



CHALCOT CRESCENT HOUSE
6 Chalcot Crescent, London NW1 8YD
Emergent Design Studios_ 27 June 2017

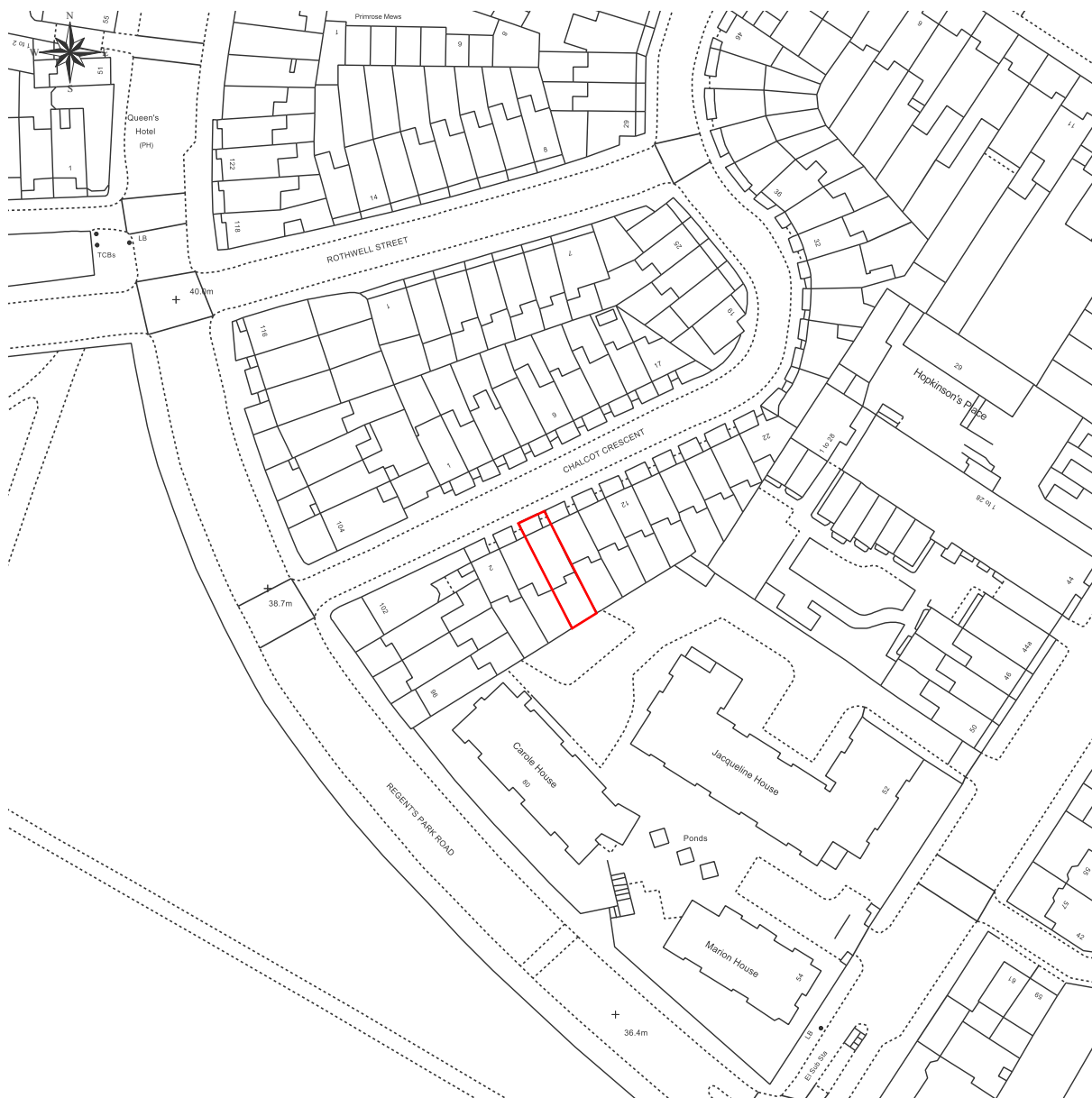
DESIGN & ACCESS STATEMENT
Householder Planning & Listed Building
Consent Application

PROPOSED WORKS AT 6 CHALCOT CRESCENT

Internal alteration and rear extension of the basement level to replace a timber deck balcony and staircase, form new timber entrance door under steps and alter the rear window to the closet extension at 6 Chalcot Crescent, a 4-storey terraced house, 3 storeys and basement erected by J. Burden in c. 1850. The building is Grade II listed (1974) and located in the Primrose Hill Conservation Area in the London Borough of Camden (LBC).

