

# Gloucester Lodge Design and Access Statement Addendum S.73 Amendment

**Date**  
July 2017

**Stage**  
Planning









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T E C H N I K E R

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## The purpose of this document

This report is being submitted in support of applications for minor material amendments (S.73 of TCPA '90) and listed building consent.

This statement does not seek to replicate information previously submitted, but highlights where there are variations and updates the previous Design and Access Statement where necessary.

The statement should be read in conjunction with the original submission documents, planning permission and listed building consent.

A number of elements of the design, including particulars of space planning, interior (including methodology of works to listed fabric) and landscaping will be finalised at the detailed design stage and therefore will be either the subject of planning conditions to be agreed with Camden Council, or are not considered to be planning related matters. Where these details are shown within the Design and Access Statement, they are included for illustrative purposes only and are clearly identified as such.

Reference should also be made to addendum commentary submitted as part of the application under separate cover, including the following:

- Planning drawings
- Planning statement
- Daylight/ sunlight assessment addendum note
- Basement impact assessment
- Construction Management plan
- Heritage Statement
- Arboricultural assessment

## Introduction

Further to the 2016 submission and consent, the proposals have been reviewed and developed in response to the following developments and opportunities.

Please note there is:

- **No changes to the front elevation**
- **Minor changes to the external form within the courtyard**
- **Minor changes to mews property facades**

### • Internal layout

The internal layout has been further reviewed by the design team including, heritage consultants and heritage expert William Bertram. The proposed amends are of a positive contribution to the design and sensitive to the heritage of the existing building.

### • Consultation includes:

7<sup>th</sup> March

Pre-application meeting with Historic England

12<sup>th</sup> April

Pre-application meeting with Camden Council  
Conservation officer

19<sup>th</sup> May

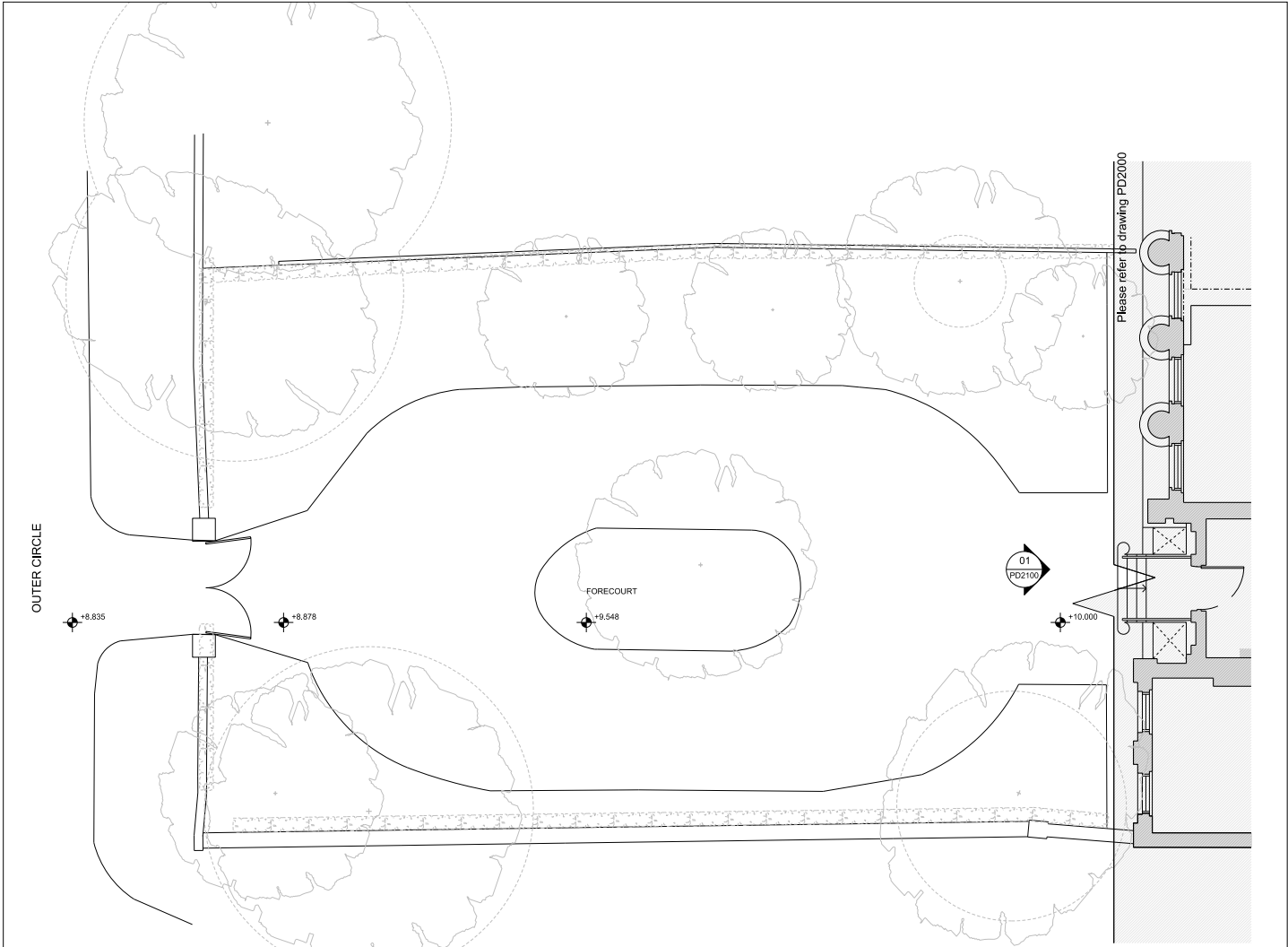
Pre-application correspondence with Historic England

Checked by: JC/KG  
Date of issue: July 2017  
Reason for issue: Section 73  
Revision number: 00

