

# 1 - 1A Montague Street Refurbishment

## Scope of Works

Rev B

# BDP.

Building Design Partnership  
16 Brewhouse Yard  
London  
EC1v 4LJ

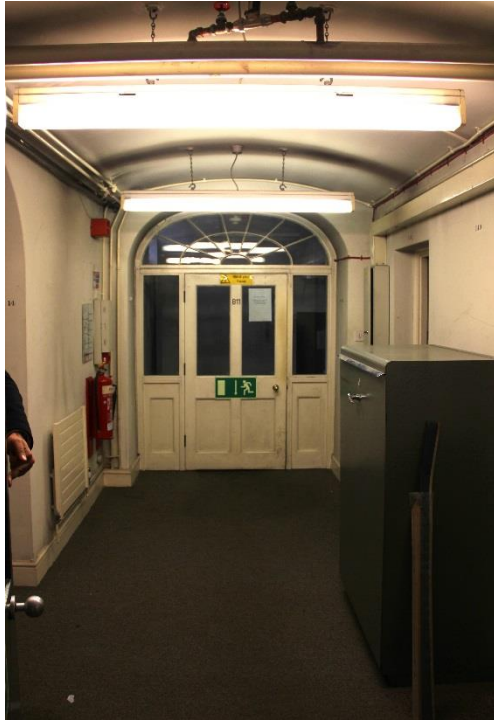
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Issued for Tender

**LOWER GROUND FLOOR LEVEL**

<b>Room No. 1MS/1/010 Lobby</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Existing fittings and services have already been removed;</li> <li>▪ New plaster finish to any damaged area of walls;</li> <li>▪ Walls to be redecorated with matt emulsion paint finish-allow for 2 coats, Colour to be agreed with architect and British Museum;</li> <li>▪ Ceiling to be redecorated with matt emulsion paint.</li> <li>▪ New ceiling bulkheads required to contain incoming services;</li> <li>▪ Existing skirting, doors, architrave, and fan light to be retained, repaired where necessary and refinished;</li> <li>▪ New services provision throughout.</li> <li>▪ New lighting to be installed</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable of loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ Ceiling and bulkheads to be redecorated with white emulsion paint finish;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No requirement for re-levelling.</li> <li>▪ Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Walls to be made good where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings.</li> <li>▪ Opening to walls required to allow services routes to pass through. Refer to (50)AP001 and Structural details for information.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ Existing internal doors to be repaired where necessary and redecorated in eggshell paint. For door information refer to door schedule;</li> <li>▪ Existing skirting to be redecorated with eggshell paint</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>

Fire Protection	<ul style="list-style-type: none"> <li>▪ Refer to (67)AP001. To be confirmed on site if stair enclosures provides 30 min fire resistant. If not to be overboarded with new fire resistant board to provide the required 30 minute fire protection</li> <li>▪ Door LG-1-D06 to be FD30</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>



*New ceiling bulkheads required to run each side of the ceiling to contain incoming services.*



*Existing doors, architrave, fanlight, walls, ceiling and skirting to be redecorated*

<b>Room No. 1MS/1/011 Lobby</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Existing fittings and services have already been removed;</li> <li>▪ New plaster finish to any damaged area of walls;</li> <li>▪ Walls to be redecorated with matt emulsion paint finish-allow for 2 coats, Colour to be agreed with architect and British Museum;</li> <li>▪ Ceiling to be redecorated with matt emulsion paint.</li> <li>▪ Existing skirting, doors, architrave, and fan light to be retained, repaired where necessary and refinished;</li> <li>▪ New services provision throughout. New ceiling bulkheads required to contain incoming services</li> <li>▪ New lighting to be installed</li> <li>▪ New threshold matt and edging at entrance.</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ Ceiling and bulkheads to be redecorated with white emulsion paint finish;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No requirement for re-levelling.</li> <li>▪ Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ Existing external doors to be refurbished in situ and redecorated; Colour to be agreed with architect and British Museum;</li> <li>▪ New fully louvered door 1-LG-D20. Refer to door schedule.</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Walls to be made good where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings.</li> <li>▪ Opening to walls required to allow services routes to pass through. Refer to (50)AP001 and structural details for information.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ Existing external doors to be repaired where necessary and redecorated in a high gloss finish, weather resistant paint;</li> <li>▪ Existing internal doors and fanlight to be repaired where necessary and redecorated in eggshell paint.</li> <li>▪ For door information refer to door schedule;</li> <li>▪ Existing skirting to be redecorated with eggshell paint</li> </ul>

Decorations	<ul style="list-style-type: none"><li>▪ N/A</li></ul>
Fixtures and Fittings	<ul style="list-style-type: none"><li>▪ N/A</li></ul>
Services	<ul style="list-style-type: none"><li>▪ Installation of new mechanical and electrical services.</li><li>▪ New enclosure with double doors for electrical services.</li><li>▪ Lighting design in accordance with building services engineer's details.</li></ul>
Fire Protection	<ul style="list-style-type: none"><li>▪ N/A</li></ul>
Additional Notes	<ul style="list-style-type: none"><li>▪ For window information refer to window schedule;</li><li>▪ For ironmongery information refer to ironmongery schedule.</li></ul>



*Existing external doors and vault door to be refurbished in situ and redecorated;*



*Existing internal doors, architrave, fanlight, walls and ceiling to be redecorated*

<b>Room No. 1MS/1/012 Office</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Existing furniture, fittings and services have already been removed;</li> <li>▪ Damp proof works to be carried out;</li> <li>▪ New plaster finish to any damaged area of walls;</li> <li>▪ Walls to be redecorated with matt emulsion paint finish-allow for 2 coats, Colour to be agreed with architect and British Museum;</li> <li>▪ Ceiling to be redecorated with matt emulsion paint.</li> <li>▪ Existing skirting, door and architrave to be retained, repaired where necessary and refinished;</li> <li>▪ New services provision throughout. New surface mounted perimeter trunking for horizontal distribution. Electrical services chased into wall when they have to travel from floor or ceiling voids to the trunking enclosure.</li> <li>▪ New lighting to be installed</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ Ceiling to be redecorated with white emulsion paint finish;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No requirement for re-levelling.</li> <li>▪ Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ Exterior stucco facade to be repaired. No other works to take place on external wall other than repair and redecoration of reveal and stone window cills if required.</li> <li>▪ Window refurbished in situ. Window and window cill to be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match skirting;</li> <li>▪ No shutters;</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Refer to Heywood's proposed damp course system survey and report for damp proof works to be carried out;</li> <li>▪ Walls to be made good where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings.</li> <li>▪ Opening to wall required to allow services routes to pass through. Refer to (50)AP001 and structural details for information.</li> </ul>



Joinery	<ul style="list-style-type: none"><li>▪ Existing internal doors to be repaired where necessary and redecorated in eggshell paint; For door information refer to door schedule;</li><li>▪ Existing skirting to be redecorated with eggshell paint;</li></ul>
Decorations	<ul style="list-style-type: none"><li>▪ N/A</li></ul>
Fixtures and Fittings	<ul style="list-style-type: none"><li>▪ N/A</li></ul>
Services	<ul style="list-style-type: none"><li>▪ Installation of new mechanical and electrical services.</li><li>▪ Lighting design in accordance with building services engineer's details.</li></ul>
Fire Protection	<ul style="list-style-type: none"><li>▪ N/A</li></ul>
Additional Notes	<ul style="list-style-type: none"><li>▪ Tenant to provide their own blinds;</li><li>▪ For window information refer to window schedule;</li><li>▪ For ironmongery information refer to ironmongery schedule</li></ul>



