughout. Electrical distribution to be recessed.</li> <li>▪ New lighting to be installed</li> <li>▪ Windows to be redecorated and receive full overhaul to ensure full operation</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ Ceiling to be redecorated with white emulsion paint finish;</li> <li>▪ Ceiling to be redecorated with white emulsion paint finish</li> <li>▪ Existing cornice as highlighted in ceiling drawing (35)AP002 carefully removed and set aside with care. Reinstated and redecorated when the overboarding of the wall is completed. If damage occurs refer to method of statement.</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No current requirement for re-levelling.</li> <li>▪ Floor boards appear in good condition. Where damaged, they are to be fully repaired and made good as required;</li> <li>▪ Notched joists to be repaired/strengthened where required (to structural engineer's detail);</li> <li>▪ New threshold strips in <i>doorways (Fire strategy TBD)</i></li> <li>▪ Overall floor construction to achieve 60m Fire Rating. Proposed underdrawn ceiling below with additional layer of 12.5mm plasterboard with skim and paint finish.</li> <li>▪ New electrical floor outlet boxes as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ Exterior stucco facade to be repaired. No other works to take place on external wall other than repair and redecoration of reveal and stone window cills if required.</li> <li>▪ Windows refurbished in situ. Windows, window panels, window reveals, window cills, rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match skirting;</li> <li>▪ Window shutters to remain operational. To be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match redecorated joinery. Shutter bars to be restricted to prevent further damage to adjacent reveal panels;</li> </ul>



Internal walls	<ul style="list-style-type: none"> <li>▪ Internal walls to be made good where intrusive investigations, fixtures, fitting and services have been removed. Holes to be filled, rubbed down and painted in emulsion. Walls to be re-plastered where necessary. 3 coats of non hydraulic lime plaster finish unless stated otherwise.</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ Existing internal doors and architrave to be repaired where necessary and redecorated in eggshell paint</li> <li>▪ For door information refer to door schedule;</li> <li>▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows.</li> <li>▪ Existing skirting to be redecorated with eggshell paint</li> <li>▪ Existing skirting as highlighted in drawing (70)AD014 to be carefully removed, set aside with care and reinstated and redecorated in eggshell after overboarding of wall is completed.</li> </ul>
Other Decorations	<ul style="list-style-type: none"> <li>▪ New enclosure design for floor mounted VRF units. Refer to detail drawing (50)AD001</li> <li>▪ Fine decorative cornices to be cleaned prior to redecoration with new thin paint coating to ensure decorative detail is not lost.</li> </ul>
Fireplace	<ul style="list-style-type: none"> <li>▪ Fireplace to be retained and protected throughout construction;</li> <li>▪ Existing flu to be swept;</li> <li>▪ Fireplace to be retained and protected throughout construction;</li> <li>▪ Ventilated cap to be installed at top of chimney and flu balloon to be installed at the base of the flu</li> <li>▪ Gently clean fireplace with soap flakes dissolved in warm water using a soft cloth</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Refer to drawing (67)AD002</li> <li>▪ Overall floor construction to achieve 60m Fire Rating. Proposed underdrawn ceiling below with additional layer of 12.5mm plasterboard with skim and paint finish.</li> <li>▪ Existing door 1-G-D04 to provide 30min fire protection. Method of upgrade to be confirmed following fire engineer's door survey</li> <li>▪ Existing wall as highlighted on drawing (67)AP002 to be overboarded with new fire resistant board to provide the required 30 minute fire protection.</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ Tenant to provide their own blinds;</li> <li>▪ For window information refer to window schedule;</li> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>



*ELEVATION 1 - Fireplaces to be protected and retained. Non-abrasive cleaning required. Sections of modern replacement wall finishes to be carefully removed and replaced with lath and plaster to match existing adjacent.*



*ELEVATION 2 - Existing radiators to be carefully removed with all other existing services. Original timber panelling to front elevation to be retained, refurbished and redecorated. Windows to undergo full overhaul to ensure good working condition and receive full redecoration.*



*ELEVATION 3 - Load Bearing masonry partition with existing service riser incorporated. Existing services to be removed. Metal work and damaged modern plaster finishes to be carefully removed and replaced with lath and plaster to match existing adjacent. Redecoration throughout.*



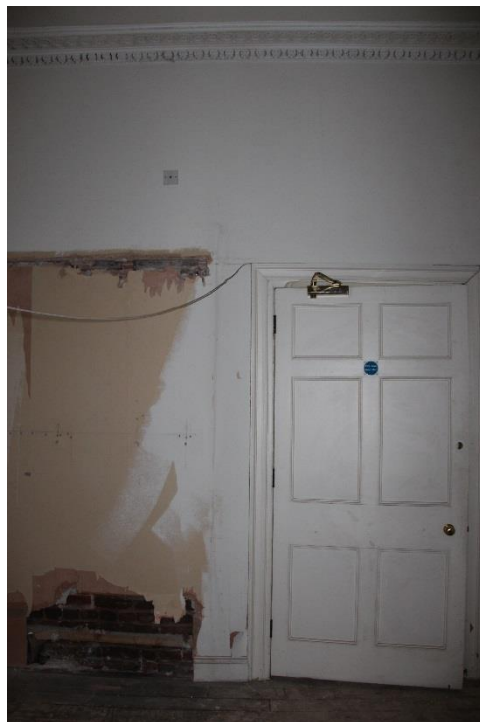
*ELEVATION 4 - Existing door refurbished and redecorated. Fire upgrade requirements. Damaged modern wall finishes to be made good to provide a suitable surface for new fire resistant board. Lath and plaster to be overboarded to achieve 30 minute fire protection. Existing cornice and skirting carefully removed, set aside with care and reinstated when the overboarding is completed. Ironmongery to be retained and refurbished.*

