

**ARCHETYPE**

# Design and Access Statement

## **Erection of a side dormer extension**

at

**53 Belsize Park Gardens**

**London NW3 4JL**

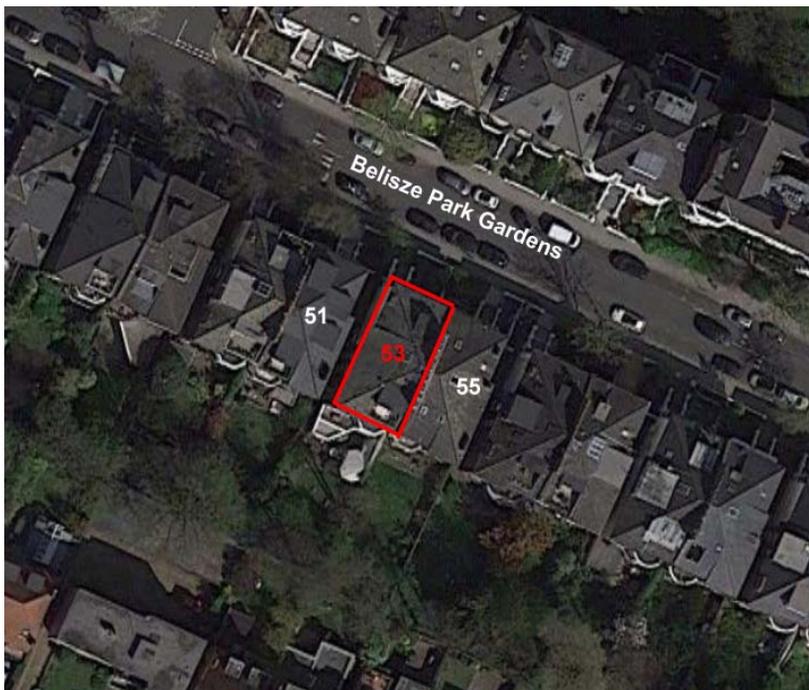
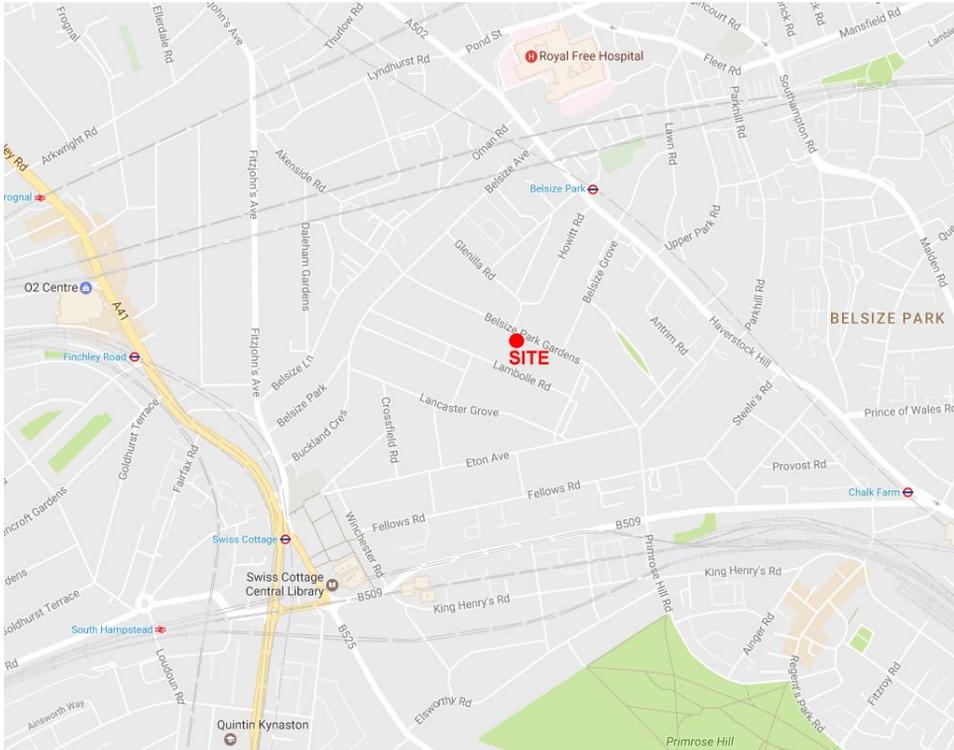
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# 1. Site Location

The site is located on South side of Belsize Park Gardens, close to its junction with Glenilla Road. Belsize Park Gardens continues to merge into Primrose Hill Road to its South and leads to Belsize Avenue to its North. Amenities of Primrose Hill are located ten minutes walk from the site. The site is served by underground station of Belsize Park located a short walk away. Haverstock Hill and Belsize Avenue provide good bus links to local areas.

The site is located within Belsize Park Conservation area.



## 2. Surroundings and Context

Belsize Park Gardens is dominated by four storey stucco semi detached buildings. A number of these houses are converted into flats or used as HMOs.

The properties on the street have a uniform and formal appearance, however a number of these properties have front and side dormer windows. Rear Elevations are somehow irregular with ground floor rear extensions and rear dormer windows/ roof terraces visible on some properties.



