

DESIGN AND ACCESS STATEMENT
EXTERNAL PLANT REPLACEMENT / AUGMENTATION

PROJECT:	KINGSWAY HALL HOTEL
REF:	234KHH
DATE:	2.6.2017
REVISION	P1

CONTENTS

- 1.0 INTRODUCTION**
 - Introduction to the Project
 - Location
 - Brief History
- 2.0 PLANNING SUMMARY**
- 3.0 ADJOINING BUILDINGS**
- 4.0 DESIGN STRATEGY**
- 5.0 ACCESS**
 - Transport Links
 - Accessibility
- 6.0 CONSULTATION**

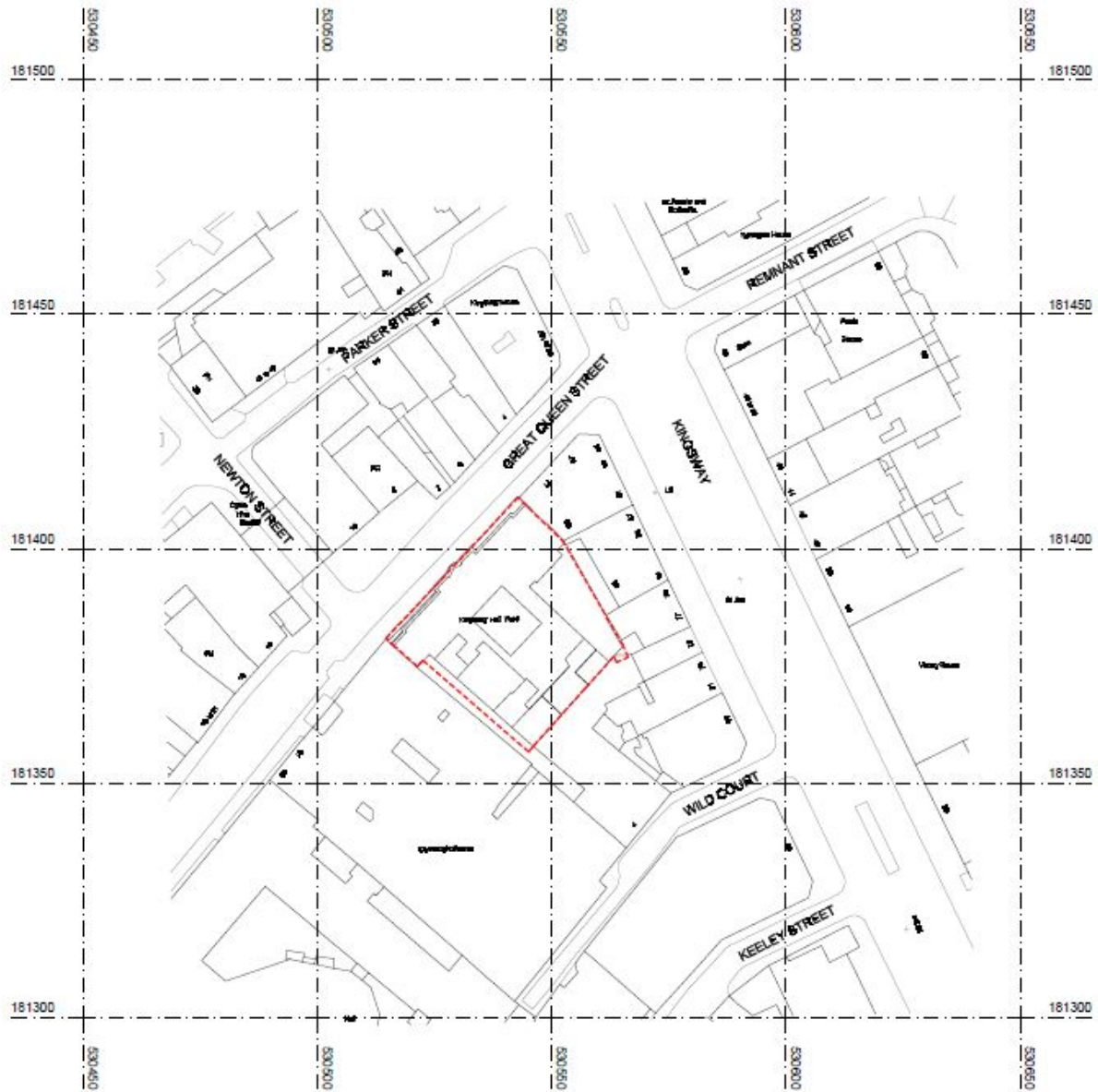
1.0 INTRODUCTION

1.1 Introduction to the Project

Kingsway Hall is an existing 4* hotel that has recently been acquired by our client Shiva Kingsway.