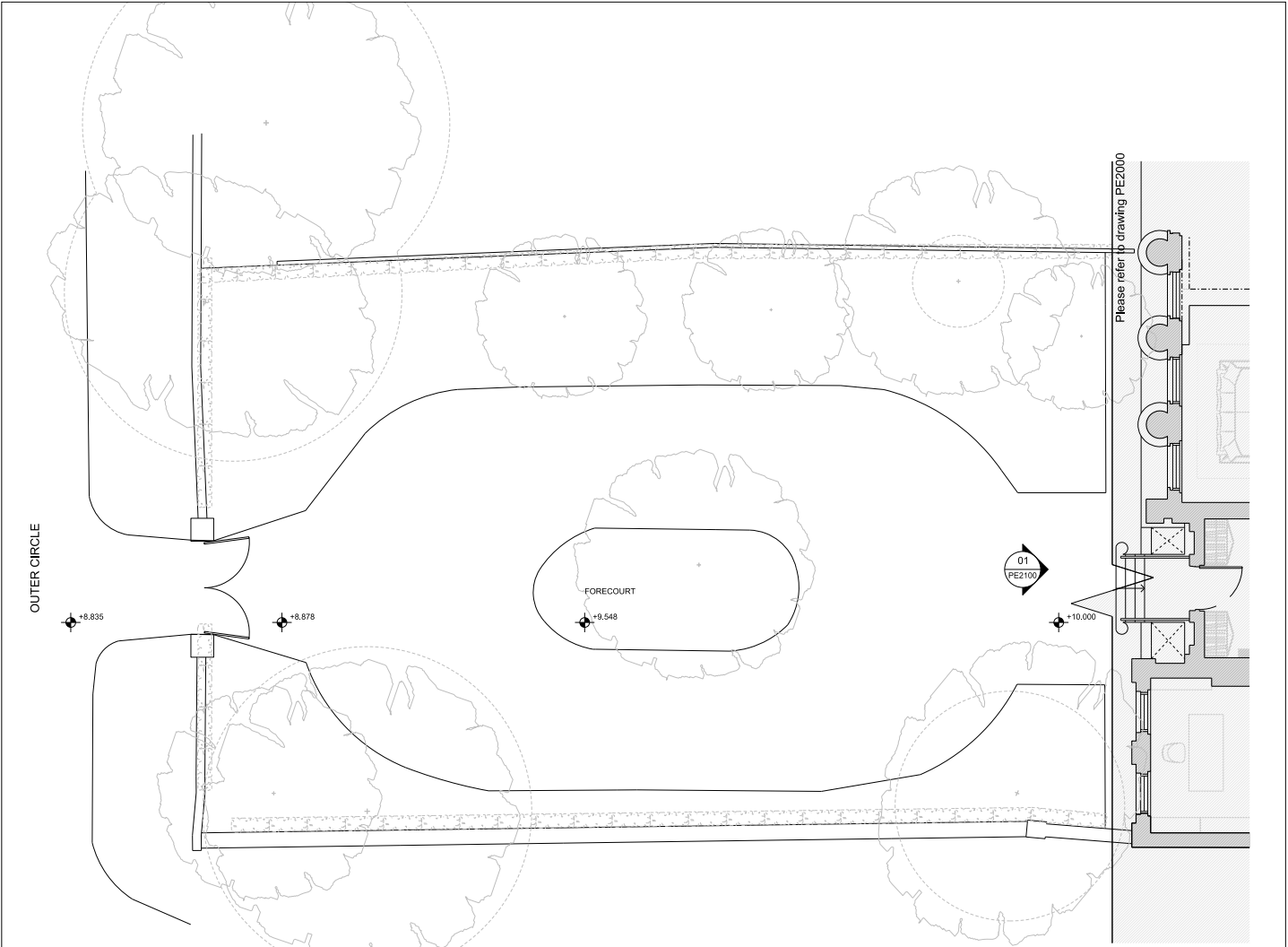
# Proposed amendments to consented scheme