The proposals aim to improve the amenity of the basement level in terms of its visual & physical connection to the rear garden as well as increasing its exposure to natural light and resolving issues with dampness through several interventions. The application also seeks to regularise alterations made after the last Listed Building Consent from 1994, prior to the acquisition by the present owners.

This statement should be read in conjunction with the Heritage Impact Statement and drawings: CC_PL_100, CC_PL_101, CC_PL_102, CC_PL_103, CC_PL_104, CC_PL_105, CC_PL_106, CC_PL_112, CC_PL_113, CC_PL_120, CC_PL_121, CC_PL_130, CC_PL_131, CC_PL_132, CC_PL_450, CC_PL_152, CC_PL_153, CC_PL_170, CC_PL_171, CC_PL_180, CC_PL_181, CC_PL_182, CC_PL_201, CC_PL_202, CC_PL_203, CC_PL_204, CC_PL_205, CC_PL_206, CC_PL_300, CC_PL_301, CC_PL_330, CC_PL_331, CC_PL_332, CC_PL_451 and CC_PL_700.



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LOCATION PLAN FOR 6 CHALCOT CRESCENT

The site is accessed from the south side of Chalcot Crescent in the Primrose Hill Conservation Area in the London Borough of Camden. The house was granted Grade II Listed Building Status in 1974.

The site is approximately 120 sqm. The terraced house occupies approximately 39% of the site.

