1.2 Bedroom 02

12.1 sq m

Bedroom 0

13.5 sq m

Lounge / Dining / Kitchen

Bedroom 01

15.9 sq m

Lounge / Dining / Kitchen

ROAD

29.8 sq m

GRAFTON

CID

Ø

 \subset

Ш

Ш

Z

S

C

 \mathcal{D}

Ш

S

C

Ш

Z

 \dashv

B

149 Grafton Road London NW5 4AY

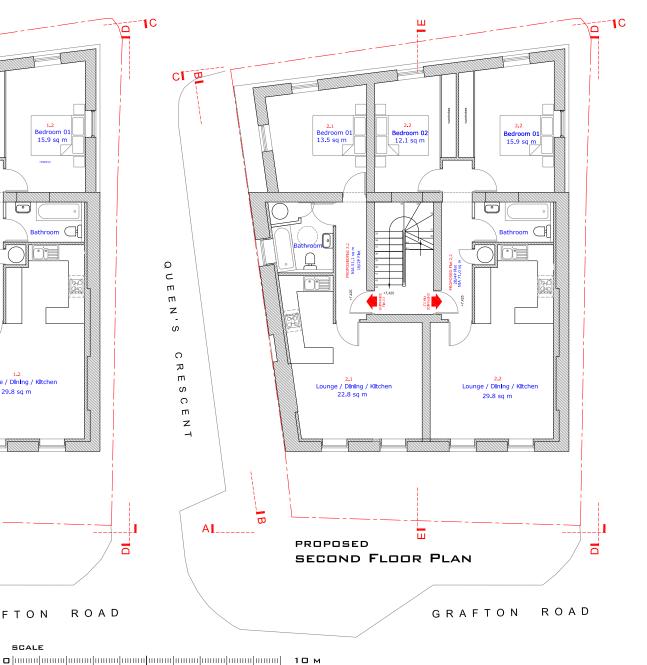


THIS DRAWING HAS BEEN PRODUCED USING OS INFORMATION ONLY AND IS SUBJECT TO A FULL MEASURED SURVED DETAILED SITE INSPECTION AND IS SUBJECT TO THE NECESSARY CONSENTS.

NO DIMENSIONS TO BE SCALED FROM THIS DRAWING, ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS AND ANY DISCREPANCIES REFERED TO THE ARCHITECT / ENGINEER / CONTRACTOR

THE OWNERSHIP OF COPYRIGHT OF THIS DRAWING REMAINS THE PROPERTY OF STUDIOLOG ARCHITECTURE + PLANNING LTD IN ACCORDANCE WITH THE COPYRIGHT DESIGN + PATENTS ACT 1988.

REPRODUCTION OF THIS DRAWING OR ITS CONTENT, WHOLLY OR IN PART IS PROHIBITED WITHOUT WRITTEN APPROVAL. NO IMPLIED LICENCE EXISTS.



Drawing No.: Revision:

1704.P-42

Date: 1:50 @ A1 1:100 @ A3 14.06.17

149 Grafton Road London NW5 4AY

Drawing Title: PROPOSED

1st + 2nd Floor Plans



PROPOSED

FIRST FLOOR PLAN

CID

Ø \subset

Ш

Z

S

C

 \mathcal{R}

Ш

S

C

Ш

Z

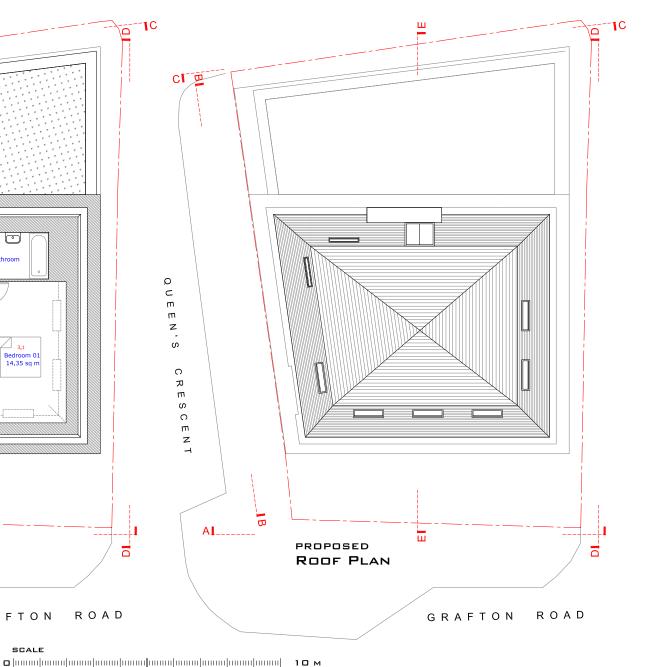


THIS DRAWING HAS BEEN PRODUCED USING OS INFORMATION ONLY AND IS SUBJECT TO A FULL MEASURED SURVED DETAILED SITE INSPECTION AND IS SUBJECT TO THE NECESSARY CONSENTS.

NO DIMENSIONS TO BE SCALED FROM THIS DRAWING, ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS AND ANY DISCREPANCIES REFERED TO THE ARCHITECT / ENGINEER / CONTRACTOR

THE OWNERSHIP OF COPYRIGHT OF THIS DRAWING REMAINS THE PROPERTY OF STUDIOLOG ARCHITECTURE + PLANNING LTD IN ACCORDANCE WITH THE COPYRIGHT DESIGN + PATENTS ACT 1988.

REPRODUCTION OF THIS DRAWING OR ITS CONTENT, WHOLLY OR IN PART IS PROHIBITED WITHOUT WRITTEN APPROVAL. NO IMPLIED LICENCE EXISTS.



Drawing No.: Revision:

1704.P-43

Date: 1:50 @ A1 1:100 @ A3 14.06.17

149 Grafton Road London NW5 4AY

Drawing Title: PROPOSED

1st + 2nd Floor Plans



PROPOSED

Kltchen

7.4 sq m

3.1 Lounge / Dining 18.8 sq m

THIRD FLOOR PLAN

0

3.1

GRAFTON

ROAD

Bedroom 01

14.35 sq m



Velux Rooflight (or similar)



THIS DRAWING HAS BEEN PRODUCED USING OS INFORMATION ONLY AND IS SUBJECT TO A FULL MEASURED SURVED DETAILED SITE INSPECTION AND IS SUBJECT TO THE NECESSARY CONSENTS.

NO DIMENSIONS TO BE SCALED FROM THIS DRAWING, ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS AND ANY DISCREPANCIES REFERED TO THE ARCHITECT / ENGINEER / CONTRACTOR

THE OWNERSHIP OF COPYRIGHT OF THIS DRAWING REMAINS THE PROPERTY OF STUDIOLOG ARCHITECTURE + PLANNING LTD IN ACCORDANGE WITH THE COPYRIGHT DESIGN + PATENTS ACT 1986.

REPRODUCTION OF THIS DRAWING OR ITS CONTENT, WHOLLY OR IN PART IS PROHIBITED WITHOUT WRITTEN APPROVAL, NO IMPLIED LICENCE EXISTS.



PROPOSED

grey artificial slate mansard roof

ELEVATION AA - GRAFTON ROAD

SCALE

принифициали принифиции принифициали принифициали принифициали принифициали принифициали принифициали принифициали принифициали принифициали принифиции принифиции принифиции принифиции принифиции принифиции прини

Drawlng No.: Revision: 1704.P-44 Date:

1:50 @ A1 1:100 @ A3

149 Grafton Road London NW5 4AY

Drawing Title:

PROPOSED minor material amendments Elevation AA - Grafton Road



14.06.17

t:+44(0)20 8886 3646





Notes

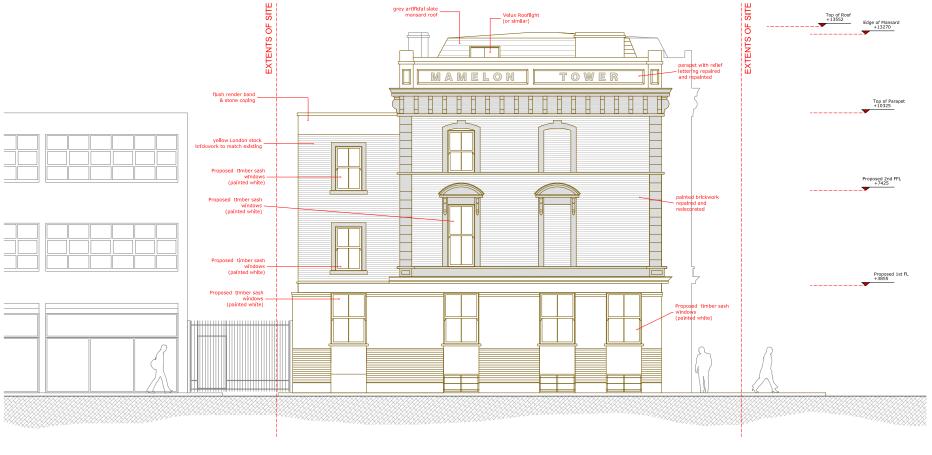
THIS DRAWING IS INTENDED AS AN INITIAL APPRAISAL OF THE SITE ONLY DO NOT USE FOR THE PURPOSES OF VALUATION.

THIS DRAWING HAS BEEN PRODUCED USING OS INFORMATION ONLY AND IS SUBJECT TO A FULL MEASURED SURVEY DETAILED SITE INSPECTION AND IS SUBJECT TO THE NECESSARY CONSENTS.

NO DIMENSIONS TO BE SCALED FROM THIS DRAWING, ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS AND ANY DISCREPANCIES REFERED TO THE ARCHITECT / ENGINEER / CONTRACTOR

THE OWNERSHIP OF COPYRIGHT OF THIS DRAWING REMAINS THE PROPERTY OF STUDIOLOG ARCHITECTURE + PLANNING LTD IN ACCORDANCE WITH THE COPYRIGHT DESIGN + PATENTS ACT 1986.

REPRODUCTION OF THIS DRAWING OR ITS CONTENT, WHOLLY OR IN PART IS PROHIBITED WITHOUT WRITTEN APPROVAL, NO IMPLIED LICENCE EXISTS.



PROPOSED

ELEVATION BB - QUEEN'S CRESCENT

SCALE

Project Title:

149 Grafton Road London NW5 4AY

Drawing Title:

PROPOSED minor material amendments Elevation BB - Queen's Crescen

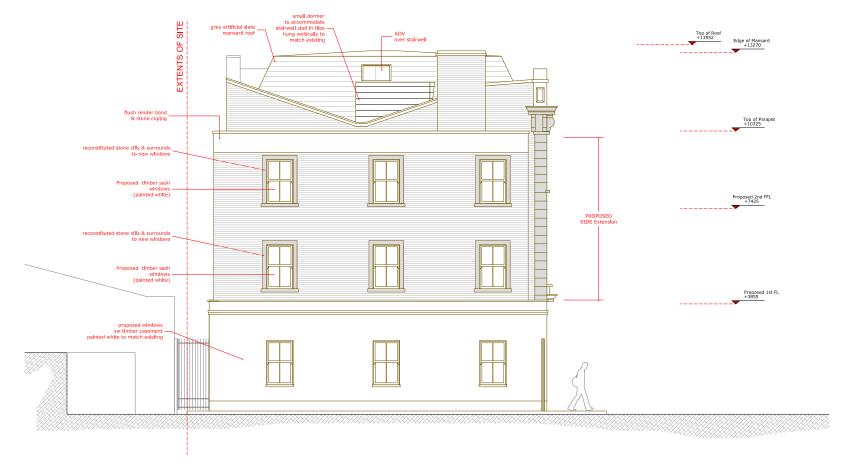


Studio:08 architecture + planning ltd Crows Nest 266 Stamford Hill

t:+44(0)20 8886 3646 e : planning@studio8-architects.com SKYPE: studio-08

PROPOSED





PROPOSED

ELEVATION CC - SIDE (SOUTH - WEST)

CALE



Notes

THIS DRAWING IS INTENDED AS AN INITIAL APPRAISAL OF THE SITE ONLY DO NOT USE FOR THE PURPOSES OF VALUATION.