## 3. Site layout

The existing building has been converted into seven self contained flats. The applicant owns the second and third floor flat. The loft has been converted with front dormer window and a rear dormer window with access to roof terrace.

The main entrance to the property leads to a lobby and communal stairs that allows access to all the flats on upper floors.

## 4. Relevant Planning History

2013/2230/P Erection of a side Dormer extension... Withdrawn

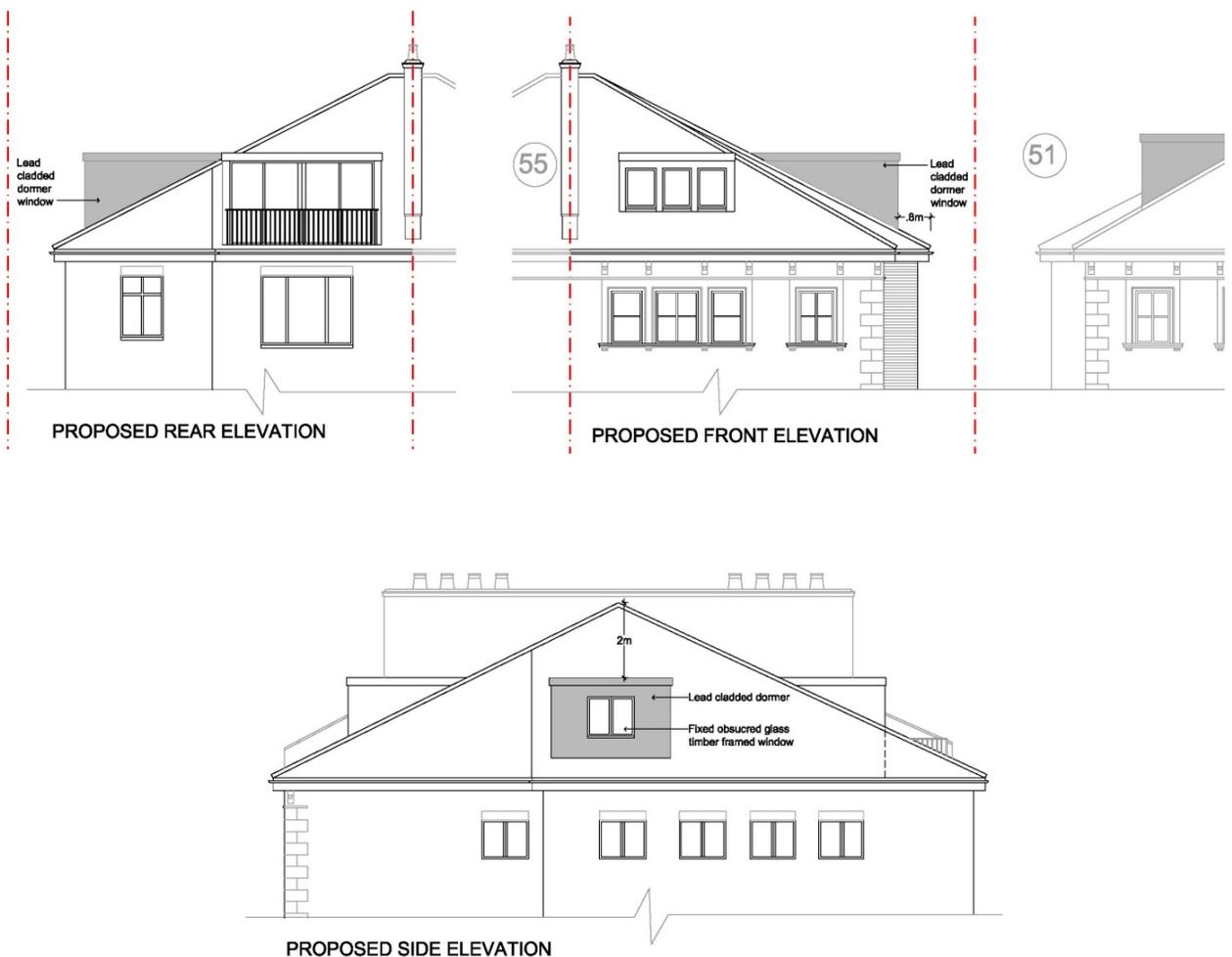
## 5. Concept Design

5.1 The applicant seeks to construct a side dormer window to create additional space for the family. A number of properties on Belsize park Gardens have similar side dormers of various sizes and designs.

5.2 The side dormer will be set back from the eaves by .8m, it will be 3.1m wide and roof of the dormer will be 2m below the ridge line. The dormer height will be in line with the front and rear dormers and will be clad in lead.

5.3 Adjacent building No. 51 has two similar side dormers with windows overlooking at application property.

5.4 The additional room created will be used a study/play room for children and will have a fixed obscured glass timber framed window to avoid any overlooking.



## **6. Access**

6.1 No alterations to existing access to the property is proposed as part of this scheme.

## **7. Conclusion**

7.1 The property is located in a Conservation area, however a number of properties along the road have similar side dormer extensions of varying sizes and designs.

7.2 The proposed side dormer is a modest addition in matching materials and will provide essential floor area for the growing family.