

MWA Arboriculture Ltd
Bloxham Mill Business Centre
Barford Road
Bloxham
Banbury
OX15 4FF

Application Ref: **2017/2512/T**
Please ask for: **Nick Bell**
Telephone: 020 7974 **5939**

28 June 2017

Dear Sir/Madam

DECISION

Town and Country Planning Acts 1990 (as amended)
Town and Country Planning (Tree Preservation Order) Regulations 1999

REFUSAL OF CONSENT FOR WORKS TO TREE/S UNDER A TREE PRESERVATION ORDER

Address:
153 Gloucester Avenue
London
NW1 8LA

Proposal:
REAR GARDEN;
1 x Plane - Remove

The Council has considered your application dated 01 May 2017 and decided to refuse consent for the following reason(s):

Reason(s) for Refusal

- 1 The application tree is a large, mature, broadly spreading London plane tree over 25m in height. The tree is considerably larger than the surrounding properties resulting a high level of visibility from the public realm and visual amenity for the public. The tree is visible to the public from a number of different streets including Gloucester Avenue, King Henry's Road, Fitzroy Road and Chalcot Square because of the height of the tree. The application tree is likely to be the tallest tree in the



Primrose Hill Conservation Area, is considered to greatly contribute to the character of the area and is a significant landscape feature.

The tree is considered to have significant, safe, useful life expectancy and appears to be in good physiological condition.

The Primrose Hill Conservation Area Statement lists the Gloucester Avenue view downhill from the north end of the Avenue looking south towards the bend in the road and stepped buildings as one of most significant views in the conservation area. The application tree hugely contributes to this view with a large proportion of the crown of the tree visible above the handsome terraced buildings. The Primrose Hill Conservation Area Statement also refers to the lack of street trees in the area and specifically references the trees within the front and rear gardens of “a number of properties on the south side of Gloucester Avenue” which includes the property where the application tree is located. The low number of street trees on the primary and secondary roads within the conservation area is considered to elevate the importance of privately owned trees with public visibility.

The supporting documents submitted with the application allege that the application tree is the cause of vegetation related property damage at a nearby property. The documents states that live roots from the *Platanus* genera have been located close to the site of the damage. However, there is more than one specimen of this genera nearby, it is has not been demonstrated that the roots that have been found are those of the application tree.

The supporting documents also refers to damaged drains at the property. Leaking drains could be affecting soil moisture levels and could be the cause of or contributing to the damage.

The application alleges that the cause of the movement is vegetation related. No level monitoring data has been submitted for The Council's consideration.

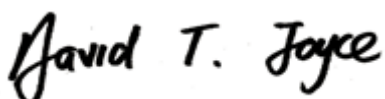
The application has been refused due to insufficient evidence to implicate the tree as the likely cause of the damage.

Informative(s):

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If you are unhappy with the Council's decision you may appeal within 28 days of the date of this notice by writing to The Environment Team, Room 4/04, Kite Wing, Temple Quay House, 2 The Square, Temple Quay, Bristol BS1 6PN.

Yours faithfully



David Joyce
Director of Regeneration and Planning

It is important to us to find out what our customers think about the service we provide. To help us in this respect, we would be very grateful if you could take a few moments to complete our online survey at the following website address: www.camden.gov.uk/dmfeedback. We will use the information you give us to help improve our services.