<b>Room No. 1MS/2/006 Office</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Refer to BDP drawings (70)AD019/020;</li> <li>▪ Existing furniture, fittings and services have already been removed;</li> <li>▪ Carefully remove metal work and modern plaster finishes associated with previous museum shelving arrangement and repair adjacent finishes;</li> <li>▪ New replacement lath and plaster finish to damaged areas of walls.</li> <li>▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum;</li> <li>▪ Redecoration of existing ceiling with matt emulsion paint. The existing skirtings, doors, cornices and decorative mouldings are to be retained, repaired where necessary and refinished;</li> <li>▪ New services provision throughout. Electrical distribution to be recessed. New service riser enclosure to contain main service run, See BDP detail drawing 50AD008;</li> <li>▪ New lighting to be installed</li> <li>▪ Windows to be redecorated and receive full overhaul to ensure full operation</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ Ceiling to be redecorated with white emulsion paint finish;</li> <li>▪ Existing cornice to be made good where necessary and redecorated with thin paint coating to ensure that decorative detail is not lost.</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No current requirement for re-levelling.</li> <li>▪ Floor boards appear in good condition. Where damaged, they are to be fully repaired and made good as required;</li> <li>▪ Notched joists to be repaired/strengthened where required (to structural engineer's detail);</li> <li>▪ New notches to joists required. Refer to (50)AP001 and structural details for information.</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> <li>▪ Overall floor construction to achieve 60m Fire Rating. Proposed underdrawn ceiling below with additional layer of 12.5mm plasterboard with skim and paint finish.</li> <li>▪ New electrical floor outlet boxes as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ See structural engineer's detail for information in relation to works to rectify damage to external wall caused by subsidence. Exterior brick façade to be cleaned. Repair and redecoration of reveal and stone window cills if required.</li> </ul>

	<ul style="list-style-type: none"> <li>▪ Windows refurbished in situ. Windows, window panels, window reveals, window cills, rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match skirting;</li> <li>▪ Window shutters to remain operational. Adjusting required to shutters to window 1-G-W04 following structural repairs to external wall. Shutters to be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match redecorated joinery. Shutter bars to be restricted to prevent further damage to adjacent reveal panels;</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Walls to be made good where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary. 3 x coats of non hydraulic lime plaster finish unless stated otherwise.</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.</li> <li>▪ Opening to wall required to allow services routes to pass through. Refer to (50)AP002 and structural details for information.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ Existing internal doors and architrave to be repaired where necessary and redecorated in eggshell paint. For Door information refer to door schedule;</li> <li>▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows.</li> <li>▪ Existing skirting to be redecorated with eggshell paint</li> </ul>
Other Decorations	<ul style="list-style-type: none"> <li>▪ New enclosure design for floor mounted VRF units. Refer to detail drawing (50)AD002</li> <li>▪ Fine decorative cornices to be cleaned prior to redecoration with new thin paint coating to ensure decorative detail is not lost.</li> </ul>
Fireplace	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Refer to drawing (67)AD002</li> <li>▪ Overall floor construction to achieve 60m Fire Rating. Proposed underdrawn ceiling below with additional layer of 12.5mm plasterboard with skim and paint finish.</li> <li>▪ Existing door 1-G-D05 to provide 30min fire protection. Method of upgrade to be confirmed following fire engineer's door survey</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ Tenant to provide their own blinds;</li> <li>▪ For window information refer to window schedule;</li> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>

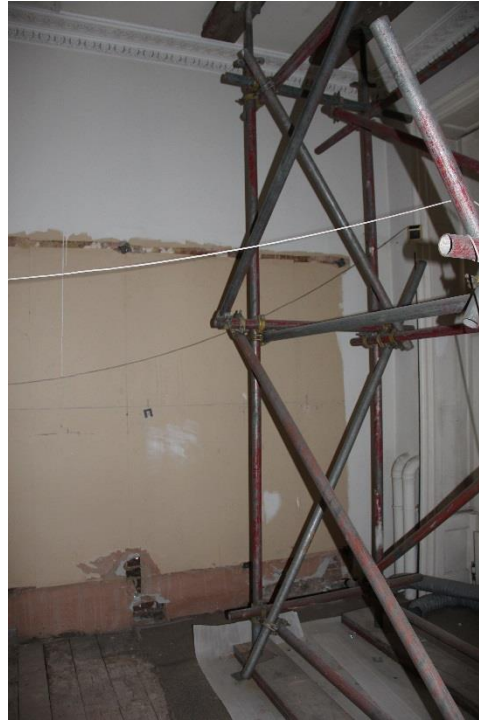


*ELEVATION 1 - Metal work and damaged modern plaster finishes to be carefully removed and replaced with lath and plaster to match existing adjacent. Redecoration throughout.*



*ELEVATION 2 - Damaged modern wall finishes to be carefully removed with existing adjacent construction to be made good. New lath and plaster finishes required and full redecoration throughout. Existing door refurbished and redecorated. Fire upgrade requirements TBD. Ironmongery to be retained and refurbished.*





*ELEVATION 3 - Metal work and damaged modern plaster finishes to be carefully removed and replaced with lath and plaster to match existing adjacent. Redecoration throughout.*



*ELEVATION 4 - Existing radiators to be carefully removed with all other existing services. Original timber panelling to front elevation to be retained, refurbished and redecorated. Windows to undergo full overhaul to ensure good working condition and receive full redecoration*



Room No. 1MS/2/007 Toilet	
Item	Scope of works
General	<ul style="list-style-type: none"> <li>▪ Room to be repaired and redecorated following removal of existing sanitary ware.</li> <li>▪ New plaster finish to damaged area of walls.</li> <li>▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats, and tile finish as per detail drawing (74)AD?? Colour and tile specification to be agreed with architect and British Museum;</li> <li>▪ New suspended ceiling to be installed and decorated with matt emulsion paint;</li> <li>▪ Existing door and architrave to be retained, repaired where necessary and refinished;</li> <li>▪ New services provision throughout. Electrical distribution to be recessed.</li> <li>▪ All new sanitary ware and associated services to be installed;</li> <li>▪ New lighting to be installed</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable of loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ New suspended ceiling to be installed and decorated with matt emulsion paint;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No requirement for re-levelling</li> <li>▪ Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ Ceramic tile finish to floors. Refer to (74)AD001 For specification;</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> </ul>
External walls, windows & doors	N/A
Internal walls	<ul style="list-style-type: none"> <li>▪ Walls to be made good where new opening has been created, where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> <li>▪ Walls to be prepared and redecorated in matt emulsion with tile finish to a height of 1130mm. Suitable pastel colours and tile specification to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ Existing internal doors and architrave to be repaired where necessary and redecorated in eggshell paint; For door information refer to door schedule;</li> </ul>
Other Decorations	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fireplace	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>