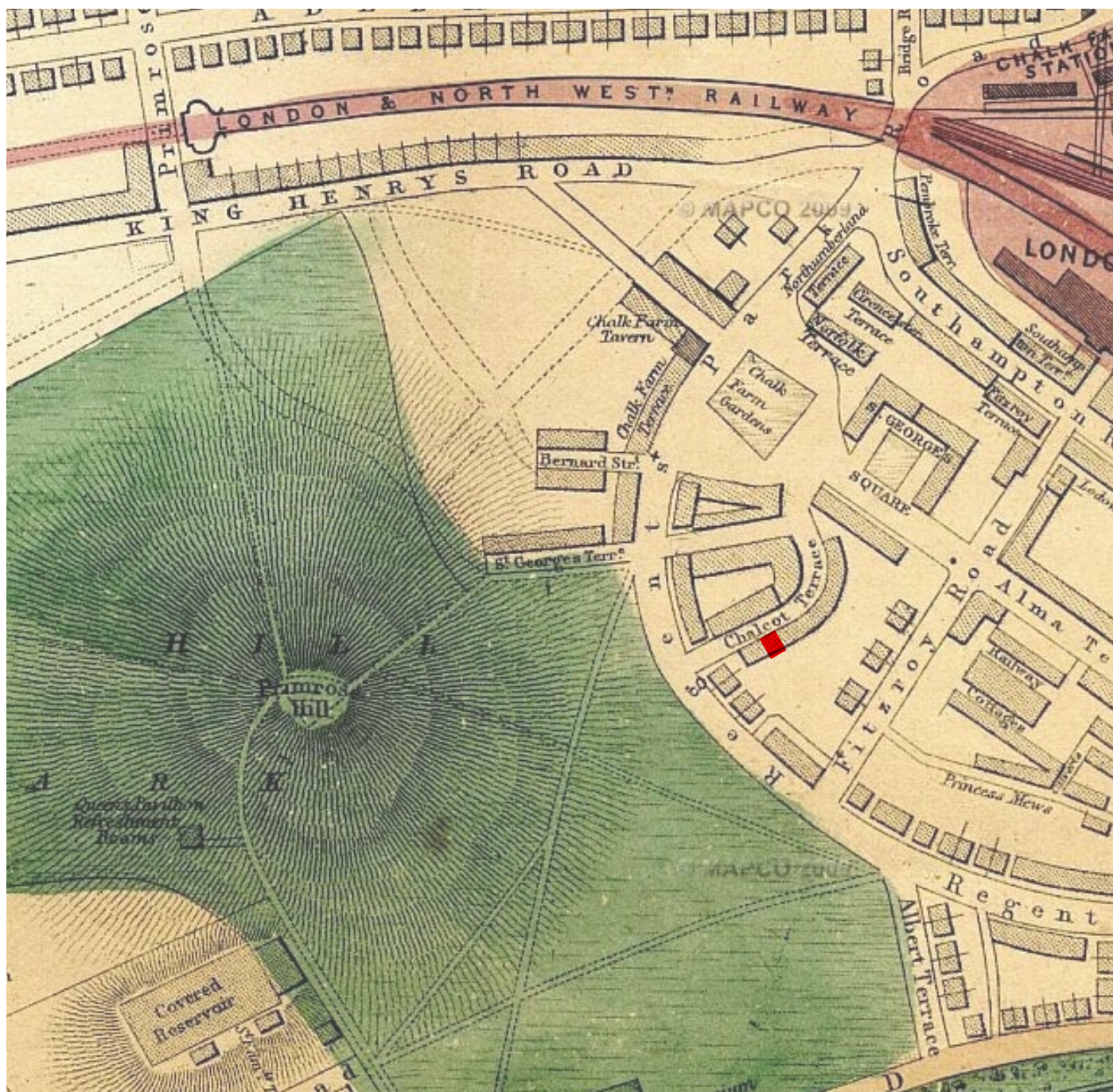


Figure 1: Weller Map 1868.

AREA & SITE HISTORIC ANALYSIS

Please refer to the appended Heritage Impact Statement which studies the area and building's heritage history in depth.

This statement includes the history of the House as built, later alterations, setting and significance. It then studies the Heritage Impact assessment of the proposals as drawn and its policy context.

PLANNING POLICIES

Please refer to the appended Heritage Impact Statement which outlines policy considerations for these proposals, based on:

- National Planning Policy Framework NPPF 2012;
- London Borough of Camden Local Development Framework Core Strategy (CS14);
- London Borough of Camden Local Development Framework Development Policy (DP24 - securing high quality design, DP 25 - conserving Camden's heritage and DP27- Basements and Lightwells);
- Primrose Hill Conservation Area Statement;



Figure 2: Exterior Aerial View of the Rear- As Existing



Figure 3: Exterior Aerial View of the Rear - As Proposed

DETAILED PROPOSAL & SCHEDULE OF ALTERATIONS

These proposals were conceived in accordance with the aforementioned planning policies and the supplementary design guidance provided by the London Borough of Camden through its Local Development Framework Core Strategy and Development Framework Development Policy.

As shown in Figures 2 & 3, the proposals aim to extend and improve the amenity of the basement level in terms of its visual & physical connection to the rear garden as well as increasing its exposure to natural light and resolving ongoing issues with dampness through several interventions.

In this way, the internal reconfiguration and small rear extension of the basement level relocates the kitchen and forms a new study area in the existing closet extension, to cater for the needs of a contemporary family home.

The replacement of the timber balcony and staircase with a new structure is proposed, to be recessed from the rear facade of the closet extension. A walk-on glass roof and an elegant lightweight steel balustrade aim to improve the existing condition and constitute the only alterations proposed at ground level.

The bulk of the alterations of this proposal concentrate internally and externally towards the rear of the basement level of the house. A small extension to the rear under the new balcony is proposed along with an enlarged window to the rear facade of the closet extension at basement level. A new timber door is also proposed under the entrance steps in the frontyard area.