1.2 Site Location

Kingsway Hall Hotel is located at 66 Great Queen St, London WC2B 5BX, as outlined in red below. It is also located within the Kingsway Conservation Area



1.3 Brief History

The Hotel was completed in 1998 in a neoclassical style. It is characterised by a buff coloured stone facade (Portland Stone or similar) fronting Great Queen Street.

The building consists of ground plus 9 floors with 2 additional floors below ground level. The accommodation includes:

Basement 2	Plant
Basement 1	Spa and Wellness Centre and Back of House ancillary accommodation
Ground Floor	Public Areas and Back of House ancillary accommodation
Mezzanine Floor	Public Areas and Back of House ancillary accommodation
First Floor	Bedrooms
Second Floor	Bedrooms
Third Floor	Bedrooms
Fourth Floor	Bedrooms
Fifth Floor	Bedrooms
Sixth Floor	Bedrooms
Seventh Floor	Bedrooms
Eighth Floor	Plant

All the existing MEP services are nearing 20 years old and are nearing the end of their natural life. The equipment is old, inefficient and no longer complies with current legislation for fresh air supply, exhaust air, smoke venting etc.

This application is about the repair and replacement of the exiting roof plant and equipment together with additional MEP plant and equipment that is required to bring the servicing of the building up to modern standards.

2.0 PLANNING SUMMARY

2.1 Existing Applications

There are two existing live planning consents on the site:

2014/2792/P – Erection of a two storey extension at eighth and ninth floor levels to provide additional hotel accommodation, which is due to expire in October 2017.

2015/0670/P – Alterations to existing hotel including partial demolition at rear first floor level which is due to expire in April 2018.

There is an existing planning application that is currently being processed for the removal of the porte-cochere at ground level Ref 2016/2244/P. Draft section 106 agreements were issued in February 2017, these are with the respective lawyers for agreement.

2.2 This Application

Shiva Kingsway intend to undertake a significant refurbishment of the entire building, which includes improvements to all the public areas, up-dating and improving the offer for all the bedrooms and adding additional suites within the limitations of the existing first floor. To achieve this the existing plant needs to be repaired or replaced, and new plant needs to be added to bring the servicing requirement up to modern day standards.

Document in support of this application include:

Ray Hole Architects

234KHH 001-P2	Location Plan	
234KHH 025-P2	Second Floor Plan	Existing
234KHH 026-P2	Third Floor Plan	Existing
234KHH 027-P2	Fourth Floor Plan	Existing
234KHH 029-P2	Sixth Floor Plan	Existing
234KHH 031-P1	Roof Plan	Existing
234KHH 042-P2	Section CC	Existing
234KHH 107-P7	Fourth Floor	Proposed
234KHH 109-P4	Sixth Floor	Proposed
234KHH 172 P1	Ground Floor Plan	proposed
234KHH 173-P1	Second Floor Plan	Proposed
234KHH 174-P1	Third Floor Plan	Proposed
234KHH 175-P1	Eighth Floor Plan	Proposed
234KHH 176-P1	Roof Plan	Proposed
234KHH 212-P1	Section AA	Proposed
234KHH 213-P1	Section CC	Proposed
234KHH 214-P1	Section FF	Proposed
234KHH 535 T1	Screening Types	Proposed
234KHH 537 T1	Screening Types	Proposed

Foreman Roberts MEP Services Engineer

50-2-01-A1
50-D-01-A1
50-R-01-A1

Design Note for Planning

Scotch Partners Acoustic Consultants

External Plant Noise Assessment

3.0 ADJOINING BUILDINGS

3.1 Kingsway Hall Hotel is surrounded by the following features:

North	Great Queen Street
West	Middle Yard, which is shared with the Connaught Rooms
South	Kensington College of Business
East	Commercial shops and offices fronting onto Kingsway.