THIS DRAWING HAS BEEN PRODUCED USING OS INFORMATION ONLY AND IS SUBJECT TO A FULL MEASURED SURVEY DETAILED SITE INSPECTION AND IS SUBJECT TO THE NECESSARY CONSENTS.

NO DIMENSIONS TO BE SCALED FROM THIS DRAWING, ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS AND ANY DISCREPANCIES REFERED TO THE ARCHITECT / ENGINEER / CONTRACTOR

THE OWNERSHIP OF COPYRIGHT OF THIS DRAWING REMAINS THE PROPERTY OF STUDIOLOG ARCHITECTURE + PLANNING LTD IN ACCORDANGE WITH THE COPYRIGHT DESIGN + PATENTS ACT 1988.

REPRODUCTION OF THIS DRAWING OR ITS CONTENT, WHOLLY OR IN PART IS PROHIBITED WITHOUT WRITTEN APPROVAL, NO IMPLIED LICENCE EXISTS.

149 Grafton Road London NW5 4AY

Drawing Title:

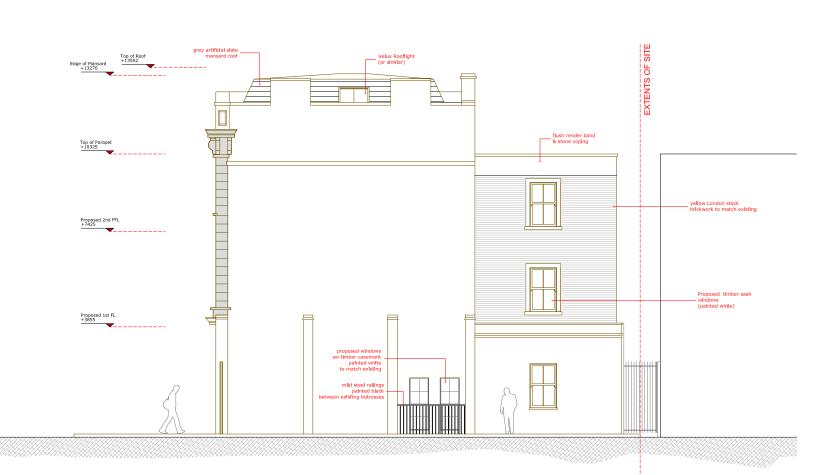
PROPOSED minor material amendments Elevation CC - Side (South West)



Studio:08 architecture + planning ltd Crows Nest 266 Stamford Hill

t:+44(0)20 8886 364 e : planning@studio8-architects.cor SKYPE: studio-0





PROPOSED

ELEVATION DD - REAR (NORTH - WEST)

SCALE



Notes

THIS DRAWING IS INTENDED AS AN INITIAL APPRAISAL OF THE SITE ONLY DO NOT USE FOR THE PURPOSES OF VALUATION.

THIS DRAWING HAS BEEN PRODUCED USING OS INFORMATION ONLY AND IS SUBJECT TO A FULL MEASURED SURVED DETAILED SITE INSPECTION AND IS SUBJECT TO THE NECESSARY CONSENTS.

NO DIMENSIONS TO BE SCALED FROM THIS DRAWING, ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORKS AND ANY DISCREPANCIES REFERED TO THE ARCHITECT / ENGINEER / CONTRACTOR

THE OWNERSHIP OF COPYRIGHT OF THIS DRAWING REMAINS THE PROPERTY OF STUDIOLOG ARCHITECTURE + PLANNING LTD IN ACCORDANGE WITH THE COPYRIGHT DESIGN + PATENTS ACT 1988.

REPRODUCTION OF THIS DRAWING OR ITS CONTENT, WHOLLY OR IN PART IS PROHIBITED WITHOUT WRITTEN APPROVAL, NO IMPLIED LICENCE EXISTS.

Project Title: Site at 149 Grafton Road London NW5 4AY

Drawing Title:

PROPOSED minor material amendments Elevation DD - Rear (North West)



Studio:08 architecture + planning ltd Crows Nest 266 Stamford Hill

t:+44(0)20 8886 364 e: planning@studio8-architects.co SKYPE: studio-0