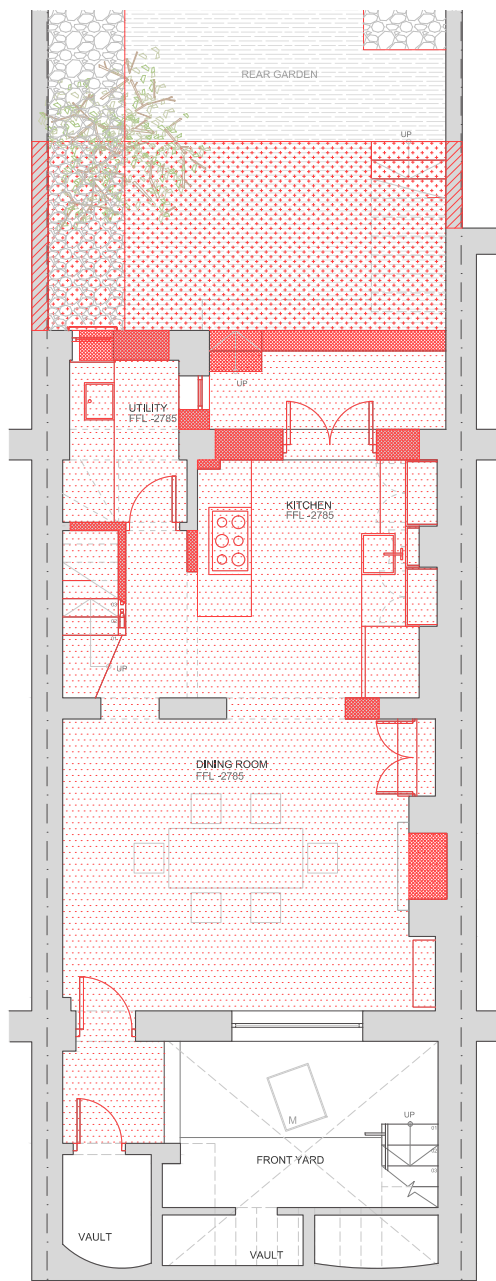


Figure 4: Existing Basement Level Layout

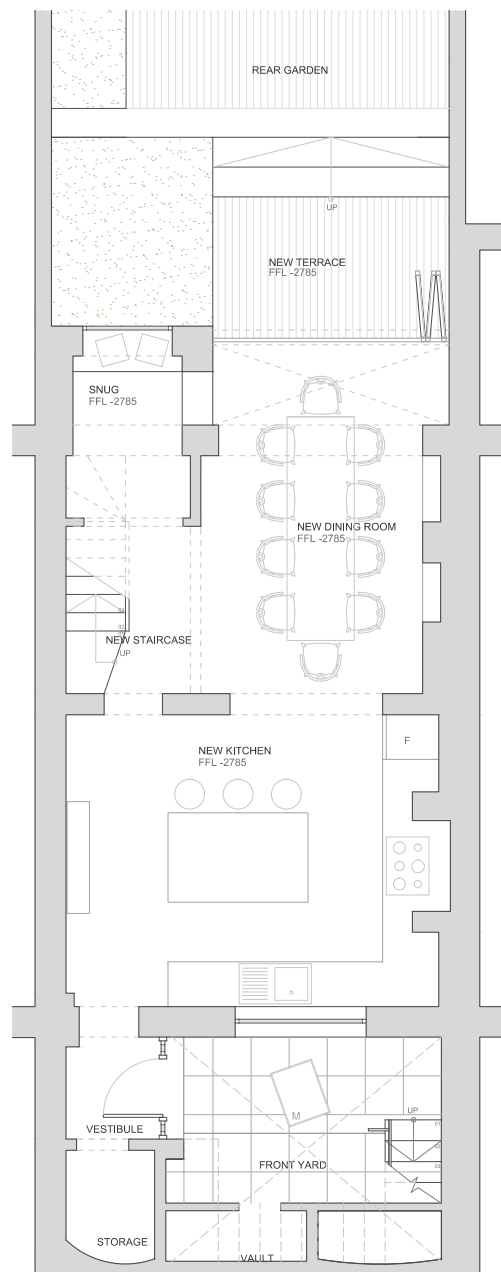


Figure 5: Proposed Basement Level Layout

BASEMENT LEVEL

As indicated in Figure 4, the proposals comprise the following alterations at basement level:

- Removing the existing timber structure to the rear (Figs. 15-18);
- Widening the existing opening to the rear under the balcony to increase exposure to natural light and views into/from the rear garden (Figs. 16 & 23);
- Widening the existing rear window and side access opening to the closet extension (Figs. 17 & 20);
- Partially removing the wall between the existing kitchen and the adjacent hall (Figs. 22-23);
- Widening the opening between kitchen & dining, initially formed and altered in 1994 (Fig. 18)
- Stripping out modern entrance door, staircase (built in 1994), kitchen and utility as existing (Figs. 21-23);
- Removing the existing slab to resolve ongoing dampness issues through new drainage and slab;
- Partially excavating the rear garden area for new landscaping, removing the existing palm tree.