Fixtures and Fittings	<ul style="list-style-type: none"><li>▪ Refer to sanitary ware schedule.</li></ul>
Services	<ul style="list-style-type: none"><li>▪ Installation of new mechanical and electrical services.</li><li>▪ Lighting design in accordance with building services engineer's details.</li></ul>
Fire Protection	<ul style="list-style-type: none"><li>▪ N/A</li></ul>
Additional Notes	<ul style="list-style-type: none"><li>▪ For door information refer to window schedule;</li><li>▪ For ironmongery information refer to ironmongery schedule.</li></ul>



*Existing sanitary ware to be carefully removed. Damaged areas of wall to be repaired and new sanitary ware to be fitted. Redecoration throughout.*

<b>1-1A Montague Street – Ground Floor Level</b>	
<b>Room No. 1MS/2/008 Kitchenette</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Room to be repaired following removal of existing partitions and sanitary ware.</li> <li>▪ New plasterboard stud partition with plaster finish to be formed to create kitchenette;</li> <li>▪ New plaster finish to damaged area of walls;</li> <li>▪ Walls to be decorated with matt emulsion paint finish-allow for 2 coats, Colour to be agreed with architect and British Museum;</li> <li>▪ New suspended ceiling to be installed and decorated with matt emulsion paint;</li> <li>▪ New ceramic tile finish on latex levelling screed;</li> <li>▪ New door, architrave and skirting to be fitted and decorated in eggshell paint;</li> <li>▪ New services provision throughout. Electrical distribution to be recessed.</li> <li>▪ New lighting to be installed</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ New suspended ceiling to be installed and decorated with matt emulsion paint;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed. Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ No current requirement for re-levelling;</li> <li>▪ New ceramic tile finish on latex levelling screed. Refer to specification for tile finish;</li> <li>▪ New threshold strip in doorway</li> </ul>
External walls, windows & doors	N/A
Internal walls	<ul style="list-style-type: none"> <li>▪ Walls to be made good where new opening has been created, where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> <li>▪ New internal plasterboard stud partitions with plaster finish to be formed to create kitchenette</li> <li>▪ Walls to be prepared and redecorated with matt emulsion paint finish. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ New internal door 1-G-D09 and associated architrave to be fitted and decorated in eggshell paint, For door information refer to door schedule;</li> <li>▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows.</li> <li>▪ Existing skirting to be redecorated with eggshell paint</li> </ul>

Other Decorations	<ul style="list-style-type: none"><li>▪ N/A</li></ul>
Fireplace	<ul style="list-style-type: none"><li>▪ N/A</li></ul>
Fixtures and Fittings	<ul style="list-style-type: none"><li>▪ N/A</li></ul>
Services	<ul style="list-style-type: none"><li>▪ Installation of new mechanical and electrical services.</li><li>▪ Lighting design in accordance with building services engineer's details.</li></ul>
Fire Protection	<ul style="list-style-type: none"><li>▪ Refer to drawing (67)AD002</li><li>▪ Existing wall as highlighted on drawing (67)AP002 to be overboarded with new fire resistant board to provide the required 30 minute fire protection.</li></ul>
Additional Notes	<ul style="list-style-type: none"><li>▪ For door information refer to window schedule;</li><li>▪ For ironmongery information refer to ironmongery schedule.</li></ul>

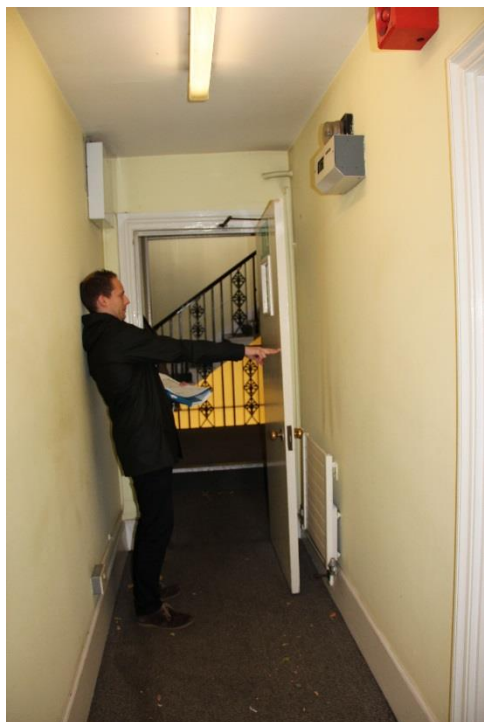


*Existing sanitary ware to be carefully removed. New plasterboard stud partitions to be formed to create kitchenette. Damaged areas of wall to be repaired. Redecoration throughout.*

<b>1-1A Montague Street – Ground Floor Level</b> <b>Room No. 1MS/2/009 Passage</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Room to be repaired following removal of existing partitions and sanitary ware.</li> <li>▪ New opening created in party wall to connect 1MS and 1AMS</li> <li>▪ New plasterboard stud partition with plaster finish to be formed to create passage and electrical service riser;</li> <li>▪ New plaster finish to damaged area of walls;</li> <li>▪ Walls to be decorated with matt emulsion paint finish-allow for 2 coats, Colour to be agreed with architect and British Museum;</li> <li>▪ New suspended ceiling to be installed and decorated with matt emulsion paint;</li> <li>▪ Existing external door, architrave and skirting in good condition to be retained and redecorated;</li> <li>▪ New doors 1-G-D11 &amp; D12, architrave and skirting to new partitions to be fitted and decorated in eggshell paint;</li> <li>▪ New services provision throughout. Electrical distribution to be recessed.</li> <li>▪ New lighting to be installed</li> <li>▪ Window to be redecorated and receive full overhaul to ensure full operation</li> <li>▪ New threshold matt and edging at entrance.</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable of loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ New suspended ceiling to be installed and decorated with matt emulsion paint;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed. Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ No current requirement for re-levelling;</li> <li>▪ New threshold strip in doorway</li> </ul>
External walls, windows & doors	<ul style="list-style-type: none"> <li>▪ Paint finish to exterior timber panelled facade to be striped back. Existing damaged panels to be repaired/replaced where necessary. Redecoration required.</li> <li>▪ Repair and redecoration of external timber reveal and timber window cill required.</li> <li>▪ Metal framed window refurbished in situ. Existing paint to be striped where necessary and touch-in paint applied to any scratched or chipped surface. Any loose putty to be removed and replaced with metal casement putty. Window and security bars to be redecorated with at least 3 coats of metal paint finish;</li> <li>▪ Opening to wall required to allow services routes to pass through. Refer to (50)AP002 and structural details for information.</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Walls to be made good where new opening has been created, where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> <li>▪ New internal plasterboard stud partitions with plaster finish to be formed to create passage and electrical riser;</li> </ul>

