

Mr Pawel Nawojczyk  
SHH Architects  
1 Vencourt Place  
Ravenscourt Park  
Hammersmith  
London W6 9NU

Application Ref: **2017/2477/P**  
Please ask for: **David Peres Da Costa**  
Telephone: 020 7974 **5262**

28 June 2017

Dear Sir/Madam

## **DECISION**

Town and Country Planning Act 1990 (as amended)

### **Approval of Details Granted**

Address:  
**17 Branch Hill**  
**LONDON**  
**NW3 7NA**

Proposal:

Details of tree protection required by condition 5 of planning permission 2015/3377/P dated 27/04/2017 (for erection of part 2 and part 3 storey plus basement single family dwelling (following demolition of existing) with plant room, swimming pool).

Drawing Nos: Arboricultural method statement prepared by Landmark Trees dated 30th November 2016

The Council has considered your application and decided to grant permission.

Informative(s):

- 1 Reason for granting permission

The applicant has submitted an arboricultural method statement. This has been reviewed by the Council's tree officer. The submitted information is considered sufficient to demonstrate the trees to be retained both on the site and on adjoining sites, would be adequately protected throughout the development in line with BS5837:2012.



The planning and appeal history of the site has been taken into account when coming to this decision.

Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

As such, the proposed development is in general accordance with policy CS15 of the London Borough of Camden Local Development Framework Core Strategy; and policy A3 of the Camden Local Plan Submission Draft 2016.

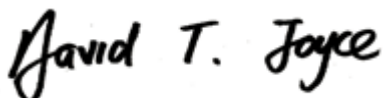
- 2 You are reminded that conditions 3 (Detailed drawings, or samples of materials) 10 (bio-diverse green roof) and 11 (internal water use) of planning permission granted on 27/04/2017 ref: 2015/3377/P are outstanding and require details to be submitted and approved. You are advised that details have been submitted for condition 9 (SUDS) and 12 (piling method statement) and these details are currently being assessed.
  
- 3 The Inspector's report on the Local Plan was published on 15 May 2017 and concludes that the plan is 'sound' subject to modifications being made to the Plan. While the determination of planning applications should continue to be made in accordance with the existing development plan until formal adoption, substantial weight may now be attached to the relevant policies of the emerging plan as a material consideration following publication of the Inspector's report, subject to any relevant recommended modifications in the Inspector's report.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully



David Joyce  
Director of Regeneration and Planning