*Existing internal door, architrave, skirting, window, walls and ceiling to be redecorated*

<b>Room No. 1MS/1/013 Toilet &amp; Shower</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Existing furniture, fittings and services have already been removed;</li> <li>▪ New infill to be created to block existing opening in party wall between 1MS and 1AMS; See BDP drawing (22)AD002 for further details;</li> <li>▪ New plasterboard stud partition with plaster finish to be formed to create shower enclosure and lobby area;</li> <li>▪ New plaster finish to any damaged area of walls;</li> <li>▪ All new sanitary ware and associated services to be installed;</li> <li>▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats, and tile finish as per detail drawing (74)AD004 Colour and tile specification to be agreed with architect and British Museum;</li> <li>▪ New ceiling bulkhead to be installed to contain services in specific area of room. See BDP drawing (35)AP001</li> <li>▪ Existing door and architrave to be retained, repaired where necessary and refinished;</li> <li>▪ New services provision throughout.</li> <li>▪ New lighting to be installed</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable of loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ New ceiling bulkhead to be installed in specific area of room to conceal services.</li> <li>▪ Ceiling to be decorated with white emulsion paint finish;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No requirement for re-levelling.</li> <li>▪ Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ Ceramic tile finish to floors. Refer to (74)AD004 For specification;</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> </ul>
External walls, windows, doors	N/A
Internal walls	<ul style="list-style-type: none"> <li>▪ Walls to be made good where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> <li>▪ New internal plasterboard stud partitions with plaster finish to be formed to create shower enclosure;</li> <li>▪ Walls to be prepared and redecorated in matt emulsion with tile finish to a height of 1130mm as per detail drawings 74AD0004. Suitable pastel colours and tile specification to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> </ul>

	<ul style="list-style-type: none"> <li>▪ Opening to wall required to allow services routes to pass through. Refer to (50)AP001 and structural details for information.</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ Existing internal door to be repaired where necessary and redecorated in eggshell paint; For door information refer to door schedule;</li> <li>▪ Existing skirting to be redecorated with eggshell paint</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ Refer to sanitary ware schedule.</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>



*New infill to be created to block existing opening in party wall between 1MS and 1AMS;*



*New plasterboard stud partition with plaster finish to be formed to create shower enclosure and lobby area within existing room*

<b>Room No. 1MS/1/014 Office</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Existing furniture, fittings and services have already been removed;</li> <li>▪ Damp proof works to be carried out;</li> <li>▪ New plaster finish to any damaged area of walls;</li> <li>▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum;</li> <li>▪ New 60min fire resistant suspended ceiling to be installed and decorated with matt emulsion paint</li> <li>▪ Existing skirting, doors and architrave to be retained, repaired where necessary and refinished;</li> <li>▪ New services provision throughout. New surface mounted perimeter trunking for horizontal distribution. Electrical services chased into wall when they have to travel from floor or ceiling voids to the trunking enclosure.</li> <li>▪ New lighting to be installed</li> <li>▪ Windows to be redecorated and receive full overhaul to ensure full operation</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ New 60min fire resistant suspended ceiling to be installed and decorated with matt emulsion paint;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No requirement for re-levelling.</li> <li>▪ Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ Exterior stucco facade to be repaired. No other works to take place on external wall other than repair and redecoration of reveal and stone window cills if required.</li> <li>▪ Windows refurbished in situ. Windows and window cills to be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match skirting;</li> <li>▪ No shutters</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Refer to Heywood's proposed damp course system survey and report for damp proof works to be carried out;</li> <li>▪ Walls to be made good where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings.</li> </ul>

	<ul style="list-style-type: none"> <li>▪ Opening to wall required to allow services routes to pass through. Refer to (50)AP001 and structural details for information.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ Existing internal doors to be repaired where necessary and redecorated in eggshell paint; For door information refer to door schedule;</li> <li>▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows;</li> <li>▪ Existing skirting to be redecorated with eggshell paint;</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Refer to drawing (67)AD001</li> <li>▪ New 60min fire resistant suspended ceiling to be installed and decorated with matt emulsion paint; See detail (35)AD001</li> <li>▪ Existing door 1-LG-D07 to provide 30min fire protection. Method of upgrade to be confirmed following fire engineer's door survey</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ Tenant to provide their own blinds;</li> <li>▪ For window information refer to window schedule;</li> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>



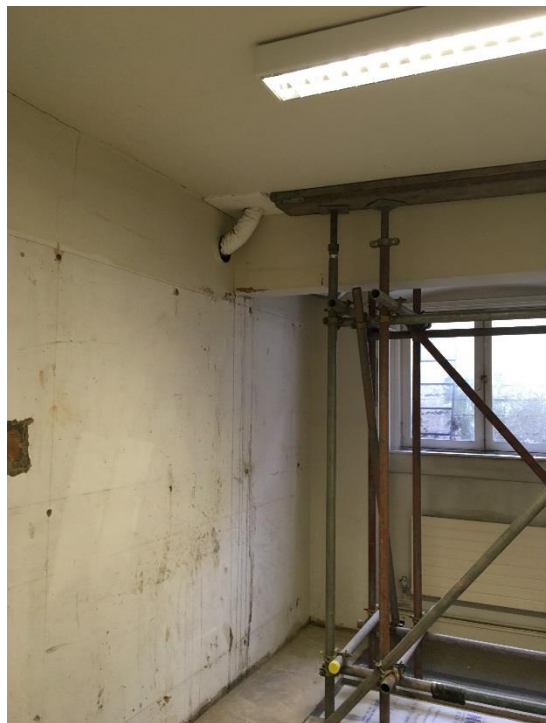
*Existing internal door, architrave, skirting, windows, walls and ceiling to be redecorated*

<b>Room No. 1MS/1/015 Office</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Existing furniture, fittings and services have already been removed;</li> <li>▪ New opening created within masonry wall. Refer to structural engineers information;</li> <li>▪ Damp proof works to be carried out;</li> <li>▪ New plaster finish to any damaged area of walls;</li> <li>▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum;</li> <li>▪ New 60min fire resistant suspended ceiling to be installed and decorated with matt emulsion paint</li> <li>▪ New riser access flush doors 1-LG-D15 to be fitted and decorated in eggshell paint;</li> <li>▪ Existing skirting, door 1-LG-D08 and architrave to be retained, repaired where necessary and refinished;</li> <li>▪ New services provision throughout. New surface mounted perimeter trunking for horizontal distribution. Electrical services chased into wall when they have to travel from floor or ceiling voids to the trunking enclosure.</li> <li>▪ New lighting to be installed</li> <li>▪ Windows to be redecorated and receive full overhaul to ensure full operation</li> </ul>
Ceiling	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable of loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ New 60min fire resistant suspended ceiling to be installed and decorated with matt emulsion pain</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No requirement for re-levelling.</li> <li>▪ Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ All vegetation to be removed from exterior stucco light wells, light wells and balustrades to be cleaned and redecorated. No other works to take place on external wall other than repair and redecoration of reveal and stone window cills if required.</li> <li>▪ Windows refurbished in situ. Windows and window cills to be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match skirting;</li> <li>▪ No shutters</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Refer to Heywood's proposed damp course system survey and report for damp proof works to be carried out;</li> <li>▪ New opening created within masonry wall. Refer to structural engineers information;</li> <li>▪ Walls to be made good where new opening has been created, where intrusive investigations have been carried out and fixtures, fittings and services have been</li> </ul>



