

1 South West Elevation Proposed
1 : 100

- Existing Brickwork Retained
Spec. Ref. C40/111
- Clay Facing Brickwork: Horizontal Bond
Spec. Ref. F10/111
- Clay Facing Brickwork: Vertical Bond
Spec. Ref. F10/112
- Clay Facing Brickwork: Heritage Infill
Spec. Ref. F10/121
- Curtain Walling
Spec. Ref. H11/111
- Curtain Walling with GRC Fins
Spec. Ref. H11/112
- Atrium Rooflight
Spec. Ref. H11/115
- GRC Fin In Brickwork Wall
Spec. Ref. H40/111
- GRC Fin On Curtain Walling
Spec. Ref. H40/112
- Stone Cladding: Smooth
Spec. Ref. H51/111
- Stone Cladding: Textured
Spec. Ref. H51/112
- Slate Roof Cladding
Spec. Ref. H51/121
- Metal Cladding Panel
Spec. Ref. H92/111
- Perforated Metal Cladding Panel
Spec. Ref. H92/112
- Perforated Metal Louvres
Spec. Ref. L10/651
- Metal Escape Stair
Spec. Ref. L30/251
- Purpose Made Balustrade to Lightwell
Spec. Ref. L30/551
- Purpose Made Balustrade to Street Balcony
Spec. Ref. L30/552
- Purpose Made Balustrade to Rear Balcony
Spec. Ref. L30/553
- Purpose Made Balustrade to Flat Roof
Spec. Ref. L30/554
- Rendered Insulation
Spec. Ref. M20/231
- Stone Paving
Spec. Ref. Q25/111
- Alterations to Existing Gate
Spec. Ref. Q50/121
- Replica Gate
Spec. Ref. Q50/122

UCL LAWS Bentham House

date 30.06.17 client UCL

scale As indicated drawing Proposed South West Elevation

drawn JM checked JM drawing number 3000 · L · 197 rev P21

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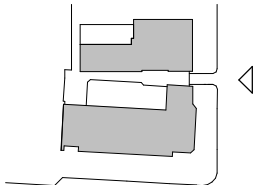
standard notes

- Do not scale this drawing.
- All dimensions must be checked on site and any discrepancies verified with the architect.
- Unless shown otherwise, all dimensions are to structural surfaces.

THIS IS NOT A CONSTRUCTION DRAWING. IT IS UNSUITABLE FOR THE PURPOSE OF CONSTRUCTION AND MUST ON NO ACCOUNT BE USED AS SUCH.

drawing notes

DESIGN INTENT: These are design intent drawings and do not show full construction information. The Contractor must develop the details, without changing the visual, spatial or other performances, to provide a fully developed scheme including all concealed components such as wind posts, vapour barriers and cavity barriers. All dimensions on this drawing are taken to finished surfaces unless specifically indicated on the dimensions itself.



Note: No visible M&E including RWP's to elevations

RISK MANAGEMENT LOG:
RMS1: Obstruction to neighbour's fire escape route.
RMS3: Asbestos containing materials : Possible asbestos containing materials located in voids that have not yet been inspected.
RMS4: Formation of new extension over existing building
RMS5: Large elements and restricted working zone: The existing rear yard, access ramp and gated opening are all small in scale compared to some of the new construction components.

revisions

revisions		P10 27.02.15	Pre-Tender Estimate
P1 05.03.13	Stage C Issue	T1 25.03.15	Issued for Tender
P2 18.02.14	Issued for Information	P11 31.03.15	Planning Conditions
P3 14.03.14	Issued for Costing	P12 03.04.16	Draft Planning and LBC
P4 02.05.14	Stage D Issue	P13 14.10.16	P14 20.10.16
P5 01.08.14	Planning and LBC Issue	P15 01.11.16	P16 23.12.16
P6 01.10.14	Revised Planning/ LBC	P17 03.05.17	P18 30.05.17 and
P7 09.10.14	Revised Planning/ LBC	P19 22.06.17	Draft Planning/LBC Issue
P8 29.10.14	Stage D Addm. Issue	P20 27.06.17	Signage Application
P9 16.12.14	Building regulations	P21 30.06.17	Planning/LBC issue