	<ul style="list-style-type: none"> <li>▪ Walls to be prepared and redecorated with matt emulsion paint finish. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ New internal doors 1-G-D09 &amp; 1-G-D11 and associated architrave to be fitted and decorated in eggshell paint;</li> <li>▪ Existing external door and architrave to be repaired where necessary and redecorated in a high gloss finish, weather resistant paint;</li> <li>▪ For door information refer to door schedule;</li> <li>▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows.</li> <li>▪ Existing skirting to be redecorated with eggshell paint</li> </ul>
Other Decorations	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fireplace	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services;</li> <li>▪ Lighting design in accordance with building services engineer's details;</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Refer to drawing (67)AD002</li> <li>▪ Existing wall as highlighted on drawing (67)AP002 to be overboarded with new plasterboard to provide the required 30 minute fire protection.</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ Tenant to provide their own blinds;</li> <li>▪ For window information refer to window schedule;</li> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>

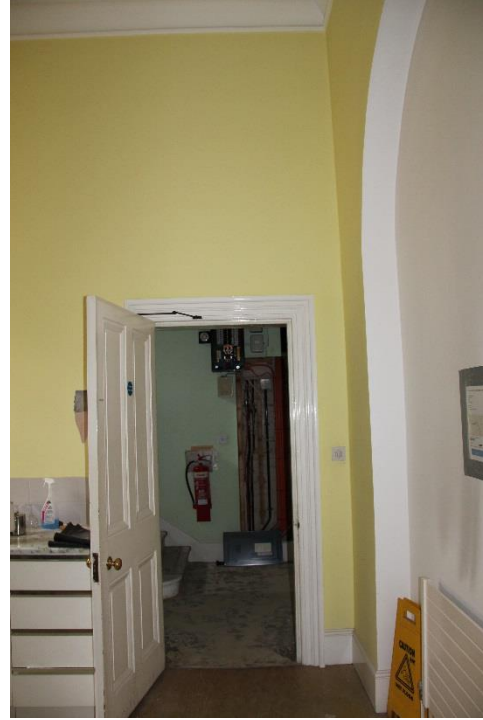




*Existing sanitary ware to be carefully removed. New plasterboard stud partitions to be formed to create passage. Damaged areas of wall to be repaired. Redecoration throughout.*

1-1A Montague Street – Ground Floor Level Room No. 1AMS/2/013 Office	
Item	Scope of works
General	<ul style="list-style-type: none"> <li>▪ Refer to BDP drawings (70)AD023/024/025;</li> <li>▪ Existing furniture, fittings and services have already been removed;</li> <li>▪ Carefully remove metal work and modern plaster finishes associated with previous museum shelving arrangement and repair adjacent finishes;</li> <li>▪ Original opening to be reinstated; Modern timber stud and plasterboard infill to be carefully removed; Refer to structural engineer's information</li> <li>▪ New replacement plasterboard finish to damaged areas of walls.</li> <li>▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum;</li> <li>▪ Existing ceilings to be redecorated with matt emulsion paint.</li> <li>▪ New doors 1A-G-D02, D03, D06 &amp; D07 to be fitted and decorated in eggshell paint; Refer to BDP drawings (32)AD001/02;</li> <li>▪ Existing skirting in good condition, architrave, cornices and decorative mouldings to be retained, repaired where necessary and refinished;</li> <li>▪ New sash window 1A-G-W03 to replace existing rear window. Refer to BDP drawing (31)AD002;</li> <li>▪ Existing sash windows to be redecorated and receive full overhaul to ensure full operation</li> <li>▪ New services provision throughout. Electrical distribution to be recessed.</li> <li>▪ New lighting to be installed</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ Ceiling to be redecorated with white emulsion paint finish;</li> <li>▪ Existing cornice to be made good where necessary and redecorated with thin paint coating to ensure that decorative detail is not lost.</li> <li>▪ Existing cornice as highlighted in ceiling drawing (35)AP002 carefully removed and set aside with care if wall requires upgrade to 30minute fire protection. Reinstated and redecorated when the overboarding of the wall is completed. If damage occurs refer to method of statement</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed. Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ No requirement for re-levelling.</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> <li>▪ Openings through concrete screed required for services route from level below. Refer to (50)AP002 and structural details for information</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ Exterior stucco facade to be repaired. No other works to take place on external wall other than repair and redecoration of reveal and stone window cills if required.</li> <li>▪ Existing rear metal framed window to be carefully removed and replaced with new sash window 1A-G-W03. Refer to BDP drawing (31)AD002;</li> </ul>