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## Ground floor: forecourt



Consented



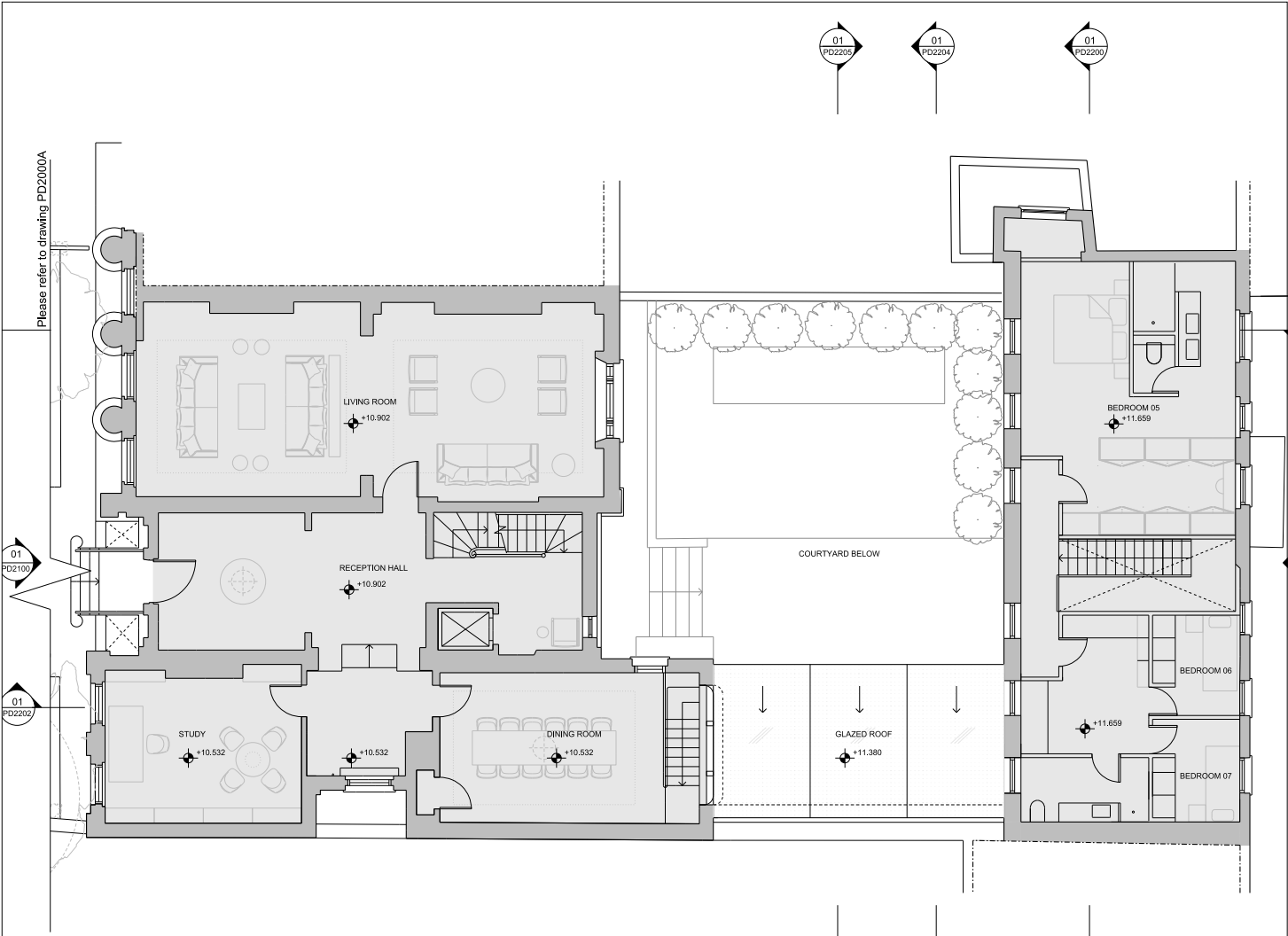
Proposed

### Commentary

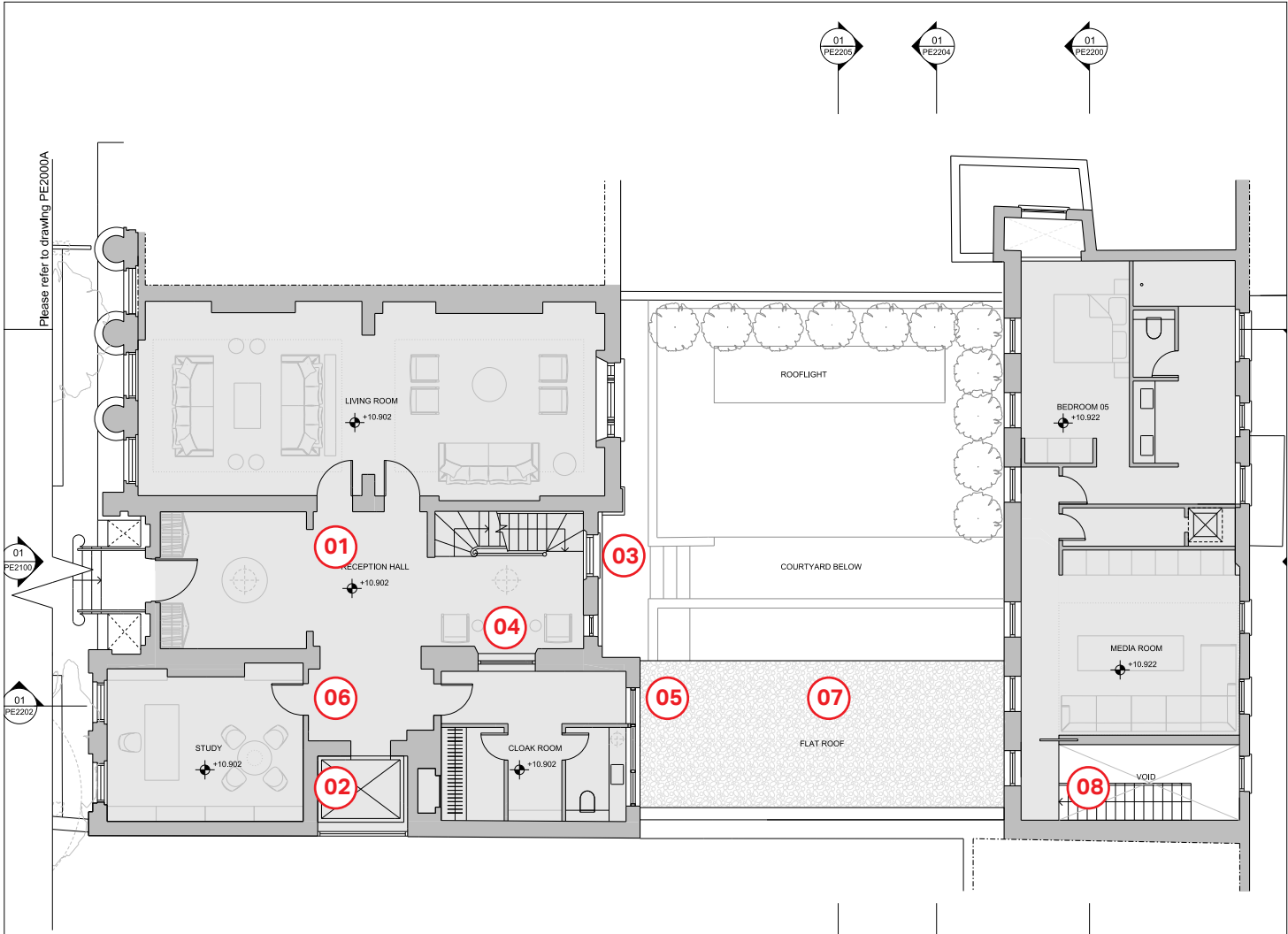
There is no proposed changes to the forecourt or the front elevation addressing Regents park