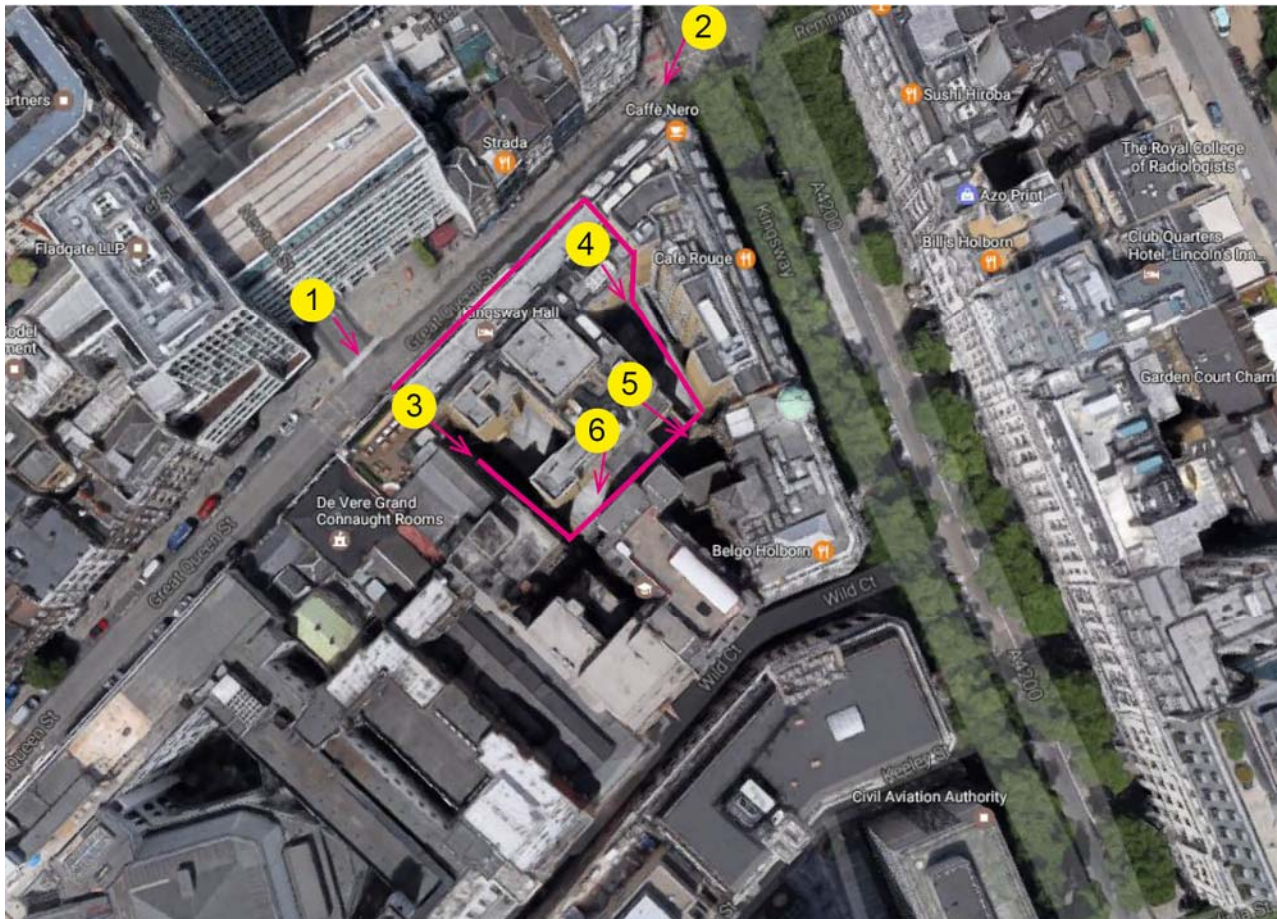


Image by Google

Location of Photographs



1 West - Connaught Rooms



2 East Shops and Office



3 Middle Yard - