

FAO - David Peres Da Costa

Design Out Crime Office  
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Met Reference: NW 2855

Dear David Peres Da Costa

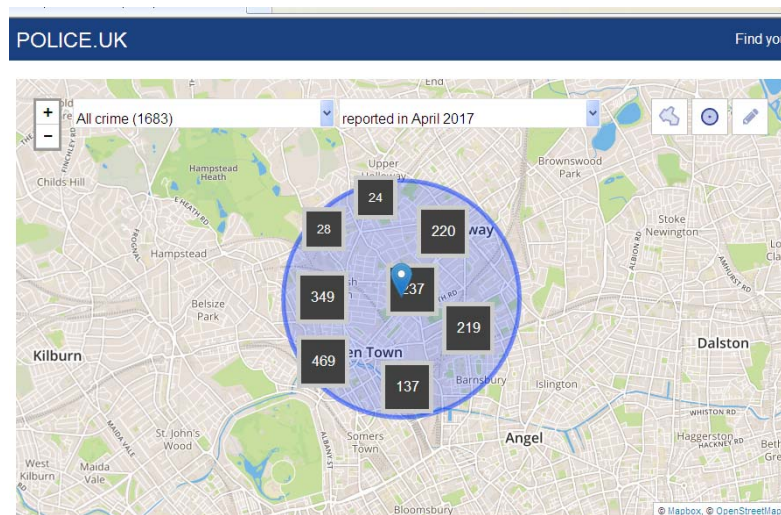
Thank you for inviting the Metropolitan Police to comment on this planning application,

Regarding:

1 Hampshire Street LONDON NW5 2TE

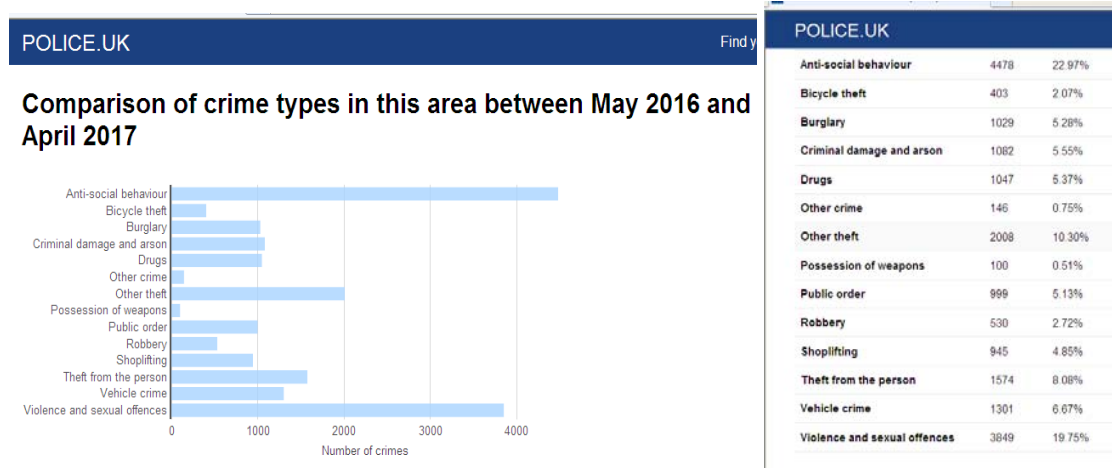
The risk of crime within both the public and non-public areas of the proposed development, and the interaction between the two, should be considered at the outset and preventative measures made.

I have reviewed the crime rate in the ward that of the proposed development is situated on, on [Police.uk](http://Police.uk) as per the illustration below:



The crime map has highlighted that the following crimes were reported in the area and that the area is experiencing an increased number of ASB (Antisocial behaviour), burglary, Motor vehicle crime and violent incidents.

Specifically my research on Police.uk has highlighted that crime is occurring directly in the immediate vicinity of the proposed development. The table below also illustrates that a vast majority of incidents show ASB as the highest offence, often this is a pre-cursor to violence, theft (in particular MV) and drug related crimes.



Comparison of Crime types in this area between May 2016 and April 2017

As such, serious consideration must be given to crime and ASB at the proposed development site.

#### Recommendations:

Based on the discussions I am recommending that this development to achieve minimum of **Secure by Design Accreditation** as per SbD Homes 2016 for residential use.

Note this development will achieve Silver Award, which is suitable for a development of this size.

### RESIDENTIAL - SbD Homes 2016 guide

#### 1. Doors and Windows

All easily accessible residential windows and doors should be certificated to one of the following standards

- PAS 24:2012
- PAS 24:2016
- STS 204 Issue 4:2012
- LPS 1175 Issue 7.2 (2014) Security Rating 1
- STS 202 Issue 3 (2011) Burglary Rating 1
- LPS 2081 Issue 1 (2015) Security Rating A

Recessed doorways should not exceed 600mm. The communal entrance to this development is a particular concern where there is the opportunity for anti social behavior to occur.

Due to crime problems associated with letter plate apertures, such as arson, hate crime, lock manipulation and 'fishing', Secured by Design strongly recommends, where possible, mail delivery via a secure external letter box or delivery 'through the wall' into a secure area of the building.

All sliding and bi-fold doorsets not designated as the primary access/egress route should meet the same physical attributes as above.

A door chain or opening limiter should be fitted to all individual dwelling front doors.

A door viewer should be fitted at a height of between 1200mm to 1500mm from the bottom of all front doors (not required with adjacent un-obscured glazing).

All easily accessible windows should have key operated locks. Where windows are required under Building Regulations to act as a fire escape route, the opening window must not have key operated locks.

Windows that form an integral part of the doorframe should be shown to be part of the manufacturer's certificated range of door sets. Alternatively where windows are manufactured separately from the doorframes, they should be certificated to either PAS 24:2012, LPS 1175 Issue 7:2010 Security Rating 2, STS 204 Issue 3:2012 or LPS 2081 Issue 1:2014. In such cases the window should be securely fixed to the door set in accordance with the manufacturer's requirements.

Drainpipes/soil pipes that provide access to flat roofs or balconies will require metal shrouds to prevent climbing (regardless of whether they are PVCu or not).

## **2. Communal Doors and Access Control - note that this is the door to the courtyard**

Communal door set certificated to the following standards to mitigate against the additional usage of the communal door.

- LPS 1175 Issue 7:2010 Security Rating 2 or
- STS 202 Issue 3:2011 Burglary Rating 2

Communal door sets should incorporate an automatic closing mechanism, automatic deadlock, with internal thumb turn, knob or handle - external entry should be restricted by key, key fob, proximity reader or combination thereof.

Communal entrance doors should have vandal resistant audio, visual access control panels, with electronic lock release - tradesperson release buttons are not permitted. Electronic access control proximity 'keys' and readers should be security encrypted to protect against unauthorised copying.

Communal entrance lobby - Secondary door should include key fob access plus audio only access control for visitors and should be certified to one of the following standards.

- PAS 24:2012
- PAS 24:2016
- STS 204 Issue 4:2012
- LPS 1175 Issue 7.2 (2014) Security Rating 2
- STS 202 Issue 3 (2011) Burglary Rating 1
- LPS 2081 Issue 1 (2015) Security Rating A

**3. Mail delivery** - Secure through the wall mailboxes located on the main street to be accredited to TS008:2012

## **4. Cycle Storage**

Cycle storage areas should, ideally be enclosed and built into the fabric of the building, be visibly permeable, incorporating a self-closing mechanism and slam-shut BS 8621 lock with internal thumb turn. External entry should be restricted by key, key fob, proximity reader or combination thereof.

The bicycle security anchor must also be certificated to 'Sold Secure' Silver Standard or LPS 1175 Issue 7:2010 SR2 and securely fixed to the concrete foundation in accordance with the manufacturer's specifications.

Cycle store is not to be sign posted.

## **5. Refuse Storage Area**

Refuse storage areas should be enclosed and incorporate a self-closing, self-locking mechanism. This may not be possible on the street entrance due to the bi-fold doors being currently recommended and a strategy must be in place on the secondary door to prevent illegitimate access into the secure lobby area.