	<ul style="list-style-type: none"> <li>▪ Existing sash windows refurbished in situ. Windows and window cills to be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match skirting;</li> <li>▪ No shutters</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Internal walls to be made good where original opening has been reinstated, intrusive investigations have been carried out and where fixtures, fitting and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.</li> <li>▪ Opening to wall required to allow services routes to pass through. Refer to (50)AP002 and structural details for information.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ New internal doors 1-LG-D13, 1-LG-D1 to be fitted and decorated in eggshell paint; Refer to BDP drawing (32)AD001/02 for further information;</li> <li>▪ For door information refer to door schedule;</li> <li>▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows.</li> <li>▪ Existing skirting to be redecorated with eggshell paint</li> <li>▪ Existing skirting as highlighted in drawing (70)AD023 to be carefully removed, set aside with care and reinstated and redecorated in eggshell after overboarding of wall is completed (TBC)</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ New enclosure design for floor mounted VRF units. Refer to detail drawing (50)AD001</li> <li>▪ Fine decorative cornices to be cleaned prior to redecoration with new thin paint coating to ensure decorative detail is not lost.</li> <li>▪ Refer to finishes schedule.</li> </ul>
Fireplace	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Refer to drawing (67)AD002</li> <li>▪ Proposed doors 1A-G-D02 &amp; D03 to be FD30 doors</li> <li>▪ Existing wall as highlighted on drawing (67)AP002 to be confirmed on site if provides 30 min fire resistance. If not to be overboarded with new fire resistant board to provide the required 30 minute fire protection.</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ Tenant to provide their own blinds;</li> <li>▪ For window information refer to window schedule;</li> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>



*ELEVATION 1 – Damaged plaster finishes to be carefully removed. To be confirmed on site if wall provides 30 min fire resistance. If it doesn't, wall to be overboarded with new fire resistant board to provide the required 30 minute fire protection. If it does, damaged plasterboard replaced with plasterboard to match existing adjacent. Redecoration throughout. Existing door containing asbestos to be replaced with new door to match design of existing. Refer to BDP drawing (32)AD001*



*ELEVATION 1 - Metal work and damaged modern plaster finishes to be carefully removed. To be confirmed on site if wall provides 30 min fire resistance. If it doesn't, wall to be overboarded with new fire resistant board to provide the required 30 minute fire protection. If it does, damaged plasterboard replaced with plasterboard to match existing adjacent. Redecoration throughout. Existing door containing asbestos to be replaced with new door to match design of existing. Refer to BDP drawing (32)AD001*



*ELEVATION 2 - Existing radiators to be carefully removed with all other existing services. Windows to undergo full overhaul to ensure good working condition and receive full redecoration*



*ELEVATION 3 - Metal work and damaged modern plaster finishes to be carefully removed and replaced with plasterboard to match existing adjacent. Redecoration throughout.*





*ELEVATION 3 - Existing lift shaft doors to be carefully removed and replaced with new doors to match design of adjacent doors. See BDP drawing (32)AD002. Existing external door containing asbestos to be replaced with new door to match design of existing. Refer to BDP drawing (32)AD001*



*ELEVATION 4 - Modern timber stud and plasterboard infill to be carefully removed to reinstate original opening. New replacement plasterboard finish to damaged areas of walls and redecoration throughout.*



*ELEVATION 5 - New sash window  
1A-G-W03 to replace existing rear window.  
Refer to BDP drawing (31)AD002*



*ELEVATION 6 – Modern timber stud and  
plasterboard infill to be carefully removed to  
reinstate original opening*



<b>1-1A Montague Street – Ground Floor Level</b> <b>Room No. 1AMS/2/015 Kitchenette</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Existing furniture, fittings and services have already been removed;</li> <li>▪ New plaster finish to damaged area of walls;</li> <li>▪ Walls to be decorated with matt emulsion paint finish-allow for 2 coats, Colour to be agreed with architect and British Museum;</li> <li>▪ New ceiling bulkhead to be installed to contain services in specific area of room. See BDP drawing (35)AP002.</li> <li>▪ New door 1A-G-D05 and associated architrave to be fitted and decorated in eggshell paint;</li> <li>▪ New services provision throughout. Electrical distribution to be recessed.</li> <li>▪ New lighting to be installed</li> <li>▪ Window to be redecorated and receive full overhaul to ensure full operation</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster;</li> <li>▪ New ceiling bulkhead to be installed to contain services in specific area of room. See BDP drawing (35)AP002.</li> <li>▪ Ceiling to be redecorated with white emulsion paint finish;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed. Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ No requirement for re-levelling.</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ Exterior painted brick façade to be redecorated;</li> <li>▪ Metal framed window refurbished in situ. Existing paint to be striped where necessary and touch-in paint applied to any scratched or chipped surface. Any loose putty to be removed and replaced with metal casement putty. Window and security bars to be redecorated with at least 3 coats of metal paint finish;</li> <li>▪ No shutters</li> <li>▪ Opening to wall required to allow services routes to pass through. Refer to (50)AP002 and structural details for information.</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Internal walls to be made good where opening has been made in party wall, where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ New door 1A-G-D05 and associated architrave to be fitted and decorated in eggshell paint; For Door information refer to door schedule;</li> </ul>

	<ul style="list-style-type: none"> <li>▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows.</li> <li>▪ Existing skirting to be redecorated;</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fireplace	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Refer to drawing (67)AD001</li> <li>▪ Proposed doors 1A-G-D05 to be FD30 door</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ Tenant to provide their own blinds;</li> <li>▪ For window information refer to window schedule;</li> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>



*Door to be replaced to comply with fire escape strategy. Metal framed window refurbished in situ. Redecoration required throughout.*

<b>Room No. 1AMS/2/010 Lobby</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Existing fittings and services have already been removed;</li> <li>▪ New plaster finish to damaged area of walls;</li> <li>▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum;</li> <li>▪ Existing ceilings to be redecorated with matt emulsion paint.</li> <li>▪ Existing skirting, doors, architrave, decorative fanlight, cornices and decorative mouldings are to be retained, repaired where necessary and refinished;</li> <li>▪ Existing door and associated panelling between lobby and stairs to be removed;</li> <li>▪ New services provision throughout. Electrical distribution to be recessed.</li> <li>▪ New lighting to be installed</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable of loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ Ceiling to be redecorated with white emulsion paint finish;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed. Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ No requirement for re-levelling.</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> </ul>
External walls, windows	<ul style="list-style-type: none"> <li>▪ Exterior stucco facade to be repaired. No other works to take place on external wall other than repair and redecoration of door reveal if required.</li> <li>▪ Existing external door to be refurbished in situ and redecorated; Colour to be agreed with architect and British Museum;</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Walls to be made good where new opening has been created and intrusive investigations, fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes;</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ Existing external door and architrave to be repaired where necessary and redecorated in a high gloss finish, weather resistant paint; For door information refer to door schedule;</li> <li>▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows.</li> <li>▪ Existing skirting to be redecorated with eggshell paint;</li> </ul>