	<p>removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</p> <ul style="list-style-type: none"> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings.</li> <li>▪ Opening to wall required to allow services routes to pass through. Refer to (50)AP001 and structural details for information.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ New riser access flush doors 1-LG-D15 to be fitted and decorated in eggshell paint;</li> <li>▪ Existing door 1-LG-D08 to be retained, repaired where necessary and redecorated in eggshell paint</li> <li>▪ For door information refer to door schedule</li> <li>▪ New timber hardwood skirting required to match existing adjacent profile, painted in eggshell paint to match doors and windows.</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Refer to drawing (67)AD001</li> <li>▪ New 60min fire resistant suspended ceiling to be installed and decorated with matt emulsion paint; See detail (35)AD001</li> <li>▪ Existing door 1-LG-D08 to provide 30min fire protection. Method of upgrade to be confirmed following fire engineer's door survey</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ Tenant to provide their own blinds;</li> <li>▪ For window information refer to window schedule;</li> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>





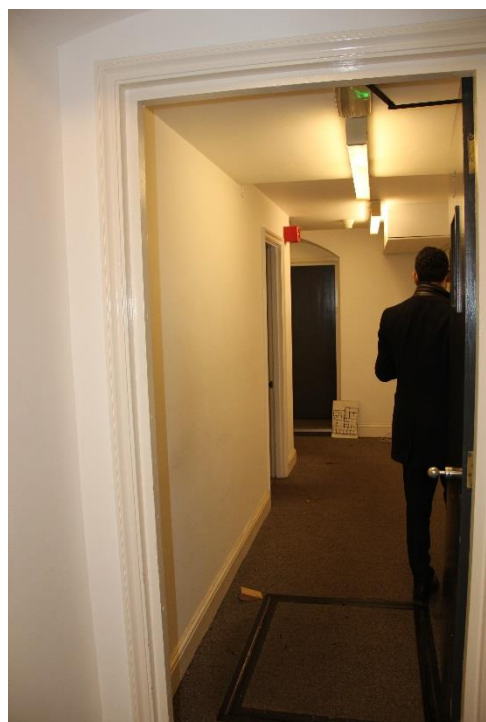
*Existing walls, ceiling, windows and internal door to be redecorated. New skirting required.*



*Existing light wells and balustrades to be cleaned and redecorated*

<b>Room No. 1MS/1/017 Passage</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Existing furniture, fittings and services have already been removed;</li> <li>▪ New plasterboard stud partitions with plaster finish to be formed to create kitchenette and service riser;</li> <li>▪ New plaster finish to any damaged area of walls;</li> <li>▪ Walls to be decorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum;</li> <li>▪ New suspended ceiling with access panel to be installed and decorated with matt emulsion paint;</li> <li>▪ New door 1-LG-D11, 1-LG-D22, associated architrave and skirting to new partitions to be fitted and decorated in eggshell paint;</li> <li>▪ New riser access flush doors 1-LG-D15 to be fitted and decorated in eggshell paint;</li> <li>▪ Existing doors 1-LG-D10 &amp; 1-LG-D14, architrave and skirting in good condition to be retained, repaired where necessary and refinished;</li> <li>▪ New services provision throughout.</li> <li>▪ New lighting to be installed</li> </ul>
Ceiling	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ New suspended ceiling with access panel to be installed and decorated with matt emulsion paint</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No requirement for re-levelling.</li> <li>▪ Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Walls to be made good where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> <li>▪ New plasterboard stud partition with plaster finish to be formed to create kitchenette and service riser;</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings.</li> <li>▪ Opening to wall required to allow services routes to pass through. Refer to (50)AP001 and structural details for information.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ New internal doors 1-LG-D11, 1-LG-D15, 1-LG-D22 and architrave to be fitted and decorated in eggshell paint;</li> </ul>

	<ul style="list-style-type: none"> <li>▪ Existing internal doors and architrave to be repaired where necessary and redecorated in eggshell paint</li> <li>▪ For door information refer to door schedule;</li> <li>▪ New timber hardwood skirting required for new partitions to match profile of existing, painted in eggshell paint to match doors and windows.</li> <li>▪ Existing skirting to be redecorated with eggshell paint</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Refer to drawing (67)AD001</li> <li>▪ Existing door 1-LG-D10 &amp; D14 to provide 30min fire protection. Method of upgrade to be confirmed following fire engineer's door survey</li> <li>▪ New door 1-LG-D22 to provide 60 min fire protection.</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>



*New suspended ceiling to be installed to conceal new services and decorated in matt emulsion paint;*



*Existing doors retained to be refurbished and redecorated*



*New door to be installed in existing opening linking 1MS to 1AMS*

<b>Room No. 1MS/1/018 Toilets</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Existing sanitary ware, fittings and services have already been removed;</li> <li>▪ New plasterboard stud partitions with plaster finish to be formed to create WC cubicles;</li> <li>▪ New plaster finish to any damaged area of walls;</li> <li>▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum;</li> <li>▪ New suspended ceiling to be installed and decorated with matt emulsion paint;</li> <li>▪ New doors 1-LG-D11, 1-LG-D12 &amp; 1-LG-D13 and associated architrave to be fitted and decorated in eggshell paint;</li> <li>▪ All new sanitary ware and associated services to be installed; See BDP drawing (70)AD005</li> <li>▪ New services provision throughout;</li> <li>▪ New lighting to be installed;</li> </ul>
Ceiling	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ New suspended ceiling to be installed to conceal services and decorated with matt emulsion paint</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No requirement for re-levelling</li> <li>▪ Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ Ceramic tile finish to floors. Refer to (74)AD005 For specification;</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Walls to be made good where intrusive investigations have been carried out and sanitary ware, fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> <li>▪ New plasterboard stud partition with plaster finish to be formed to create WC cubicles;</li> <li>▪ Walls to be prepared and redecorated in matt emulsion with tile finish to a height of 1130mm as per detail drawings 74AD0005. Suitable pastel colours and tile specification to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ New internal doors 1-LG-D11, 1-LG-D12 &amp; 1-LG-D13 and associated architrave to be fitted and decorated in eggshell paint;</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>

Fixtures and Fittings	<ul style="list-style-type: none"><li>▪ Refer to sanitary ware schedule</li></ul>
Services	<ul style="list-style-type: none"><li>▪ Installation of new mechanical and electrical services.</li><li>▪ Lighting design in accordance with building services engineer's details.</li></ul>
Fire Protection	<ul style="list-style-type: none"><li>▪ N/A</li></ul>
Additional Notes	<ul style="list-style-type: none"><li>▪ For ironmongery information refer to ironmongery schedule.</li></ul>