Refuse storage area door set to street level should be certified to the following standard to mitigate against higher levels and more robust usage

- STS 204 Issue 4:2012
- LPS 1175 Issue 7.2 (2014) Security Rating 2
- STS 202 Issue 3 (2011) Burglary Rating 1
- LPS 2081 Issue 1 (2015) Security Rating A

Larger single leaf door is preferred (bi-fold door noted) as the strength of the security is compromised when a slave bolt is not utilised. If fob key access is used by refuse collectors then the door should be push button release to exit. Residents do not require access to the refuse yard from street side,

Access from the internal lobby courtyard should be gained via fob key in to refuse area and fob key out to the courtyard. Refuse. Courtyard door/gate should be self closing, self locking and be certified to the following standards to mitigate against increased usage

- STS 204 Issue 4:2012
- LPS 1175 Issue 7.2 (2014) Security Rating 2
- STS 202 Issue 3 (2011) Burglary Rating 1
- LPS 2081 Issue 1 (2015) Security Rating A

## **6. External Lighting / Alarm Systems, etc**

The overall uniformity of light is expected to achieve 40% and should never fall below 25%. The colour rendering qualities should achieve 60 (minimum) on the Colour Rendition Index - certification will be required.

External lighting should be switched using a photoelectric cell (dusk to dawn) with a manual override.

Utility meters should, where possible, be sited outside the front of the dwelling - alternatively they should be sited on the ground floor, between access-controlled doors (air lock system).

A 13amp non-switched fuse spur, suitable for an alarm system, should be provided - if a full alarm system is provided, it should comply with:

BS EN 50131 & PD6662 (wired system)

BS 6799 (wire free system)

If complete systems are installed and a police response is required, reference should be made to the ACPO Security Systems Policy, a copy of which can be obtained from the SBD website – [www.securedbydesign.com](http://www.securedbydesign.com)

### **7. Lightweight Framed Walls:**

- The security of a development can be severely compromised if lightweight framed walls do not offer sufficient resilience to withstand a criminal attack; this is recognised within Approved Document Q.
- Lightweight framed walls installed either side of a secure door-set (600mm for the full height of the door-set to restrict access to door hardware) or walls providing a partition between two dwellings, or a dwelling and shared communal space, shall meet the requirements below.
- Wall systems proven to meet the requirements of the following standards are preferred:
  - LPS 1175 Issue 7.2 (2014) Security Rating 1
  - STS 202 Issue 3 (2011) Burglary Rating 1
  - EN 1627: 2011 Resistance Class 2

### **8. Outer Perimeter**

Rear communal entrance should be fob key access and exit only to mitigate against the risk of intrusion from the rear garden.

Rear communal entrance door to be certified to the following standards

- LPS 1175 Issue 7.2 (2014) Security Rating 2
- STS 202 Issue 3 (2011) Burglary Rating 1
- LPS 2081 Issue 1 (2015) Security Rating A

### **9. Additional Recommendations**

Utility meters should, where possible, be sited outside the front of the dwelling - alternatively they should be sited on the ground floor, between access-controlled doors (air lock system).

Mail boxes to be accredited to T009:2012 specification

A 13amp non-switched fuse spur, suitable for an alarm system, should be provided - if a full alarm system is provided, it should comply with:  
BS EN 50131 & PD6662 (wired system)  
BS 6799 (wire free system)

### **The National Planning Policy Framework (NPPF)**

The NPPF states that planning policies and decisions should aim to ensure that developments create:

**“Safe and accessible environments where crime and disorder, and the fear of crime, do not undermine quality of life or community cohesion”**

**“Safe and accessible developments, containing clear and legible pedestrian routes, and high quality public space, which encourage the active and continual use of public areas”.**

Should the applicants or the Planning Authority have any queries, please do not hesitate to contact this office either by email - [DOCOMailbox.NW@met.pnn.police.uk](mailto:DOCOMailbox.NW@met.pnn.police.uk) or telephone quoting the reference number shown above.

I would ask that my interest in this planning application be noted and that I am kept apprised of developments.

Kind Regards,

**PC Ellen Cooper**  
**Designing Out Crime Officer**  
**Metropolitan Police Service**  
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**Office Email:** [DOCOMailbox.NW@met.police.uk](mailto:DOCOMailbox.NW@met.police.uk)  
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**The primary objective of an efficient Police Force is the prevention of crime**

Crime Prevention advice can be found on the Metropolitan Police Service Website - <http://content.met.police.uk/site/crimeprevention>

Note - Section 17 of the Crime and Disorder Act 1988 states *“It shall be the duty of each Authority to which this section applies to exercise its various functions with due regard to the likely effect of the exercise of those functions on and the need to do all it reasonably can to prevent Crime and Disorder in it’s area”*, as clarified by PINS953.