Decorations	<ul style="list-style-type: none"> <li>▪ Fine decorative cornices to be cleaned prior to redecoration with new thin paint coating to ensure decorative detail is not lost.</li> <li>▪ Refer to finishes schedule.</li> </ul>
Fireplace	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Refer to drawing (67)AD001</li> <li>▪ Proposed doors 1A-G-D03, D04 &amp; D05 to be FD30 doors</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ For window information refer to window schedule;</li> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>



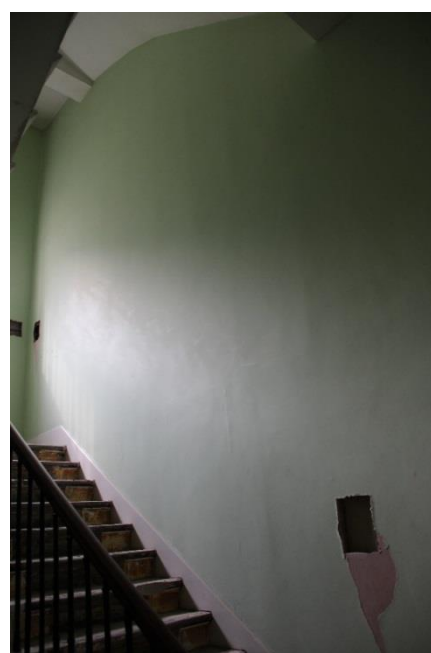
*Damaged modern plaster finishes to be carefully removed and replaced with plasterboard to match existing adjacent. Redecoration throughout.*



*Existing door between entrance lobby and stairs to be removed.*

<b>Room No. 1AMS/2/S01 Stairs</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Existing fittings and services have already been removed;</li> <li>▪ New plaster finish to damaged area of walls;</li> <li>▪ Walls to be redecorated, including walls inside cupboard underneath stairs, with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum;</li> <li>▪ Existing ceilings to be repaired where evidence of dampness exists and redecorated with matt emulsion paint.</li> <li>▪ Existing stairs, skirting, doors, architrave, decorative fanlight, cornices and decorative mouldings are to be retained, repaired where necessary and refinished;</li> <li>▪ New services provision throughout. Electrical distribution to be recessed.</li> <li>▪ New lighting to be installed</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ Where evidence of dampness exists, assess condition and associated structure, rectify source and carry out repairs and relining where necessary;</li> <li>▪ Ceiling to be redecorated with white emulsion paint finish;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed. Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ No requirement for re-levelling.</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> </ul>
External walls, windows	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Walls to be made good where new opening has been created, where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes;</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ New internal doors 1A-G-D02, D03, D04, D05 &amp; D12 and associated architrave to be fitted and decorated in eggshell paint;</li> <li>▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows.</li> </ul>

	<ul style="list-style-type: none"> <li>▪ Existing skirting to be redecorated with eggshell paint;</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ Fine decorative cornices to be cleaned prior to redecoration with new thin paint coating to ensure decorative detail is not lost.</li> <li>▪ Refer to finishes schedule.</li> </ul>
Fireplace	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Stairs	<ul style="list-style-type: none"> <li>▪ Repairs to be carried out to existing stone stairs and curved wooden handrail in accordance with detail 24AD001;</li> <li>▪ Balustrade redecorated in black metal paint;</li> <li>▪ Handrail to be sanded down, stained and oiled;</li> <li>▪ Stringer, treads, risers and all visible elements of stair painted in eggshell paint to match existing.</li> <li>▪ Soffit of stair to be painted in emulsion to match ceiling;</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Existing wall as highlighted on drawing (67)AP002 to be overboarded with new plasterboard to provide the required 30 minute fire protection.</li> <li>▪ Existing door 1A-G-D13 to provide 30min fire protection. Method of upgrade to be confirmed following fire engineer's door survey</li> <li>▪ Proposed door 1A-G-D02, 1A-G-D03, 1A-G-D04, 1A-G-D04 and 1A-G-D05 to be FD30 door</li> <li>▪ 1no. 13a (6 litres aqueous film forming foam (AFFF) and 1no. 34b (2kg carbon dioxide) fire extinguishers.</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ For window information refer to window schedule;</li> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>



*New plaster finish to damaged areas of walls following removal of existing service and intrusive investigations*





*Existing door containing asbestos underneath stairs to basement, to be replaced with new door to match design of existing. Refer to BDP drawing (32)AD001*



*Where evidence of dampness exists, assess condition and associated structure, rectify source and carry out repairs and relining where necessary;*

<b>1-1A Montague Street – Ground Level</b>	
<b>Room No: 1AMS Open Yard, Front stone steps and entrance landings</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Doors to be redecorated;</li> <li>▪ Existing stucco to be made good where required and redecorated;</li> <li>▪ All vegetation to be removed from brick facades and brick perimeter walls, brick to be cleaned;</li> <li>▪ Concrete and stone flagstones to be cleaned and made good where necessary. See details and method statement on BDP drawing (24)AD001;</li> <li>▪ Metal balustrades to be redecorated</li> <li>▪ Gully covers to be cleaned and unblocked where required;</li> </ul>
Ceiling	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Gully covers to be cleaned and unblocked where required;</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ Remove all friable of paint or loose/live plaster from stucco walls</li> <li>▪ Areas of existing damaged stucco to be made good where required and redecorated;</li> <li>▪ Existing external doors to be repaired where necessary and redecorated in a high gloss, weather resistant paint; For door information refer to door schedule;</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ Refer to finishes schedule.</li> </ul>
Fireplace	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ For door information refer to door schedule</li> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>



*Existing stucco to be made good where required and redecorated. Existing stone steps to be cleaned and made good where necessary. Existing balustrades to be redecorated.*