Figures 4 & 5 show the proposed layout which, as indicated, removes segments of existing walls whilst retaining nibs and downstands. The new extension, recessed from the face of the closet extension, will be formed of a steel structure and large glass bi-fold panels in white timber frames and a walk-on glass roof.

A new internal staircase is proposed, thereby opening a new study area in lieu of the existing utility, with a large window seat to the rear, and the reinstatement of the side opening. A new entrance via the timber door is proposed under ground floor level entrance steps.

An Underfloor Heating System is proposed to be installed throughout this level. The kitchen is proposed to be re-located to the room towards the front for ease of access and to cater for the family's aspiration to have larger kitchen and turn this space into a pleasant meeting point in the house.

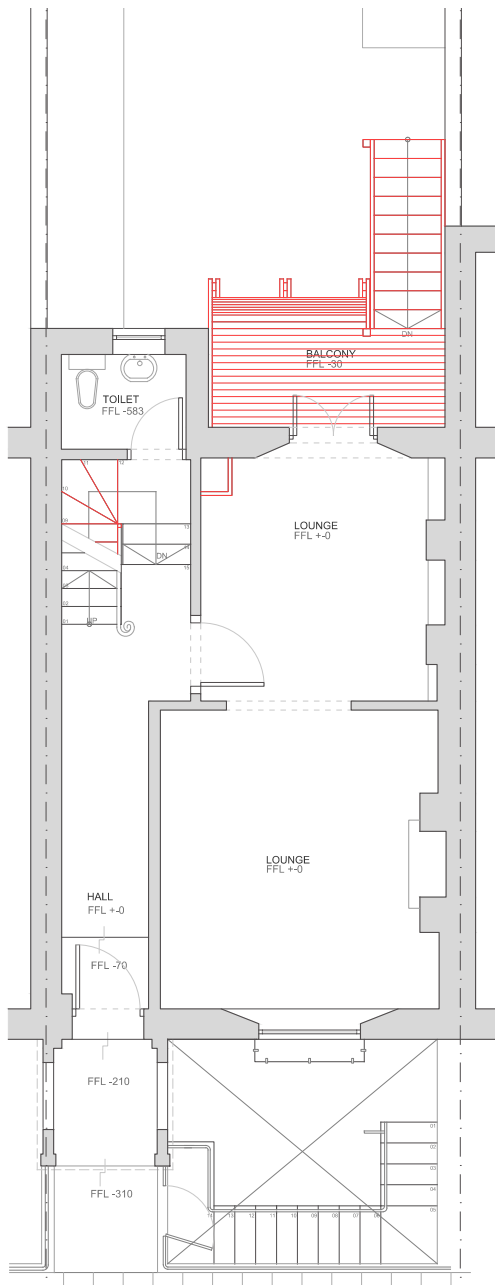


Figure 6: Existing Ground Floor Layout

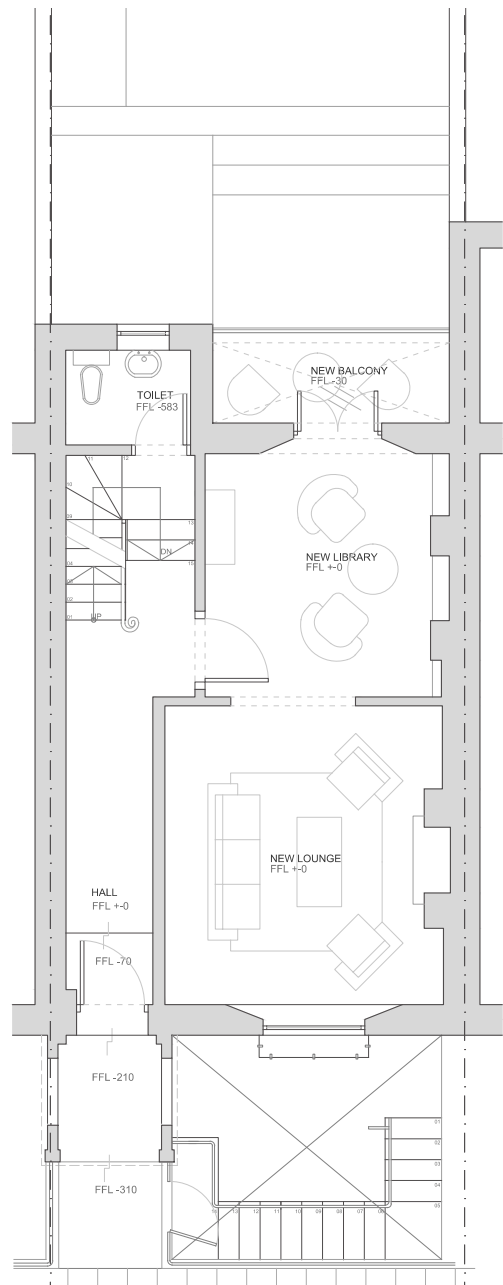


Figure 7: Proposed Ground Floor Layout

GROUND FLOOR LEVEL

As indicated in Figure 6, the proposals comprise the following alterations at Ground Floor Level:

- Removing the existing timber balcony and staircase to the rear garden (Figs. I5-I8);
- Removing the existing internal modern staircase (Fig.22 & 24);
- Removing the existing modern timber boiler box in the rear lounge (Fig. 26).
- Remove spotlights to the rear reception room (Fig. 26);

As indicated above, only minor alterations are proposed to this level. Figure 7 shows the proposed layout which, as indicated, retains all existing walls, doors and details.

The internal upward staircase, cornices, mouldings and existing chimney breast will be carefully restored.