*New toilet layout and sanitary ware proposed;*



<b>Room No. 1MS/1/019 Store and Cleaner's Cupboard</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Existing fittings and services have already been removed;</li> <li>▪ Damp proof works to be carried out;</li> <li>▪ New plaster finish to any damaged area of walls and ceiling;</li> <li>▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum;</li> <li>▪ Existing ceilings to be redecorated with matt emulsion paint.</li> <li>▪ Existing door 1-LG-D14 and architrave to be retained, repaired where necessary and refinished;</li> <li>▪ New services provision throughout.</li> <li>▪ New butler sink and associates services to be installed</li> <li>▪ New lighting to be installed</li> </ul>
Ceiling	<ul style="list-style-type: none"> <li>▪ Refer to Heywood's proposed damp course system survey and report for damp proof works to be carried out;</li> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings to be repaired as required;</li> <li>▪ Ceiling to be redecorated with white emulsion paint finish;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No requirement for re-levelling</li> <li>▪ Stone floor appears in good condition. Any areas of damage to be made good as required;</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Refer to Heywood's proposed damp course system survey and report for damp proof works to be carried out;</li> <li>▪ Walls to be made good where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> <li>▪ Walls to be prepared and redecorated in matt emulsion.</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ Existing internal doors and architrave to be repaired where necessary and redecorated in eggshell paint</li> <li>▪ For door information refer to door schedule;</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ Refer to sanitary ware schedule</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>



Fire Protection	<ul style="list-style-type: none"><li>▪ Partition as highlighted in (67)AD001 to be overboarded with 30 minute fire resistant construction.</li><li>▪ Existing door 1-LG-D14 to provide 30min fire protection. Method of upgrade to be confirmed following fire engineer's door survey</li></ul>
Additional Notes	<ul style="list-style-type: none"><li>▪ For window information refer to window schedule;</li><li>▪ For ironmongery information refer to ironmongery schedule.</li></ul>





*Damp proof works to be carried out in accordance with Heywood's' damp course system report.  
Walls, ceiling and doors to be redecorated;*



*Damp proof works to be carried out in accordance with Heywood's damp course system report.  
Walls, ceiling and doors to be redecorated.*

<b>Room No. 1MS/1/021 Lobby</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Existing fittings and services have already been removed;</li> <li>▪ New plaster finish to any damaged area of walls;</li> <li>▪ Walls to be redecorated with matt emulsion paint finish-allow for 2 coats, Colour to be agreed with architect and British Museum;</li> <li>▪ Ceiling to be redecorated with matt emulsion paint;</li> <li>▪ New ceiling bulkheads required to contain incoming services;</li> <li>▪ New fire resistant door 1-LG-D16 to be fitted in existing arched wall opening, Refer to detail (32)AD002;</li> <li>▪ Existing stairs, skirting, doors 1-LG-D06, D07 &amp; D08, and architrave to be retained, repaired where necessary and refinished;</li> <li>▪ New services provision throughout.</li> <li>▪ New lighting to be installed</li> </ul>
Ceiling	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable of loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ Ceiling and bulkheads to be redecorated with white emulsion paint finish;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No requirement for re-levelling.</li> <li>▪ Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Walls to be made good where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings.</li> <li>▪ Opening to wall required to allow services routes to pass through. Refer to (50)AP001 and structural details for information.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ New fire resistant door 1-LG-D16 to be fitted in existing arched wall opening, Refer to detail (32)AD002;</li> <li>▪ Existing internal doors 1-LG-D06, D07 &amp; D08 and architrave to be repaired where necessary and redecorated in eggshell paint.</li> <li>▪ For door information refer to door schedule;</li> <li>▪ Existing skirting to be redecorated with eggshell paint</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>

Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Refer to drawing (67)AP001</li> <li>▪ Existing door 1-LG-D06, D07 &amp; D08 and to provide 30min fire protection. Method of upgrade to be confirmed following fire engineer's door survey.</li> <li>▪ Proposed door 1-LG-D16 to be FD30 door</li> </ul>
Stairs	<ul style="list-style-type: none"> <li>▪ Repairs to be carried out to existing stone stairs and handrail in accordance with detail 24AD002;</li> <li>▪ Balustrade redecorated in black metal paint;</li> <li>▪ Handrail to be sanded down, stained and oiled;</li> <li>▪ Stringer, treads, risers and all visible elements of stair painted in eggshell paint to match existing.</li> <li>▪ Soffit of stair to be painted in emulsion to match ceiling;</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>



*New ceiling bulkheads required to run each side of the ceiling to contain incoming services. See BDP drawing (50)AD102*



*New fire resistant door 1-LG-D16 to be fitted in existing arched wall opening, Refer to detail (32)AD002*

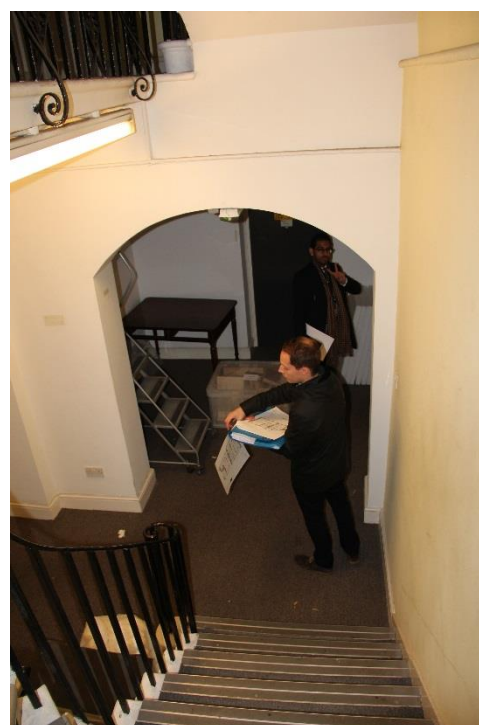
Room No. 1MS/1/S01 Stairs	
Item	Scope of works
General	<ul style="list-style-type: none"> <li>▪ Existing fittings and services have already been removed;</li> <li>▪ New plaster finish to any damaged area of walls;</li> <li>▪ Walls to be redecorated including inside cupboard below stairs with matt emulsion paint finish-allow for 2 coats, Colour to be agreed with architect and British Museum;</li> <li>▪ Ceiling to be redecorated with matt emulsion paint.</li> <li>▪ Existing stairs, skirting, doors 1-LG-D09 &amp; D10 and associated architrave to be retained, repaired where necessary and refinished;</li> <li>▪ New services provision throughout.</li> <li>▪ New lighting to be installed</li> </ul>
Ceiling	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ Ceiling to be redecorated with white emulsion paint finish;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No requirement for re-levelling.</li> <li>▪ Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Walls to be made good where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ Existing internal doors 1-LG-D09, D10 and architrave to be repaired where necessary and redecorated in eggshell paint; For door information refer to door schedule;</li> <li>▪ Existing skirting to be redecorated with eggshell paint</li> </ul>
Stairs	<ul style="list-style-type: none"> <li>▪ Repairs to be carried out to existing stone stairs in accordance with BDP detail drawing 24AD002;</li> <li>▪ Balustrade decorated in black metal paint;</li> <li>▪ Stringers, treads, risers and all visible elements of stair painted in eggshell paint to match existing;</li> <li>▪ Soffit of stair to be painted in emulsion paint to match ceiling;</li> </ul>



Decorations	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Refer to drawing (67)AD001</li> <li>▪ Existing doors 1-LG-D10 &amp; D09 to provide 30min fire protection. Method of upgrade to be confirmed following fire engineer's door survey</li> <li>▪ Proposed doors 1-LG-D16 to be FD30 doors</li> <li>▪ Partition below the stairs to be overboarded with 30 minute fire resistant construction</li> <li>▪ 1no. 13a (6 litres aqueous film forming foam (AFFF) and 1no. 34b (2kg carbon dioxide) fire extinguishers.</li> </ul>
Stairs	<ul style="list-style-type: none"> <li>▪ Repairs to be carried out to existing stone stairs and curved wooden handrail in accordance with detail 24AD001;</li> <li>▪ Balustrade redecorated in black metal paint;</li> <li>▪ Handrail to be sanded down, stained and oiled;</li> <li>▪ Stringer, treads, risers and all visible elements of stair painted in eggshell paint to match existing.</li> <li>▪ Soffit of stair to be painted in emulsion to match ceiling;</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>



*Existing walls, ceiling, doors to be retained, architrave and skirting to be redecorated*



*Existing stairs and balustrade to be redecorated*



*Existing door to 1AMS/1/004 to be removed and opening to be infilled.*



*New walk-on floor grille to be installed within existing lift shaft to access services and doors to be replaced*





<b>Room No. 1AMS/1/001 Office</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Existing furniture, fittings and services have already been removed;</li> <li>▪ New opening reinstated within masonry wall where door opening was previously blocked up; Refer to structural engineers information;</li> <li>▪ New structural opening created in loadbearing wall for services routes to travel from the existing lift shaft. Refer to structural engineer's information and BDP drawing (50)AD002.</li> <li>▪ New infill created in existing wall to enclose existing link to 1AMS/1/004</li> <li>▪ New plaster finish to any damaged area of walls;</li> <li>▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum;</li> <li>▪ New suspended ceiling to be installed and decorated with matt emulsion paint;</li> <li>▪ New doors 1A-LG-D03, 1A-LG-D14, associated architrave and skirting to be fitted and decorated in eggshell paint;</li> <li>▪ New walk-on floor grille to be installed within existing lift shaft. Detail to be confirmed;</li> <li>▪ New services provision throughout. New surface mounted perimeter trunking for horizontal distribution. Electrical services chased into wall when they have to travel from floor or ceiling voids to the trunking enclosure.</li> <li>▪ New lighting to be installed;</li> <li>▪ Windows to be redecorated and receive full overhaul to ensure full operation;</li> </ul>
Ceiling	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable of loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ New suspended ceiling to be installed to conceal services and decorated with matt emulsion paint</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No requirement for re-levelling.</li> <li>▪ Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ New walk on floor grille installed within existing lift shaft;</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ Exterior stucco facade to be repaired. No other works to take place on external wall other than repair and redecoration of reveal and stone window cills if required.</li> <li>▪ Windows refurbished in situ. Windows and window cills to be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match skirting;</li> <li>▪ No shutters</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Walls to be made good where new opening has been created and existing opening has been infilled, where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> </ul>

	<ul style="list-style-type: none"> <li>▪ New structural opening created in loadbearing wall for services routes to travel from the existing lift shaft. Refer to structural engineer's information and BDP drawing (50)AD002.</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ New internal doors 1A-LG-D03, 1A-LG-D14 and associated architrave to be fitted and decorated in eggshell paint; For door information refer to door schedule;</li> <li>▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows;</li> <li>▪ Existing skirting to be redecorated with eggshell paint;</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Refer to drawing (67)AD001</li> <li>▪ Proposed doors 1A-LG-D03 to be FD30 door</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ Tenant to provide their own blinds;</li> <li>▪ For window information refer to window schedule;</li> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>

<b>Room No. 1AMS/1/002 Office</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Existing furniture, fittings and services have already been removed;</li> <li>▪ Damp proof works to be carried out;</li> <li>▪ New opening reinstated within masonry wall where door opening was previously blocked up; Refer to structural engineers information;</li> <li>▪ New plaster finish to any damaged area of walls;</li> <li>▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum;</li> <li>▪ New suspended ceiling to be installed in specific area of room and decorated with matt emulsion paint. See BDP drawing (35)AP001.</li> <li>▪ Existing doors, architrave and skirting in good condition to be retained, repaired where necessary and refinished;</li> <li>▪ New services provision throughout. New surface mounted perimeter trunking for horizontal distribution. Electrical services chased into wall when they have to travel from floor or ceiling voids to the trunking enclosure.</li> <li>▪ New lighting to be installed;</li> <li>▪ Windows to be redecorated and receive full overhaul to ensure full operation;</li> </ul>
Ceiling	<ul style="list-style-type: none"> <li>▪ Refer to Heywood's proposed damp course system survey and report for damp proof works to be carried out;</li> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ New suspended ceiling to be installed in specific area of room and decorated with matt emulsion paint. See BDP drawing (35)AP001.</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No requirement for re-levelling.</li> <li>▪ Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ Exterior stucco facade to be repaired. No other works to take place on external wall other than repair and redecoration of reveal and stone window cills if required.</li> <li>▪ Windows refurbished in situ. Windows and window cills to be rubbed down, spot primed and redecorated with at least 3 coats of eggshell paint to match skirting;</li> <li>▪ No shutters</li> <li>▪ Existing external door to be refurbished in situ and redecorated; Colour to be agreed with architect and British Museum;</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Refer to Heywood's proposed damp course system survey and report for damp proof works to be carried out;</li> <li>▪ Walls to be made good where new opening has been created, where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> </ul>

	<ul style="list-style-type: none"> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings.</li> <li>▪ Opening to wall required to allow services routes to pass through. Refer to (50)AP001 and structural details for information.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ Existing external door to be repaired where necessary and redecorated in a high gloss finish, weather resistant paint;</li> <li>▪ Existing internal doors and architrave to be repaired where necessary and redecorated in eggshell paint</li> <li>▪ For door information refer to door schedule;</li> <li>▪ New timber hardwood skirting required where missing in profile to match existing, painted in eggshell paint to match doors and windows.</li> <li>▪ Existing skirting to be redecorated with eggshell paint</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Refer to drawing (67)AD001</li> <li>▪ Existing doors 1A-LG-D02 to provide 30min fire protection. Method of upgrade to be confirmed following fire engineer's door survey</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ Tenant to provide their own blinds;</li> <li>▪ For window information refer to window schedule;</li> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>





*Existing windows, doors, floor, ceiling and walls to be redecorated*

<b>Room No. 1AMS/1/003 Passage</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Existing furniture, fittings and services have already been removed;</li> <li>▪ Damp proof works to be carried out;</li> <li>▪ New plasterboard stud partition with plaster finish to be formed to create cleaner's cupboard;</li> <li>▪ New plaster finish to any damaged area of walls;</li> <li>▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum;</li> <li>▪ Existing ceilings to be redecorated with matt emulsion paint.</li> <li>▪ New doors 1A-LG-D05, 1-LG-D1 and associated architrave to be fitted and decorated in eggshell paint;</li> <li>▪ New services provision throughout.</li> <li>▪ New lighting to be installed;</li> </ul>
Ceiling	<ul style="list-style-type: none"> <li>▪ Refer to Heywood's proposed damp course system survey and report for damp proof works to be carried out;</li> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable of loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ Ceiling to be redecorated with white emulsion paint finish;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No requirement for re-levelling.</li> <li>▪ Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Refer to Heywood's proposed damp course system survey and report for damp proof works to be carried out;</li> <li>▪ New plasterboard stud partition with plaster finish to be formed to create cleaner's cupboard;</li> <li>▪ Walls to be made good where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ New internal door 1A-LG-D05 and associated architrave to be fitted and decorated in eggshell paint;</li> <li>▪ For door information refer to door schedule;</li> </ul>

	<ul style="list-style-type: none"><li>Existing skirting to be redecorated with eggshell paint</li></ul>
Decorations	<ul style="list-style-type: none"><li>Refer to finishes schedule.</li></ul>
Fixtures and Fittings	<ul style="list-style-type: none"><li>N/A</li></ul>
Services	<ul style="list-style-type: none"><li>Installation of new mechanical and electrical services.</li><li>Lighting design in accordance with building services engineer's details.</li></ul>
Fire Protection	<ul style="list-style-type: none"><li>Refer to drawing (67)AD001</li><li>Proposed doors 1-LG-D22 to be FD60 &amp; 1A-LG-D06 to be FD30 door.</li></ul>
Additional Notes	<ul style="list-style-type: none"><li>For ironmongery information refer to ironmongery schedule.</li></ul>





*New door to be fitted in opening in party wall linking 1MS to 1AMS*



*New door and partition to be fitted in existing passage to create entrance to the proposed toilets*

<b>Room No. 1AMS/1/004 Toilets and Shower</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Existing furniture, fittings and services have already been removed;</li> <li>▪ Damp proof works to be carried out;</li> <li>▪ 2 x new openings created within masonry wall to enlarge existing room to include corridor to tunnel 1AMS/1/009 ; Refer to structural engineers information;</li> <li>▪ New infill created to enclose existing link to 1AMS/1/001 and 1AMS/1/009, Refer to BDP 22 Series drawings</li> <li>▪ New plaster finish to any damaged area of walls;</li> <li>▪ New plasterboard stud partition with plaster finish to be formed to create shower and cubicle enclosures;</li> <li>▪ All new sanitary ware and associated services to be installed;</li> <li>▪ Walls to be decorated with matt emulsion paint finish -allow for 2 coats, and tile finish as per detail drawing (74)AD001 Colour and tile specification to be agreed with architect and British Museum;</li> <li>▪ New ceiling bulkhead with two access panels to be installed to contain services in specific area of room. See BDP drawing (35)AP001 and (74)AD001</li> <li>▪ New doors, associated architrave and skirting to toilet and shower lobby area to be fitted and decorated in eggshell paint;</li> <li>▪ New services provision throughout.</li> <li>▪ New lighting to be installed</li> </ul>
Ceiling	<ul style="list-style-type: none"> <li>▪ Refer to Heywood's proposed damp course system survey and report for damp proof works to be carried out;</li> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ New ceiling bulkhead with two access panels as set out in drawing (35)AP001 to be installed in specific area of room. See BDP drawing (35)AP001 and (74)AD001;</li> <li>▪ Ceiling to be decorated with white emulsion paint finish;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No requirement for re-levelling.</li> <li>▪ Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ Ceramic tile finish to floors. Refer to (74)AD001 For specification;</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ Exterior stucco facade to be repaired. No other works to take place on external wall other than repair and redecoration of reveal and stone window cills if required;</li> <li>▪ Metal framed window refurbished in situ. Existing paint to be striped where necessary and touch-in paint applied to any scratched or chipped surface. Any loose putty to be removed and replaced with metal casement putty. Window and security bars to be redecorated with at least 3 coats of metal paint finish;</li> <li>▪ No shutters</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Refer to Heywood's proposed damp course system survey and report for damp proof works to be carried out;</li> </ul>

	<ul style="list-style-type: none"> <li>▪ Walls to be made good where new openings have been created and existing opening has been infilled, where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> <li>▪ New internal plasterboard stud partitions with plaster finish to be formed to create shower and cubicle enclosures;</li> <li>▪ Walls to be prepared and redecorated in matt emulsion with tile finish to a height of 1130mm as per detail drawings 74AD0?? In cubicle and shower enclosures. Suitable pastel colours and tile specification to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings.</li> <li>▪ Opening to wall required to allow services routes to pass through. Refer to (50)AP001 and structural details for information.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ New internal doors and associated architrave to be fitted and decorated in eggshell paint; For door information refer to door schedule;</li> <li>▪ New skirting to be fitted in toilet and shower lobby area and decorated with eggshell paint</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ Refer to sanitary ware schedule</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>



*Two new openings to be made in existing wall to enlarge room to accommodate toilets and shower*



*Existing door opening to be infilled to block existing link to adjoining room*



*Access to existing tunnel to be blocked up to form toilet and shower area*



*New entrance door to be fitted and two new openings to be made in existing wall to accommodate toilets and shower*

<b>Room No. 1AMS/1/006 Plant (No Access)</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Walls to be redecorated;</li> <li>▪ Ceiling to be redecorated;</li> <li>▪ Existing doors and architrave to be retained, repaired where necessary and refinished;</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Refer to Heywood's proposed damp course system survey and report for damp proof works to be carried out;</li> <li>▪ Ceiling to be redecorated in matt emulsion paint</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Any area of damage to be made good as required;</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Refer to Heywood's proposed damp course system survey and report for damp proof works to be carried out;</li> <li>▪ Walls to be redecorated in matt emulsion paint</li> <li>▪ Opening to wall required to allow services routes to pass through. Refer to (50)AP001 and structural details for information.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ Existing internal door and architrave to be repaired where necessary and redecorated in eggshell paint</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ Refer to finishes schedule.</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ For door information refer to door schedule;</li> <li>▪ For ironmongery information refer to ironmongery schedule;</li> </ul>

<b>Room No. 1AMS/1/007 Boiler Room (No Access)</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Damp proof works to be carried out;</li> <li>▪ Walls to be redecorated;</li> <li>▪ Ceiling to be redecorated;</li> <li>▪ Existing doors and architrave to be retained, repaired where necessary and refinished;</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Ceiling to be redecorated in matt emulsion paint</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Any area of damage to be made good as required;</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Walls to be redecorated in matt emulsion paint</li> <li>▪ Opening to wall required to allow services routes to pass through. Refer to (50)AP001 and structural details for information.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ Existing internal door and architrave to be repaired where necessary and redecorated in eggshell paint</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ Refer to finishes schedule.</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ For door information refer to door schedule;</li> <li>▪ For ironmongery information refer to ironmongery schedule;</li> </ul>

<b>Room No. 1AMS/1/008 Lobby (No Access)</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Walls to be redecorated,</li> <li>▪ Ceiling to be redecorated,</li> <li>▪ Existing doors and architrave to be retained, repaired where necessary and refinished;</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Ceiling to be redecorated in matt emulsion paint</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Any area of damage to be made good as required;</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ N/A</li> <li>▪ New fully louvered door 1A-LG-D19. Refer to door schedule.</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Walls to be redecorated in matt emulsion paint</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ Existing external doors and architrave to be repaired where necessary and redecorated in a high gloss finish, weather resistant paint;</li> <li>▪ Existing internal door and architrave to be repaired where necessary and redecorated in eggshell paint</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ Refer to finishes schedule.</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ For door information refer to door schedule;</li> <li>▪ For ironmongery information refer to ironmongery schedule;</li> </ul>