# Proposed amendments to consented scheme

## Ground floor



Consented



Proposed

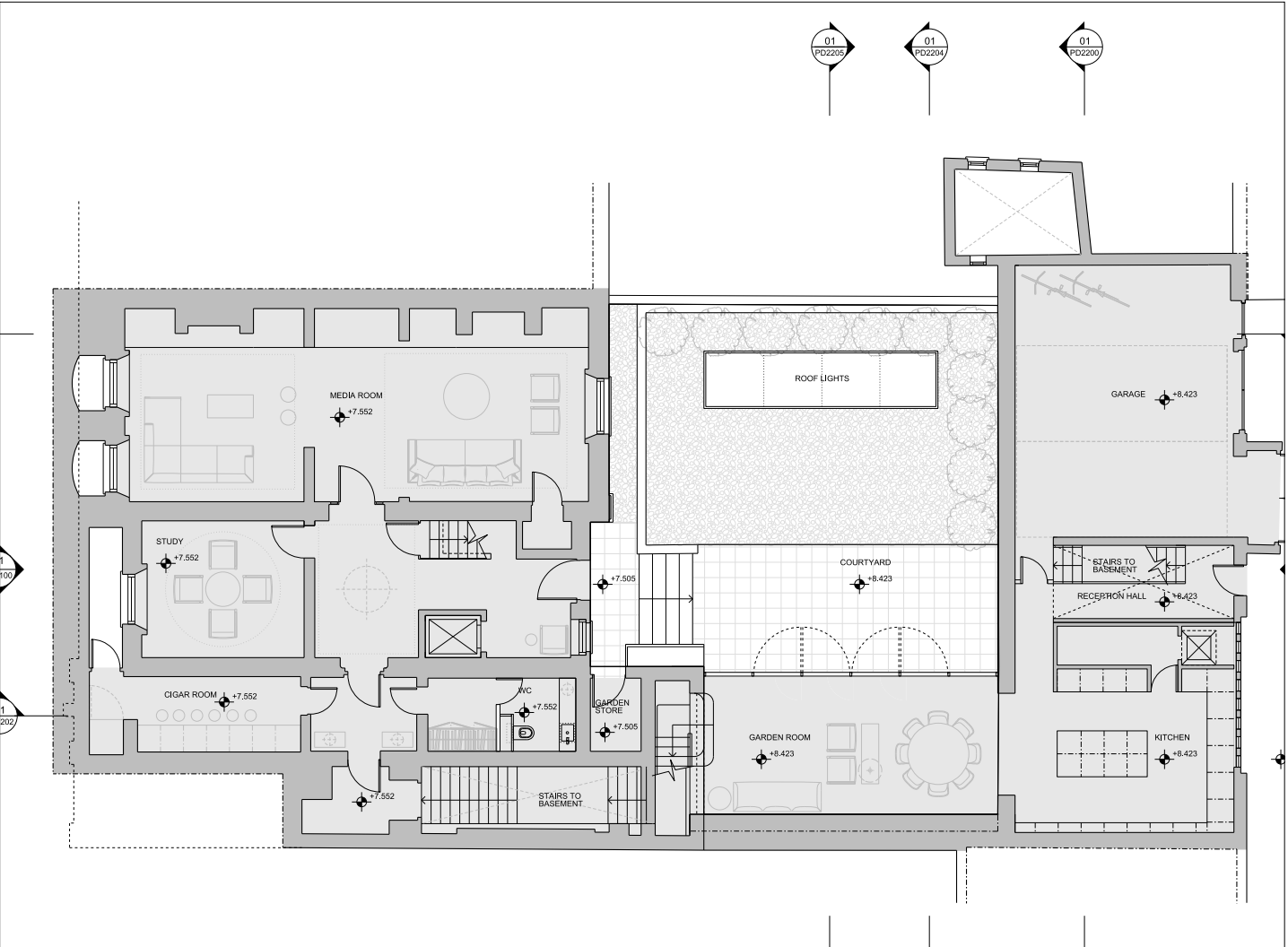
### Commentary

- 01 An additional door into the living room
- 02 Glass lift has been relocated into the lightwell
- 03 New window on the rear elevation aligned with the upper floor windows above
- 04 Proposed window (internal) in the position of the original 1830s layout
- 05 Removal of the C.20th protrusion on the southern wing. Elevation to re-instate window to match removed

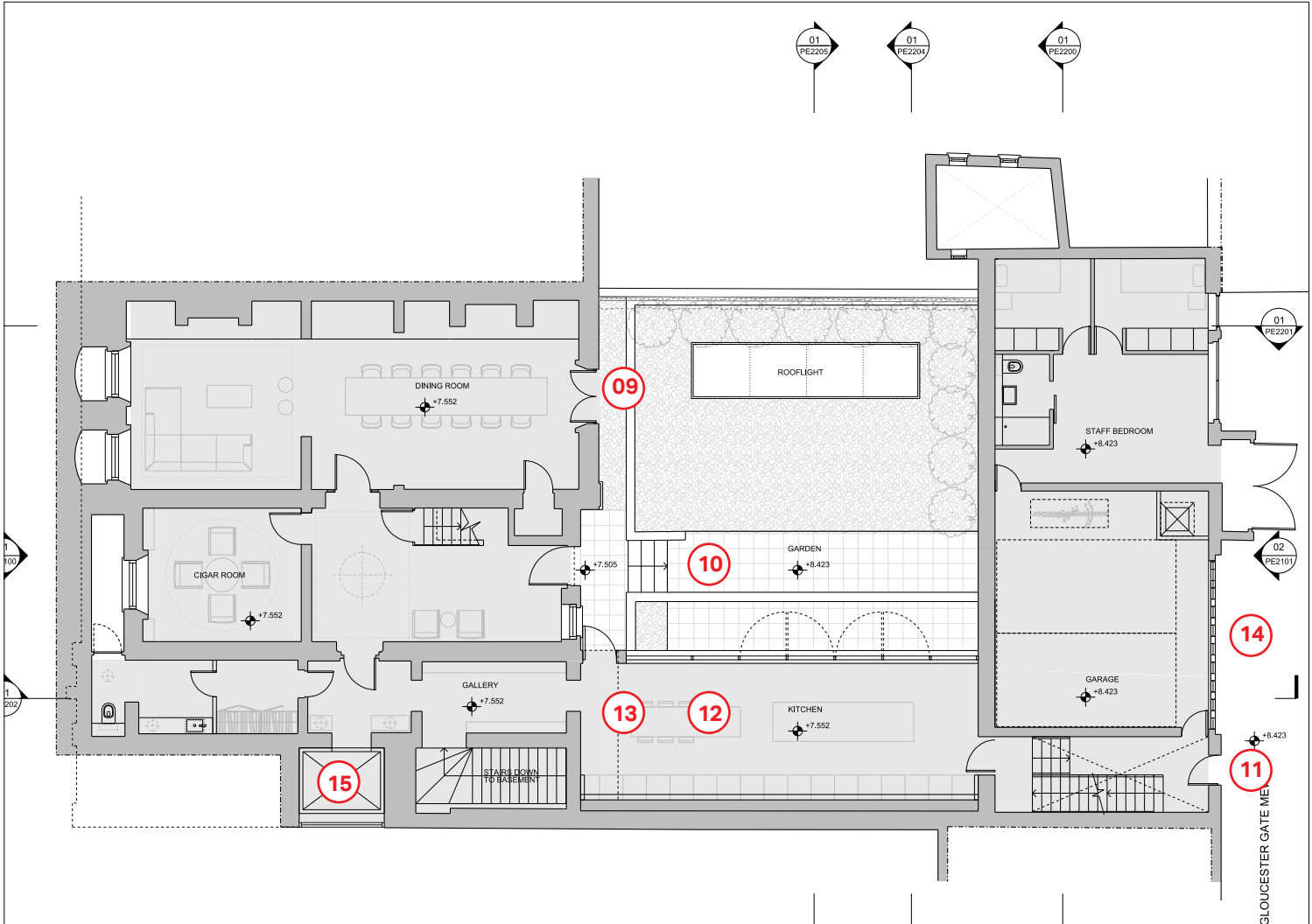
- 06 Floor level of southern wing to match reception hall for step-free access
- 07 Link building to change from fully glazed roof to a solid roof.
- 08 New mews staircase to be relocated

# Proposed amendments to consented scheme

## Lower ground floor



Consented



Proposed

### Commentary

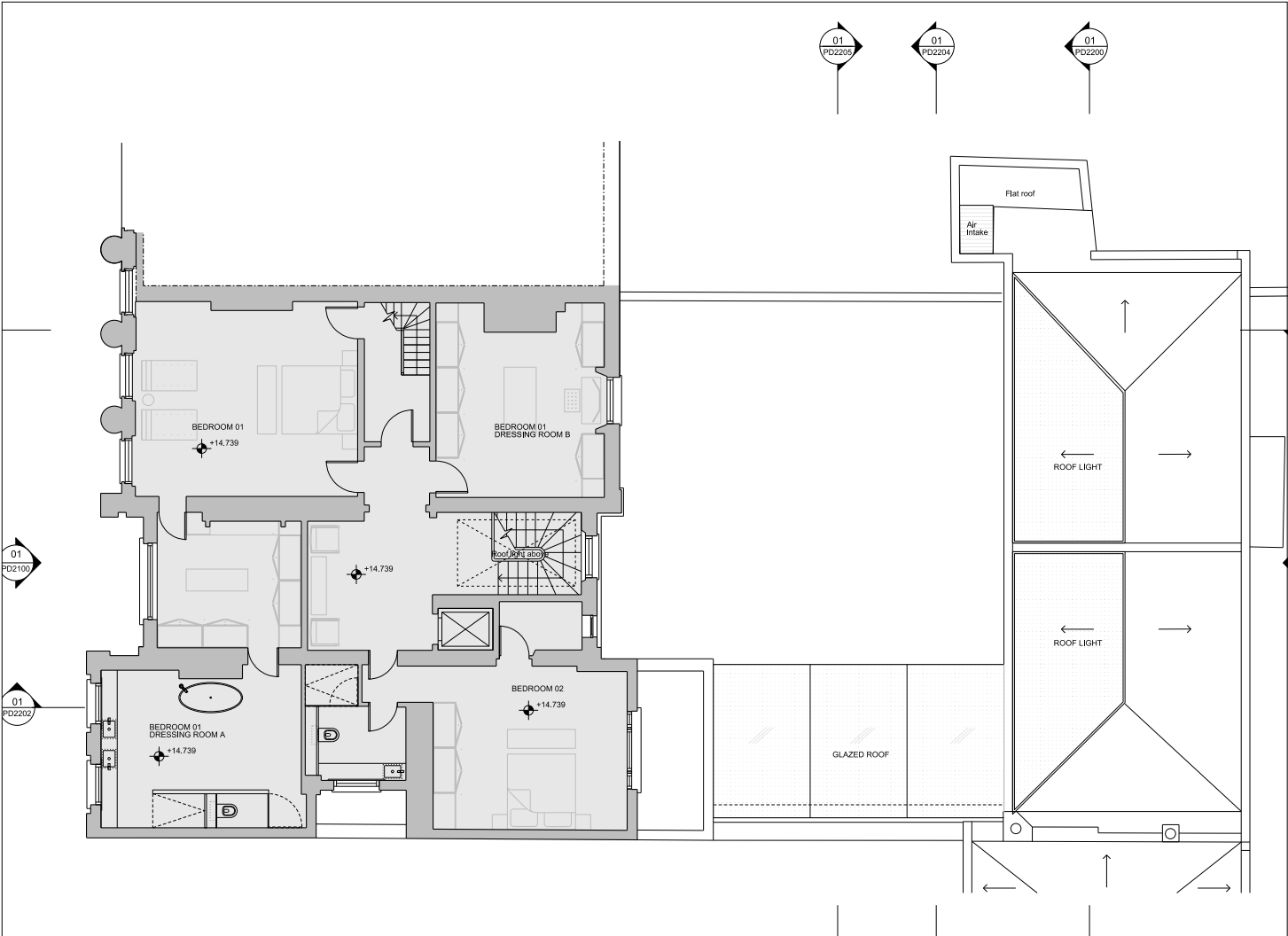
- 09 Proposed doors from the relocated dining room into the courtyard
- 10 Reduced width of the courtyard steps
- 11 Relocated mews entrance
- 12 Lowering the floor level of the link to match corresponding level of the main house
- 13 Removal of stairs from the ground floor into the link.

- 14 Garage to be relocated into No. 12 Gloucester Gate Mews. Existing garage door opening to be widened to improve vehicular access.
- 15 Lift relocated into lightwell as per ground floor. Landing of staircase to basement re-positioned to suit

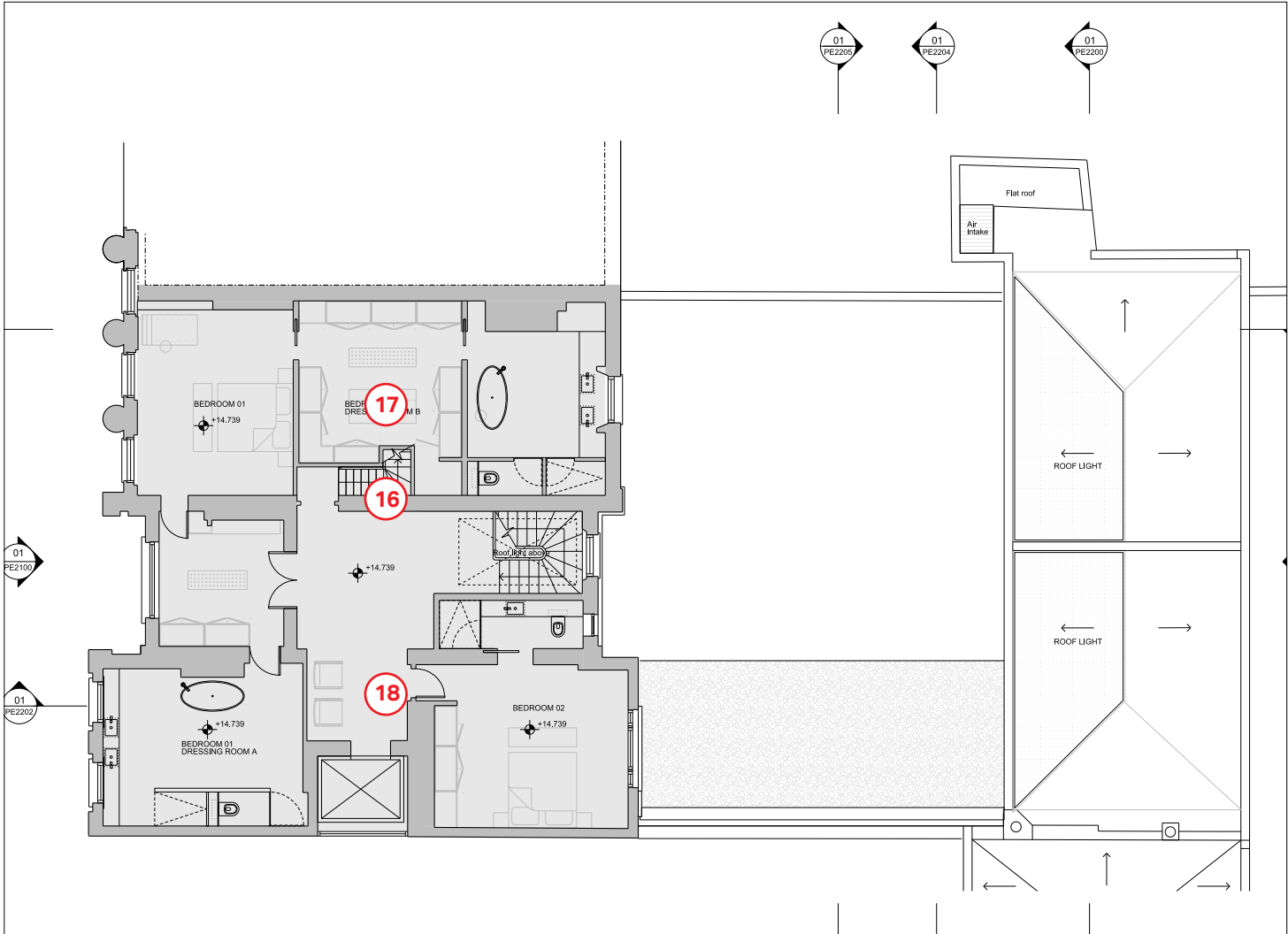
# Proposed amendments to consented scheme

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## First floor



Consented



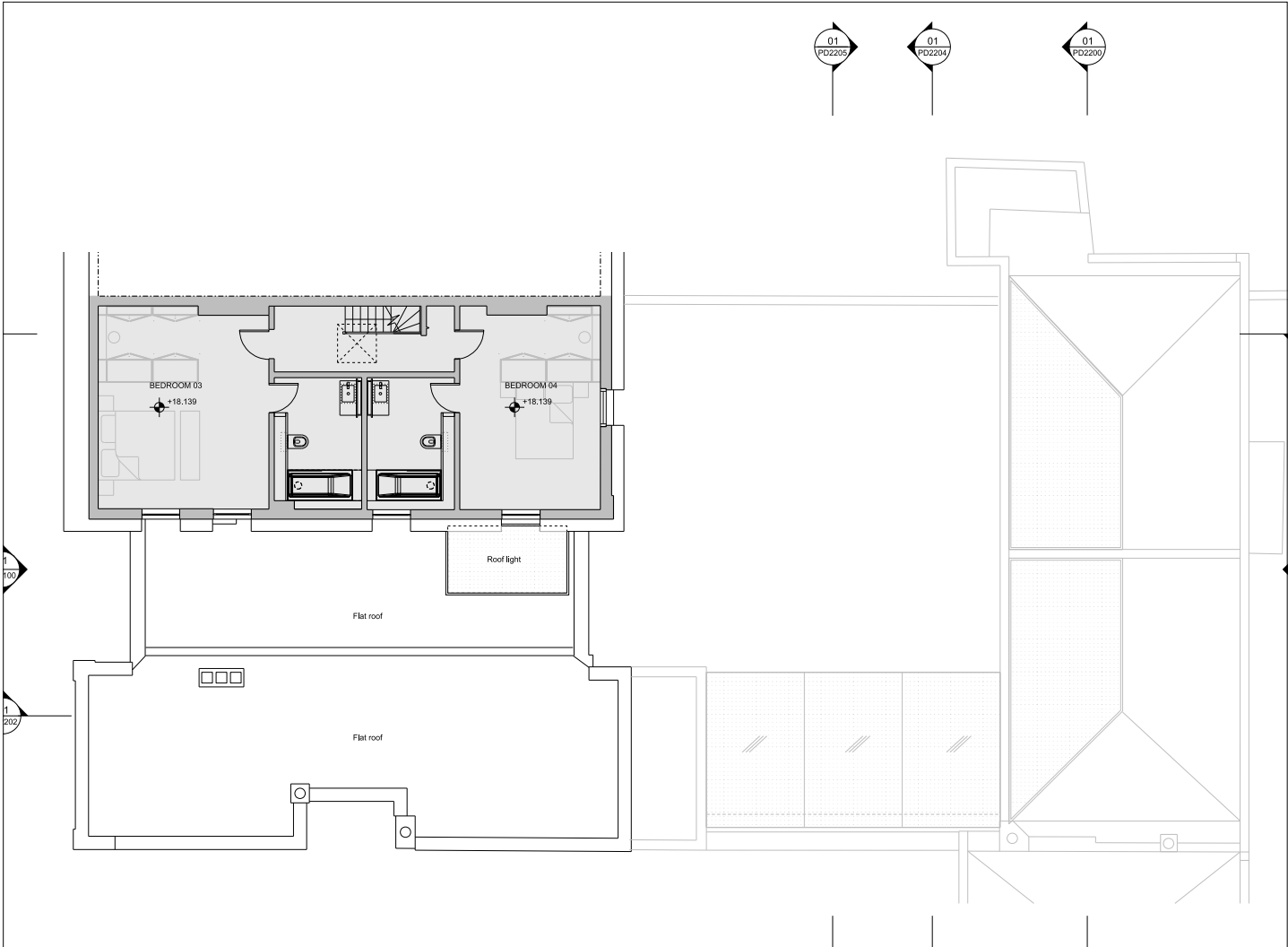
Proposed

### Commentary

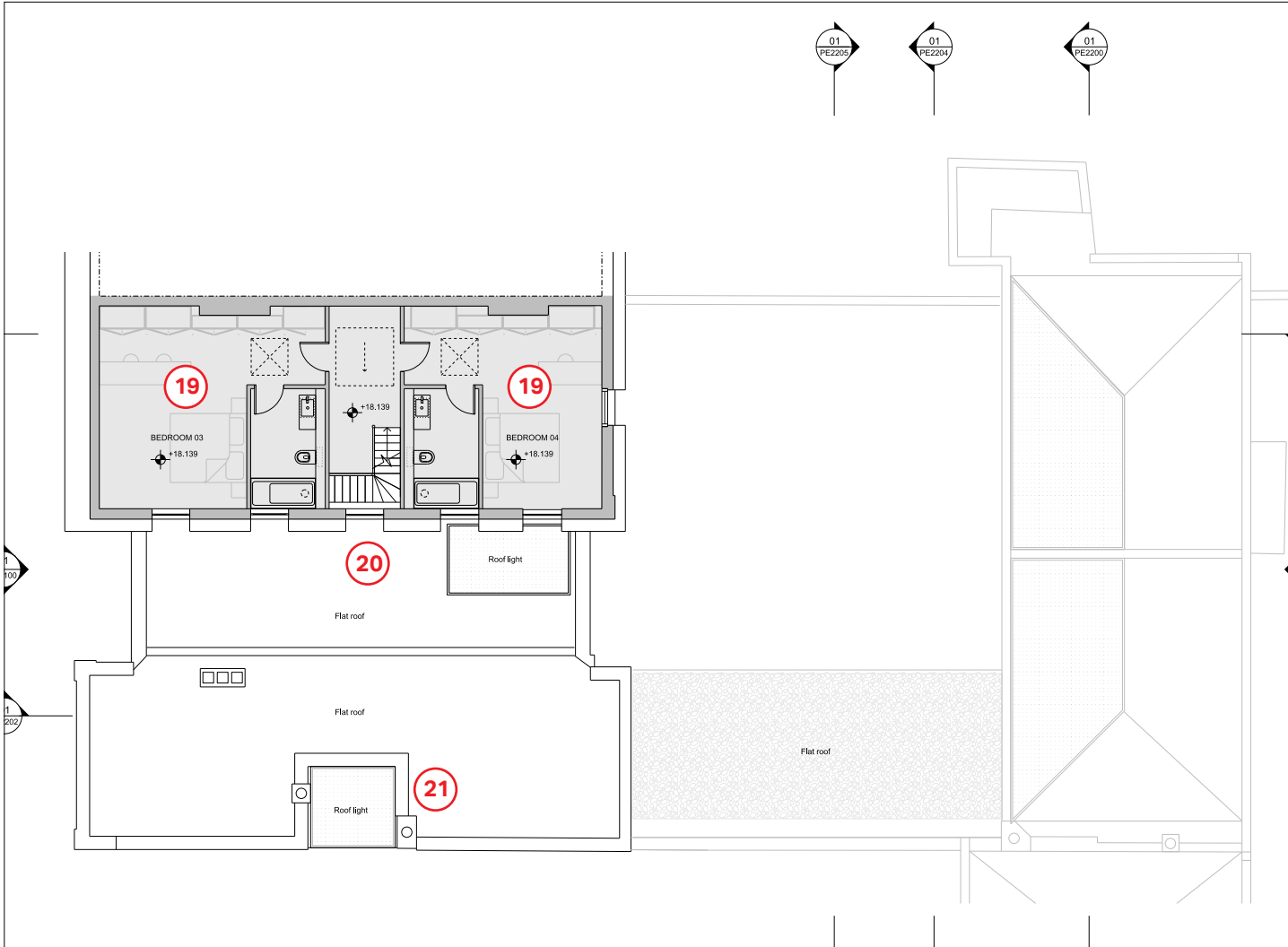
- 16 Staircase to second floor to be carefully rebuilt in nearby location. Hallway access adjusted to suit
- 17 Reconfigured Bedroom 01 layout
- 18 Reconfigured Bedroom 02 layout to address new location of lift