<b>1-1A Montague Street – Ground Level</b>	
<b>Room No: Rear Garden</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ All vegetation to be removed from brick facades and brick perimeter walls, brick to be cleaned;</li> <li>▪ Existing plants and hedges to be removed from rear garden where required. See BDP drawing (18)AP007;</li> <li>▪ Existing concrete and stone flagstones to be cleaned and made good where necessary. See details and method statement on BDP drawing (24)AD001;</li> <li>▪ Area of existing stone flagstones to be removed and relocated in plant area. See BDP drawing (18)AP007;</li> <li>▪ Existing fence in rear garden to be redecorated in exterior grade paint;</li> <li>▪ Timber clad enclosure to be created in the rear garden to contain plant; See BDP drawing (41)AD003;</li> <li>▪ New raised garden retreat area to be created using flagstones to match existing seating area; See BDP drawing (20)AP001;</li> <li>▪ Gully covers to be cleaned and unblocked where required;</li> <li>▪ New shrubbery with pebbled mulch areas, new timber edge restraint to demarcate paving from grass and pebbled mulch, new paving slabs in Yorkshire stone to match existing to connect property with retreat area and to form base for new plant area to be laid according to BDP drawing (20)AP007;</li> <li>▪ Existing floor construction over Barrel Vault 1MS/1/019 to be perforated to allow incoming pipework for condensing system to enter into the property and new flue exhaust and new boiler flue from below to discharge outside.</li> </ul>
Ceiling	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Concrete and stone flagstones to be cleaned and made good where necessary. See details and method statement on BDP drawing (24)AD003;</li> <li>▪ Ground to be levelled and prepared with stone base and bedding for new raised garden retreat area. New flagstones to match existing to be laid according to BDP drawing (20)AP007;</li> <li>▪ Gully covers to be cleaned and unblocked where required;</li> </ul>
External walls, windows, doors, railings	<ul style="list-style-type: none"> <li>▪ All vegetation to be removed from brick facades and brick perimeter walls, brick to be cleaned;</li> <li>▪ Existing railings to be redecorated with exterior grade paint finish. New section of railing to be added to match existing adjacent. Refer to BDP drawing 24AD002.</li> <li>▪ Existing rear gate to be redecorated and locked shut. Access from rear limited for plant maintenance only.</li> <li>▪ Existing perimeter garden railing to be redecorated in exterior grade paint;</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>



Joinery	<ul style="list-style-type: none"> <li>▪ 4 New hardwood timber table and benches</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>



*Existing plants and hedges to be removed from rear garden where required. Refer to drawing (18)AP007*  
*Timber clad enclosure to be created to contain plant. Refer to drawing (41)AD003*  
*Ground to be levelled and prepared with stone base and bedding for new raised garden retreat area at the bottom of the garden using flagstones to match existing seating area. New seating area with 3 x new hardwood tables. Existing fence in rear garden to be redecorated in exterior grade paint.*



*Existing flagstones to be cleaned and made good where necessary. Refer to BDP drawing 24AD003. Area of existing stone flagstones to be removed and relocated in plant area. See BDP drawing (18)AP007;*  
*Existing balustrades to be redecorated and new section of railing to be added to match existing adjacent. Refer to BDP drawing 24AD002.*

Room No: 1A MS Open yard	
Item	Scope of works
General	<ul style="list-style-type: none"> <li>▪ Existing timber gate secured, refurbished and redecorated in a high gloss, weather resistant paint; For door information refer to door schedule;</li> <li>▪ New proposed section of perimeter railing to match detail, profile and height of existing adjacent railing on wall that forms the boundary between the 1A MS and the British Museum. Refer to drawing (41)AD001.</li> <li>▪ All vegetation to be removed and concrete to be cleaned and made good where necessary</li> <li>▪ Gully covers to be cleaned and unblocked where required</li> <li>▪ New railing added to existing parapet. Height provided to comply with current building regulations.</li> <li>▪ All existing redundant M&amp;E equipment carefully removed. Wall to be made good and redecorated with exterior paint finish.</li> <li>▪ New railing added to existing parapet along the perimeter of the open Yard 1AMA/2/X01. Height provided to comply with current building regulations.</li> <li>▪ New condensing system, incoming pipework, boiler flue and flue exhaust. Refer to M&amp;E specifications and drawings.</li> </ul>
Ceiling	<ul style="list-style-type: none"> <li>▪ <u>N/A</u></li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Gully covers to be cleaned and unblocked where required;</li> <li>▪ Allow for asphalt repairs around perimeter of existing step to door 1A-G-D08.</li> <li>▪ Openings through concrete screed required for services routes from level below.</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ Remove all friable of paint or loose/live plaster from stucco walls</li> <li>▪ Existing stucco to be made good where required and redecorated;</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ <u>N/A</u></li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ Existing timber gate secured, refurbished and redecorated in a high gloss, weather resistant paint; For door information refer to door schedule;</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ Refer to finishes schedule.</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ <u>N/A</u></li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Lighting design in accordance with building services engineer's details.</li> <li>▪ New condensing system, incoming pipework, boiler flue and flue exhaust. Refer to M&amp;E specifications and drawings</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ For door information refer to door schedule</li> </ul>



*Existing timber gate secured, refurbished and redecorated in a high gloss, weather resistant paint; For door information refer to door schedule. New proposed section of perimeter railing to match detail, profile and height of existing adjacent railing on wall that forms the boundary between the 1A MS and the British Museum. Refer to drawing (41)AD001. Allow for asphalt repairs around perimeter of existing step to door 1A-G-D08.*



*All existing redundant M&E equipment carefully removed. Wall to be made good and redecorated with exterior paint finish.*