<b>Room No. 1AMS/1/S01 Stairs</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Existing fittings and services have already been removed;</li> <li>▪ New plaster finish to any damaged area of walls;</li> <li>▪ Walls to be redecorated, including storage space below stairs, with matt emulsion paint finish-allow for 2 coats, Colour to be agreed with architect and British Museum;</li> <li>▪ Ceiling to be redecorated with matt emulsion paint.</li> <li>▪ Existing stairs, skirting, doors 1A-LG-D02 &amp; 04 and associated architrave to be retained, repaired where necessary and refinished;</li> <li>▪ New doors 1A-LG-D03, D05, &amp; D013 and associated architrave to be fitted and decorated in eggshell paint;</li> <li>▪ New services provision throughout.</li> <li>▪ New lighting to be installed</li> </ul>
Ceiling	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable of loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required;</li> <li>▪ Ceiling to be redecorated with white emulsion paint finish;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed.</li> <li>▪ No requirement for re-levelling.</li> <li>▪ Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Where evidence of dampness exists, assess condition and associated structure, rectify source and carry out repairs and relining where necessary;</li> <li>▪ Walls to be made good where intrusive investigations have been carried out and fixtures, fittings and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ Existing external door and architrave to be repaired where necessary and redecorated in a high gloss finish, weather resistant paint;</li> <li>▪ Existing internal doors 1A-LG-D02 &amp; D04 and architrave to be repaired where necessary and redecorated in eggshell paint.</li> <li>▪ New doors 1A-LG-D03, D05, &amp; D013 and associated architrave to be fitted and decorated in eggshell paint;</li> <li>▪ For door information refer to door schedule;</li> </ul>

	<ul style="list-style-type: none"> <li>▪ Existing skirting to be redecorated with eggshell paint</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ Refer to finishes schedule.</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Refer to drawing (67)AD001. Partition below the stairs to be over boarded with 30 min fire resistant construction.</li> <li>▪ 1no. 13a (6 litres aqueous film forming foam (AFFF) and 1no. 34b (2kg carbon dioxide) fire extinguishers.</li> <li>▪ Existing door 1A-LG-D02 to provide 30min fire protection. Method of upgrade to be confirmed following fire engineer's door survey</li> <li>▪ Proposed doors 1A-LG-D03, D05 &amp; D15 to be FD30 doors</li> </ul>
Stairs	<ul style="list-style-type: none"> <li>▪ Existing stair finishes have been removed;</li> <li>▪ Repairs to be carried out to existing stone stairs and handrail in accordance with detail 24AD002;</li> <li>▪ Balustrade and handrail to be redecorated in black metal paint;</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>



*Stairs and lobby area to be redecorated;  
 New door to be fitted in opening to space  
 under stairs to create store room*



*Evidence of dampness to be assessed  
 and repairs to be carried out accordingly*



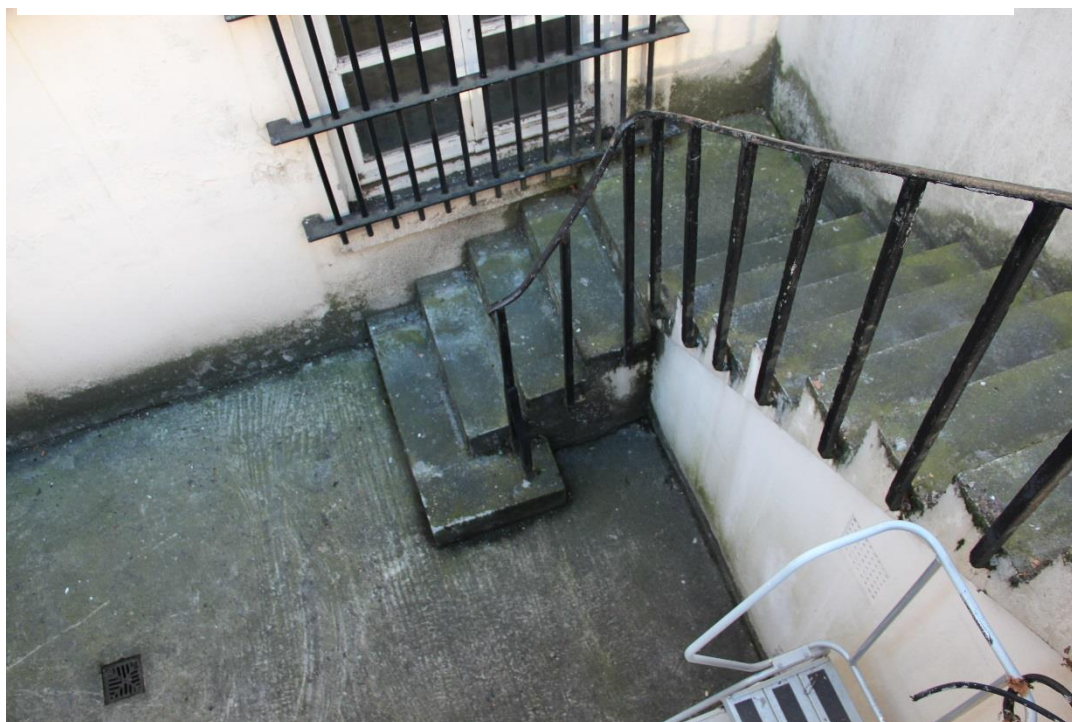
*Vegetation to be removed from flat asphalt roof and repairs to be carried out where necessary*



<b>Room No:</b>	<b>1MS/1/X01 Yard, 1MS/1/X02 Yard,          1MS/1/022 Vault, 1MS/1/023 Vault (No Access),          1MS/1/024 Vault (No Access),          1AMS/1/X01 Yard, 1AMS/1/X02 Yard</b>
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Doors to be redecorated;</li> <li>▪ Existing stucco to be made good and redecorated;</li> <li>▪ All vegetation to be removed and concrete to be cleaned and made good where necessary</li> <li>▪ Flat asphalt roof in 1MS/1/X02 to be cleaned and repaired where required;</li> <li>▪ Vault 1MS/1/024 to contain electrical services to be tanked with waterproof rendering</li> <li>▪ New damp proof enclosure to be formed in 1MS/1/X02 to contain new electrical services;</li> <li>▪ All vaults to be redecorated</li> <li>▪ Gully covers to be cleaned and unblocked where required</li> <li>▪ Stone steps to be washed and balustrade to be redecorated</li> </ul>
Ceiling	<p><u>Vaults</u></p> <ul style="list-style-type: none"> <li>▪ Remove all friable of paint or loose/live plaster</li> <li>▪ Areas of existing damaged ceilings to be carefully removed and repaired as required;</li> <li>▪ Redecorate with lime wash or breathable paint;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Concrete/stone floors to be cleaned. See method statement on BDP drawing (24)AD001;</li> <li>▪ Gully covers to be cleaned and unblocked where required;</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ Existing stucco to be made good where required and redecorated;</li> <li>▪ New damp proof enclosure to be formed in 1MS/1/X02 to contain new electrical services. Detail to be confirmed;</li> </ul>
Internal walls	<p><u>Vaults</u></p> <ul style="list-style-type: none"> <li>▪ Remove all friable of paint or loose/live plaster</li> <li>▪ Areas of existing damaged walls to be carefully repaired as required;</li> <li>▪ Vault 1MS/1/024 to contain electrical services to be tanked with waterproof rendering</li> <li>▪ Redecorate with lime wash or breathable paint;</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Decorations	<ul style="list-style-type: none"> <li>▪ Refer to finishes schedule.</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
	<ul style="list-style-type: none"> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ For door information refer to door schedule</li> </ul>