# Scale and amount

## Second floor



Consented



Proposed

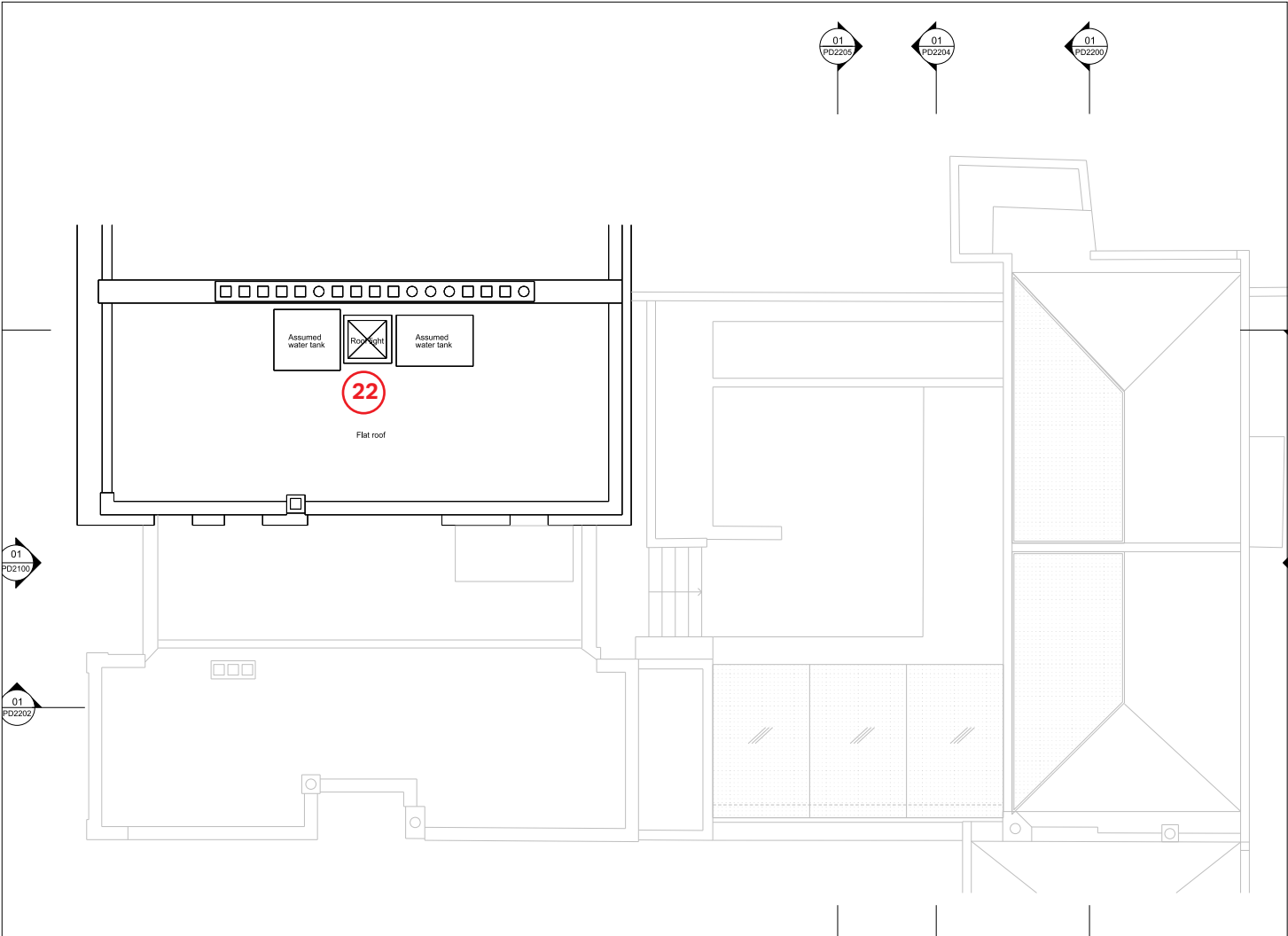
### Commentary

- 19 Layout of bedroom 03 and 04 amended to address the relocated stairs
- 20 Window openings adjusted with a new central window proposed for hallway
- 21 Flushed rooflight over new lift shaft with amendment to parapet

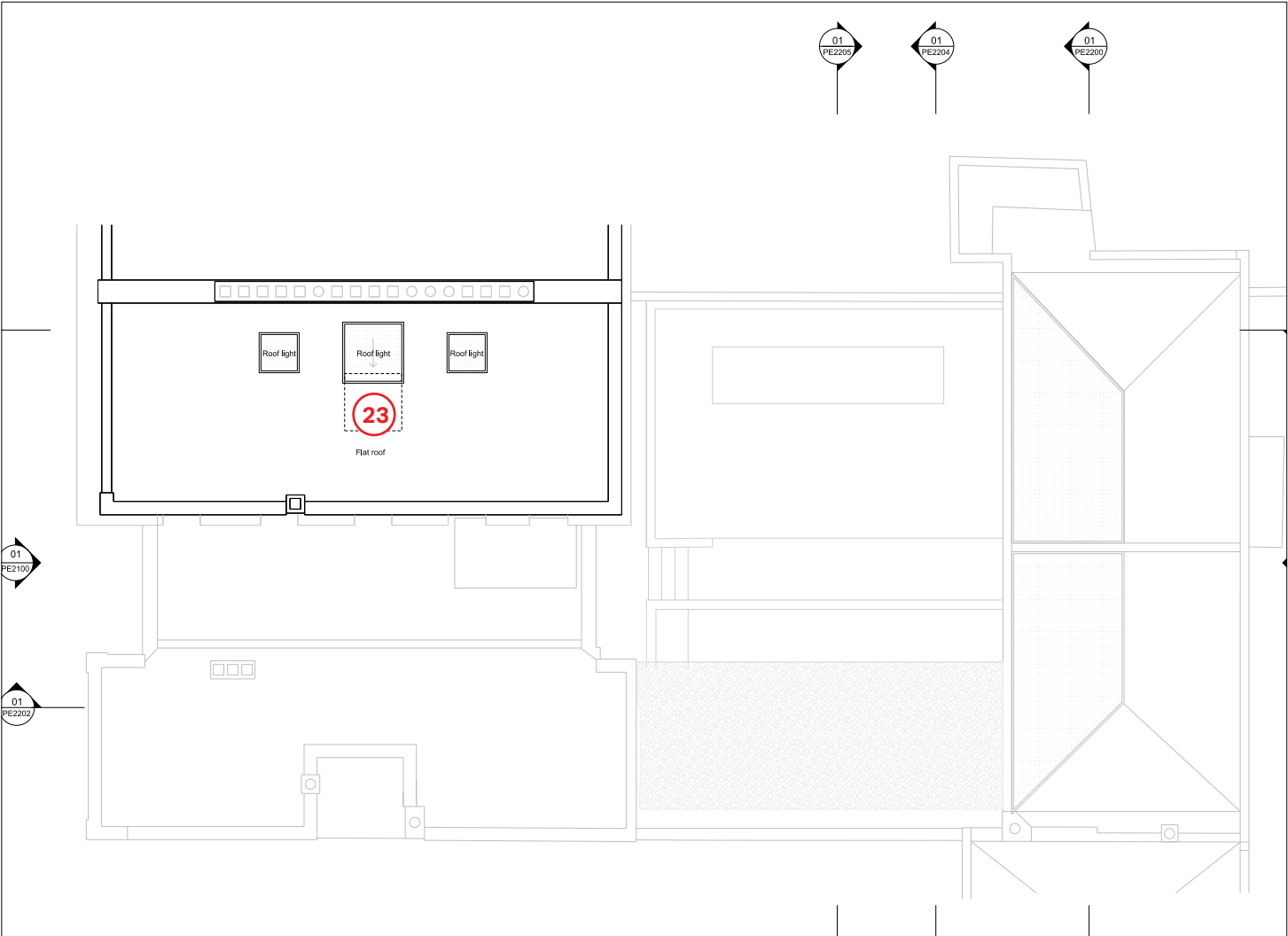


# Scale and amount

## Roof



Consented



Proposed

### Commentary

- 22 Existing rooflight and redundant water tanks removed
- 23 New rooflight proposed. Central rooflight to be openable to allow maintenance access