

Mrs Lisa Clifton
HOK
Qube
90 Whitfield Street
London
W1T 4EZ

Application Ref: **2017/1857/L**
Please ask for: **Elaine Quigley**
Telephone: 020 7974 **5101**

28 June 2017

Dear Sir/Madam

DECISION

Planning (Listed Building and Conservation Areas) Act 1990

Listed Building Consent Granted

Address:

British Museum
Great Russell Street
LONDON
WC1B 3DG

Proposal:

External and internal works to galleries 42-46 including installation of 3 new windows on the second floor northern elevation of gallery 42, 1 new window on the second floor southern elevation of gallery 42, one new window on the second floor western elevation of galleries 43-45, removal of existing ductwork at second floor level on the western elevation and installation of new glazing bricks (retrospective), and internal alterations including installation of fretwork screens behind the new window openings, new electrical floor boxes, floor heating grilles, redecoration of ceiling, installation of new partition sliding screen in gallery 43 and CCTV camera all in association with the White Wing Building.

Drawing Nos: A-IWG-100 rev B; A-IWG-200 rev A; A-IWG-300 rev A; A-IWG-500 rev B; A-IWG- A-IWG-501 rev C; A-IWG-600 rev B; A-IWG-601 rev C; A-IWG-602 rev B; A-IWG-603 rev C; A-IWG-910 rev A; A-IWG-911 rev A; SK_048; SK_049; SK_051; 1756/403/01 rev A; 1756/403/02 rev A; 1756/403/03 rev A; 1756/403/04 rev A; Design and Access Statement and Conservation significance statement rev P1 produced by HOK dated 23rd February 2017; Report in support of mechanical ventilation removal to Galleries 43 and 45 produced by HOK dated 6th April 2017.



The Council has considered your application and decided to grant Listed Building Consent subject to the following condition(s):

Conditions And Reasons:

- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 2 All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, colour, texture and profile, unless shown otherwise on the drawings or other documentation hereby approved or required by any condition(s) attached to this consent.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP25 of the London Borough of Camden Local Development Framework Development Policies and policy D2 of the Camden Local Plan Submission Draft 2016.

- 3 The works hereby approved are only those specifically indicated on the drawing(s) referred to above.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP25 of the London Borough of Camden Local Development Framework Development Policies and policy D2 of the Camden Local Plan Submission Draft 2016.

- 4 The profiles of all the new windows hereby approved shall match the adjacent window profiles and the double glazing should have spacers to match the finished colour of the window joinery.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP25 of the London Borough of Camden Local Development Framework Development Policies and policy D2 of the Camden Local Plan Submission Draft 2016.

Informative(s):

- 1 Reasons for granting listed building consent.

The existing galleries are vacant and have few embellishments other than decorative plaster and joinery moulding around windows and doors, some historic floor finishes and grilles, and wall and ceiling finishes (although some ceilings were damaged in the early 20th century).

The proposals comprise conservation-led repair to all the galleries' historic fabric, including reinstatement of missing ceiling features, plus sensitive integration of state-of-the-art M&E services.

The external works relate to the northern elevation and the lightwell area of the White Wing Building that lies within the eastern part of the Museum site. The proposal includes the reinstatement of three new window openings within blind windows at second floor level on the northern elevation and one new window at second floor level on the southern elevation facing onto the lightwell serving gallery 42. A new window opening would also be installed in the western elevation facing into the lightwell serving gallery 43-45. The new windows would be sliding 6-over-6 box sash windows. They would follow the proportions and detailing of existing windows in the White Wing, other than they would have sealed unit double glazing. A condition would be required to ensure that the profiles would match adjacent work and the double-glazing should have spacers to match the finished colour of the window joinery. Double glazing is acceptable here as the windows face onto the rear of properties fronting Montague Street and an internal lightwell and would not be visible from the surrounding public areas.

The proposal would also include the removal of redundant mechanical ventilation that faces onto the lightwell projecting out at second floor level and extending over the roof. The lightwell is faced in historic glazed bricks and the proposal includes the bricking up of the apertures with new Ibstock London White glazing bricks to match the existing (this work has already been completed and is therefore retrospective). This work is welcomed.

Internally the proposed gallery fit-out comprises a subtle and low-key but uncompromisingly modern design approach, which is acceptable as the galleries are effectively a blank canvas. The layout, fitting and servicing of display cabinets will be reversible and not compete with the historic envelope of the galleries nor harm their proportions and spatial qualities. The hanging of screens to articulate and visually break up the gallery spaces is acceptable as they will read as an integral part of the overall design and will be a reversible addition to the museum interiors.

Historic England was consulted, whereby a response was received on 12th April 2017 authorising the London Borough of Camden to determine this application in accordance with national and local policy guidance and on the basis of its specialist conservation advice.

The site's planning history was taken into account when coming to this decision.

Special regard has been attached to the desirability of preserving the listed building and its features of special architectural or historic interest, under s.16 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and

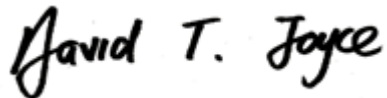
Regulatory Reform Act (ERR) 2013.

As such, the proposal is in general accordance with policy CS14 of the London Borough of Camden Local Development Framework Core Strategy, and policy DP25 of the London Borough of Camden Local Development Framework Development Policies. The proposal complies with policy D2 of the Camden Local Plan Submission Draft 2016. The proposed development also accords with The London Plan 2016 and the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink that reads "David T. Joyce". The signature is written in a cursive, slightly slanted style.

David Joyce
Director of Regeneration and Planning