	▪ For ironmongery information refer to ironmongery schedule.
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*New damp proof enclosure to be formed in 1MS/1/X02 to contain new electrical services*



*All vegetation to be removed and concrete to be cleaned and made good where necessary*



**GROUND FLOOR LEVEL**

Room No. 1MS/2/001 Lobby	
Item	Scope of works
General	<ul style="list-style-type: none"> <li>▪ Existing fittings and services have already been removed;</li> <li>▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum;</li> <li>▪ Existing ceilings to be redecorated with matt emulsion paint.</li> <li>▪ Existing skirting, doors, fanlight, architrave, cornices and decorative mouldings to be retained, repaired where necessary and redecorated;</li> <li>▪ New services provision throughout. Electrical distribution to be recessed.</li> <li>▪ Existing brass pendant to be retained;</li> <li>▪ New threshold matt and edging at entrance.</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required</li> <li>▪ Ceiling to be redecorated with white emulsion paint finish;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed. Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ No requirement for re-levelling;</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ Exterior stucco facade to be repaired. No other works to take place on external wall other than repair and redecoration of door reveal if required.</li> <li>▪ Existing external door to be refurbished in situ and redecorated; Colour to be agreed with architect and British Museum;</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Internal walls to be made good where intrusive investigations have been carried out and fixtures, fitting and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ Existing external door and architrave to be repaired where necessary and redecorated in a high gloss finish, weather resistant paint;</li> <li>▪ Existing internal doors and architrave to be repaired where necessary and redecorated in eggshell paint</li> <li>▪ For door information refer to door schedule;</li> <li>▪ Existing skirting to be redecorated with eggshell paint</li> </ul>
Other Decorations	<ul style="list-style-type: none"> <li>▪ Fine decorative cornices to be cleaned prior to redecoration with new thin paint coating to ensure decorative detail is not lost.</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>

Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer’s details.</li> </ul>
Fire Protection	<ul style="list-style-type: none"> <li>▪ Within fire protected enclosure. Refer to drawing (67)AD002 and information for room 1MS/2/005 &amp; 1MS/2/004 in relation to upgrade of specific existing walls;</li> </ul>
Additional Notes	<ul style="list-style-type: none"> <li>▪ Tenant to provide their own blinds;</li> <li>▪ For window information refer to window schedule;</li> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>



*Existing doors, architrave, fanlights, walls, ceiling, picture rail, dado rail and skirting to be redecorated*



<b>Room No. 1MS/2/002 Lobby</b>	
<b>Item</b>	<b>Scope of works</b>
General	<ul style="list-style-type: none"> <li>▪ Existing fittings and services have already been removed;</li> <li>▪ Walls to be redecorated with matt emulsion paint finish -allow for 2 coats. Colour to be agreed with architect and British Museum;</li> <li>▪ Existing ceilings to be redecorated with matt emulsion paint.</li> <li>▪ Existing stairs, skirting, doors, fanlight, architrave, cornices and decorative mouldings to be retained, repaired where necessary and redecorated;</li> <li>▪ New services provision throughout. Electrical distribution to be recessed.</li> <li>▪ New lighting to be installed</li> </ul>
Ceilings	<ul style="list-style-type: none"> <li>▪ Carefully remove all existing services, fixtures and fittings from the existing plaster ceiling together with any friable or loose/live plaster;</li> <li>▪ Areas of existing damaged ceilings and supporting structure to be carefully removed and repaired/ replaced as required</li> <li>▪ Ceiling to be redecorated with white emulsion paint finish;</li> </ul>
Floors	<ul style="list-style-type: none"> <li>▪ Existing floor finishes have been removed. Stone floor appears in good condition. Any areas of damage to be made good as required;</li> <li>▪ No requirement for re-levelling;</li> <li>▪ New threshold strips in doorways (Fire strategy TBD)</li> </ul>
External walls, windows, doors	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Internal walls	<ul style="list-style-type: none"> <li>▪ Internal walls to be made good where intrusive investigations have been carried out and fixtures, fitting and services have been removed. Holes to be filled and rubbed down. Walls to be re-plastered where necessary.</li> <li>▪ Walls to be prepared and redecorated in matt emulsion. Suitable pastel colours to be agreed with architect and British Museum. Suggested Farrow &amp; Ball type colours to be matched with Dulux trade paint;</li> <li>▪ New power and data outlets to be located as per architectural/service engineer's drawings. Repair and redecoration works associated with recessed cable routes.</li> </ul>
Joinery	<ul style="list-style-type: none"> <li>▪ Existing internal doors and architrave to be repaired where necessary and redecorated in eggshell paint. For door information refer to door schedule;</li> <li>▪ Existing skirting to be redecorated with eggshell paint;</li> </ul>
Other Decorations	<ul style="list-style-type: none"> <li>▪ Fine decorative cornices to be cleaned prior to redecoration with new thin paint coating to ensure decorative detail is not lost.</li> </ul>
Fixtures and Fittings	<ul style="list-style-type: none"> <li>▪ N/A</li> </ul>
Services	<ul style="list-style-type: none"> <li>▪ Installation of new mechanical and electrical services.</li> <li>▪ Lighting design in accordance with building services engineer's details.</li> </ul>
Stairs	<ul style="list-style-type: none"> <li>▪ Repairs to be carried out to existing stone stairs and curved wooden handrail in accordance with detail 24AD002;</li> <li>▪ Balustrade redecorated in black metal paint;</li> <li>▪ Handrail to be sanded down, stained and oiled;</li> </ul>

	<ul style="list-style-type: none"> <li>▪ Stringer, treads, risers and all visible elements of stair painted in eggshell paint to match existing.</li> <li>▪ Soffit of stair to be painted in emulsion to match ceiling;</li> </ul>
<p>Fire Protection</p>	<ul style="list-style-type: none"> <li>▪ Within fire protected enclosure. Refer to drawing (67)AD002 and information for rooms 1MS/2/005 &amp; 1MS/2/004 in relation to upgrade of specific existing walls;</li> <li>▪ Existing door 1-G-D04, D05 &amp; D08 to provide 30min fire protection. Method of upgrade to be confirmed following fire engineer's door survey</li> <li>▪ Proposed door 1-G-D03 to be FD30 door;</li> <li>▪ 1no. 13a (6 litres aqueous film forming foam (AFFF) and 1no. 34b (2kg carbon dioxide) fire extinguishers.</li> </ul>
<p>Additional Notes</p>	<ul style="list-style-type: none"> <li>▪ Tenant to provide their own blinds;</li> <li>▪ For ironmongery information refer to ironmongery schedule.</li> </ul>