The existing timber external balcony and staircase towards the rear garden will be replaced by new balcony with an elegant lightweight steel balustrade, all in painted steel finished in black to match all existing ironmongery. The balcony and balustrade are proposed to be recessed from the face of the original rear elevation of the closet wing.

This in itself will be the most significant improvement in the proposals as it would be replacing a poorly detailed, out of keeping timber structure with a heritage-sensitive structure, improving views from the lounge areas at this level.



Figure 8: Existing Longitudinal Section



Figure 9: Proposed Longitudinal Section

FIRST, SECOND FLOOR & ROOF LEVELS

The only alterations proposed to the First, Second Floor and Roof Levels are the new layout to the second floor bathroom to accommodate a shower and a utility cupboard.

Repairs to the existing roof will be carefully surveyed and carried out where required.

CEILINGS

Figures 8 & 9 indicate a modern MF ceiling throughout the basement, to be removed so that the original ceiling level can be reinstated. This double ceiling was probably used as acoustic buffer when the property was sub-divided. Modern spotlights in the ground floor rear reception room will also be removed and the ceiling made good to reinstate its original aspect.

EXCAVATION & UNDERPINNING

Trial pits were explored in the rear garden area, exposing the depth of the original foundation footings.

The depth found is indicated in the appended drawing set (Figures 10 & 11), showing that the proposed excavation would not be lower than the level of the main building's and closet wing's original footings. As also indicated, underpinning would only be required to reduced extents of the party fence wall on both sides (Nos. 4 & 8), therefore no underpinning would be required either to the main building or to the closet wing.

Steps up to the garden are retained as proposed as a characteristic common to the terrace as indicated in Figure 9.

