

Miss Amy Saunders
Faithful + Gould
Atkins
Euston Tower
286 Euston Road
London
NW1 3AT

Application Ref: **2017/2094/L**
Please ask for: **Charles Thuaire**
Telephone: 020 7974 **5867**

2 June 2017

Dear Sir/Madam

DECISION

Planning (Listed Building and Conservation Areas) Act 1990

Listed Building Consent Granted

Address:
Arthur Tattersall House
119-131 Gower Street
London
WC1E 6AP

Proposal:

Internal refurbishment works including decorations, replacement kitchens and bathrooms and general repairs; external alterations to front basement lightwell, including tanking of 2 vaults to create serviceable M&E plant locations, installation of plant and associated connected pipework back into main building, creation of secure doorways to vaults and redecorations.

Drawing Nos: UCL/ATH/001, 002; Summer Work - Vault Pipework 4984-SK.01; CDM-VA02 (rev 004); Newton System 500 Cavity-Drain-Waterproofing-Brochure September 2014; 1606-MS-201 T1; UCL/ATH/59, 60; Design, Access and Heritage Statement by Faithful and Gould dated 31.3.17; UCL/ATH/01 - 58 inclusive; 1606-MS-101, 201, 202, 203, 204, 205; 1606-ES-101, 102, 103, 104, 105, 201, 301, 401; 1606-DIS-001; SH-1606-MS-SPEC; SA-1606-ES-SPEC; 207-04-1, 2, 3, 4, 5; 207 Scope schedule (16 pages).

The Council has considered your application and decided to grant Listed Building Consent subject to the following condition(s):

Conditions And Reasons:



- 1 The works hereby permitted shall be begun not later than the end of three years from the date of this consent.

Reason: In order to comply with the provisions of Section 18 of the Planning (Listed Buildings and Conservation Areas) Act 1990.

- 2 All new external and internal works and finishes and works of making good to the retained fabric, shall match the existing adjacent work with regard to the methods used and to material, colour, texture and profile, unless shown otherwise on the drawings or other documentation hereby approved or required by any condition(s) attached to this consent.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The works hereby approved are only those specifically indicated on the drawing(s) referred to above.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 4 All replacement external ventilation grilles shall be powder coated dark grey to match the historic dark brickwork.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 5 All joinery (including but not limited to skirting, architraves, doors, and floor boards) which are removed during the course of these works shall be reinstated on completion of the works unless agreed in writing by the local planning authority beforehand.

Reason: In order to safeguard the special architectural and historic interest of the building in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP25 of the London Borough of Camden Local Development Framework Development Policies.

Informative(s):

1 Reasons for granting listed building consent.

Works to the front pavement vaults and to the basement floors are in areas where there is little or no historic joinery. Modifications have already been carried out here in the past. Works to the pavement vaults concern only two of the ten vaults and involve the lining with a cavity drain water proof membrane and pump system. One of the vaults has already been skimmed with a hard cement render and as such has been compromised in terms of its historic appearance. The use of a water proof membrane is considered to be reversible and essentially leaves the brick of the vaults uncompromised with the exception of fixing holes. The remaining vaults will be left with their original brick inner skin construction left uncovered. These works are not considered to harm the significance of the listed buildings.

Internal works concern the replacement, repair and maintenance of sanitary and kitchen appliances along with the replacement of associated service runs. The details submitted confirm that all new services are to run in existing locations with some modest modifications where needed. In terms of the impact on the listed building these proposals are considered acceptable. The addition of timber backing to the metal vault gates, installation of plant and pipework, and general redecoration is also considered acceptable.

Special regard has been attached to the desirability of preserving the listed building, its setting and its features of special architectural or historic interest, under s.16 of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

No objections have been received prior to making this decision. The planning history of the site has been taken into account when coming to this decision.

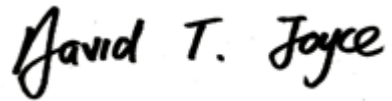
As such, the proposed development is in general accordance with policy CS14 of the London Borough of Camden Local Development Framework Core Strategy; policy DP25 of the London Borough of Camden Local Development Framework Development Policies; and policies D1 and D2 of the Camden Local Plan Submission Draft 2016. The proposed development also accords with the London Plan 2016 and the National Planning Policy Framework.

- 2 The Inspector's report on the Local Plan was published on 15 May 2017 and concludes that the plan is 'sound' subject to modifications being made to the Plan. While the determination of planning applications should continue to be made in accordance with the existing development plan until formal adoption, substantial weight may now be attached to the relevant policies of the emerging plan as a material consideration following publication of the Inspector's report, subject to any relevant recommended modifications in the Inspector's report.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

A handwritten signature in black ink that reads "David T. Joyce". The script is cursive and fluid, with the first letters of each word being capitalized and prominent.

David Joyce
Director of Regeneration and Planning