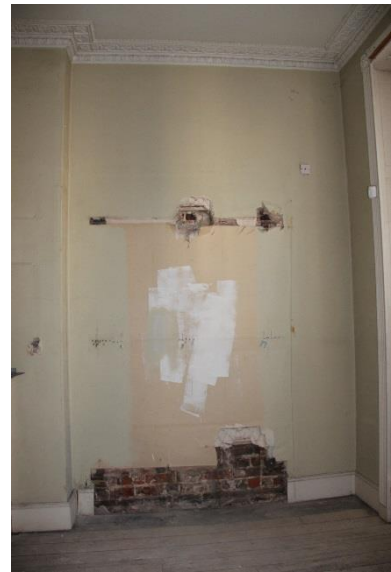


**FIRST FLOOR LEVEL**

<b>Room No. 1MS/3/002 Office</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Existing furniture, fittings and services have already been removed;</li> <li>▪ Original opening to be reinstated; Modern timber stud and plasterboard infill to be carefully removed; Refer to structural engineer's information;</li> <li>▪ Carefully remove metal work and modern plaster finishes associated with previous museum shelving arrangement;</li> <li>▪ New replacement lath and plaster finish to damaged areas of walls. Refer to BDP drawings (70)AD015/016/017/018;</li> <li>▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum;</li> <li>▪ Existing ceilings to be redecorated with matt emulsion paint.</li> <li>▪ Existing fireplace, skirting in good condition, doors, architrave, cornices and decorative mouldings to be retained, repaired where necessary and redecorated;</li> <li>▪ New services provision throughout. Electrical distribution to be recessed. New service riser enclosure to contain main service run, See BDP detail drawing 50AD009;</li> <li>▪ New lighting to be installed</li> <li>▪ Windows to be redecorated and receive full overhaul to ensure full operation</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ Ceiling to be redecorated with white emulsion paint finish;</li> <li>▪ Existing cornice to be made good where necessary and redecorated with thin paint coating to ensure that decorative detail is not lost.</li> <li>▪ Existing cornice as highlighted in ceiling drawing (35)AP003 carefully removed and set aside with care. Reinstated and redecorated when the overboarding of the wall is completed.</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No current requirement for re-levelling.</li> <li>▪ Floor boards appear in good condition. Where damaged, they are to be fully repaired and made good as required;</li> <li>▪ Notched joists to be repaired/strengthened where required (to structural engineer's detail);</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> <li>▪ New electrical floor outlet boxes as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.</li> <li>▪ New notches to joists required. Refer to (50)AP003 and structural details for information.</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ Exterior stucco facade to be repaired and brick façade to be cleaned. No other works to take place on external wall other than repair and redecoration of reveal and stone window cills if required;</li> <li>▪ Windows refurbished in situ. Windows, window panels, window reveals, window cills to be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match skirting;</li> </ul>

	<ul style="list-style-type: none"> <li>▪ Window shutters to remain operational. To be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match redecorated joinery. Shutter bars to be restricted to prevent further damage to adjacent reveal panels;</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Walls to be made good where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary. 3 x coats of non hydraulic lime plaster finish unless stated otherwise.</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.</li> <li>▪ Opening to wall required to allow services routes to pass through wall. Refer to (50)AP003 for information</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ Existing internal doors and architrave to be repaired where necessary and redecorated in eggshell paint, For door information refer to door schedule;</li> <li>▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows.</li> <li>▪ Existing skirting to be redecorated with eggshell paint.</li> <li>▪ Existing skirting as highlighted in drawing (70)AD016 and (70)AD017 to be carefully removed, set aside with care and reinstated and redecorated in eggshell after overboarding of wall is completed.</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ New enclosure design for floor mounted VRF units. Refer to detail drawing (50)AD001</li> <li>▪ New enclosure design for main service run. Refer to BDP detail drawing (50)AD009;</li> <li>▪ Fine decorative cornices to be cleaned prior to redecoration with new thin paint coating to ensure decorative detail is not lost.</li> <li>▪ Refer to finishes schedule.</li> </ul>
Fireplace	<ul style="list-style-type: none"> <li>▪ Existing flu to be swept;</li> <li>▪ Ventilated cap to be installed at top of chimney and flu balloon to be installed at the base of the flu</li> <li>▪ Gently clean fireplace with soap flakes dissolved in warm water using a soft cloth</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Refer to drawing (67)AD003</li> <li>▪ Existing door 1-1-D03 &amp; D04 to provide 30min fire protection. For method of upgrade refer to fire engineer report and door schedule.</li> <li>▪ Existing walls as highlighted on drawing (67)AP003 to be overboarded with new fire resistant board to provide the required 30 minute fire protection.</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ Tenant to provide their own blinds;</li> <li>▪ For window information refer to window schedule;</li> </ul>

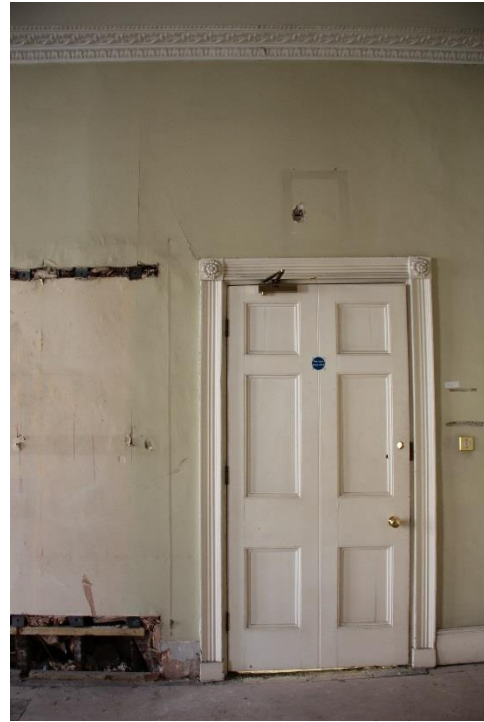
	▪ For ironmongery information refer to ironmongery schedule.
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*ELEVATION 1 - Metal work and damaged modern plaster finishes to be carefully removed and replaced with lath and plaster to match existing adjacent. Redecoration throughout.*



*ELEVATION 2 - Metal work and damaged modern plaster finishes to be carefully removed and replaced with lath and plaster to match existing adjacent. Windows and shutters to undergo full overhaul to ensure good working condition and receive full redecoration. Redecoration throughout.*



*ELEVATION 3 - Existing door refurbished and redecorated. Fire upgrade requirements. Damaged modern wall finishes to be made good to provide a suitable surface for new fire resistant board. Lath and plaster to be overboarded to achieve 30 minute fire protection. Existing cornice and skirting carefully removed, set aside with care and reinstated when the overboarding is completed. Ironmongery to be retained and refurbished.*



*ELEVATION 4 - Original opening to be reinstated; Modern timber stud and plasterboard infill to be carefully removed; Damaged modern wall finishes to be carefully removed with existing adjacent construction to be made good. New lath and plaster finishes required and full redecoration throughout.*