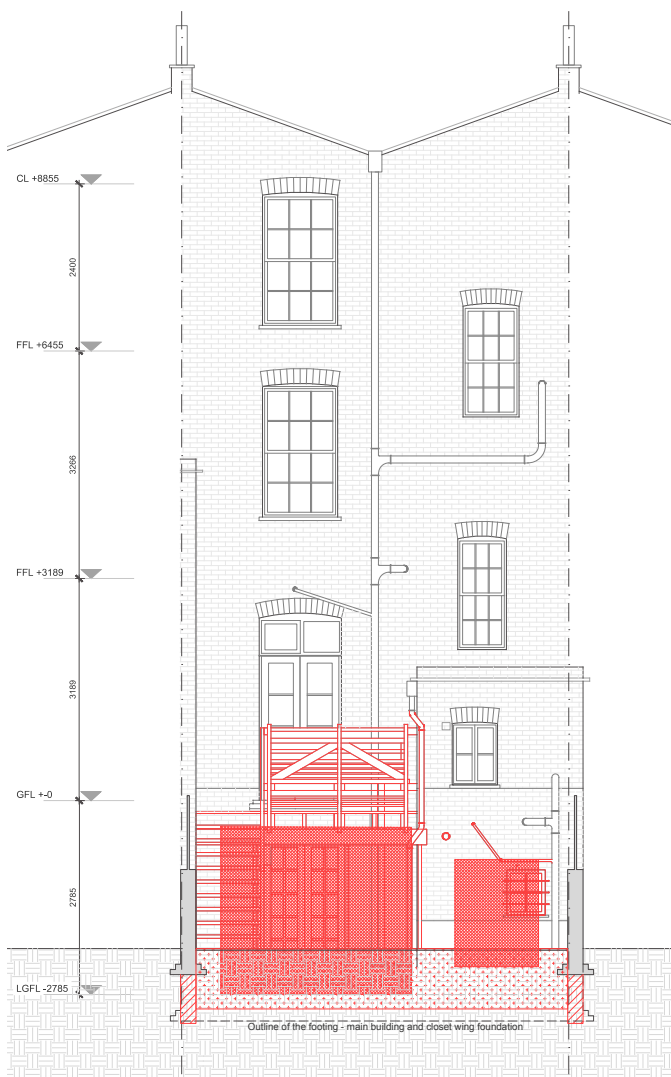


Figure 10: Existing Rear Elevation



Figure 11: Proposed Rear Elevation

EXTERIORS

Figure 11 shows the balcony and staircase replacement, maximising the exposure to daylight and improving the visual transition of basement areas into the garden. Large glass bi-fold panel doors are indicated as well as a fixed panel window to the rear facade of the closet extension. The proposed extension under the balcony will be finished with metal flashings, white timber frames and new railings to be finished in black to match all existing ironmongery. New landscaping is proposed to the rear garden including the removal of an existing palm tree, for which a section 211 notice will be duly served.

DAMPNESS

The building has been surveyed and damp issues were reported in the basement level. The proposed strategy to rectify the issue is to remove the existing slab and install a self-draining membrane combined with a new drainage system and form a new slab to be finished with timber flooring. Details of the remedial works proposed are available on request.

CONCLUSION

The proposals aim to respectfully convert and extend the basement level of this listed building for its use as a modern family home. The proposed alterations are underpinned by a careful historic assessment of the structure and its features in its current state, in order to align with national and local planning and heritage protection policy.

A dark and cluttered basement level is proposed to be transformed through natural light and a functional layout. A poorly detailed and maintained timber structure is proposed to be replaced with a heritage-sensitive, contemporary extension.

We believe that the proposed scheme enhances the listed building and transforms it to cater for the needs of a contemporary family, with a minimum compromise of the integrity of its heritage value and should therefore be consented.



Figure I2: Main Facade towards Chalcot Crescent to be restored as necessary.



Figure I3: Rear Aerial View from the Estate at the rear.



Figure I4: Rear Facade with existing timber structure and palm tree.



Figure 15: View from existing balcony and stair, consented in 1994 - poorly detailed and out of keeping with the character of the house.



Figure 16: View of the existing balcony and stair, shading the rear opening at basement level, poorly detailed.



Figure 17: Dark exterior with French doors to rear. Glass block infill of the original side doorway into garden.



Figure 18: Cluttered and dark basement level with existing kitchen and the dining towards to the front.



Figure 19: View of the interface between the existing balcony and original closet extension, poorly detailed.



Figure 20: Closet extension window as altered with modern lintel and reduced proportions.



Figure 21: Closet extension window from the inside, modern alteration, substantially reducing the amount of natural light into this room.



Figure 22: Modern staircase installed without planning approval (before 2006).



Figure 23: Existing kitchen area, dark, cluttered space with limited visual connection to the rear garden.



Figure 24: Modern staircase installed without planning approval (before 2006).



Figure 25: Ground floor French Doors towards rear balcony.



Figure 26: Boiler cabinet next to French Doors, awkwardly positioned and proportioned. Spotlights to be removed.



Figure 27: Fontyard arched entrance under ground floor level steps.



Figure 28: Access door to front vaults where utility and plant are installed.



Figure 29: Concrete pavings and staricase in the frontyard.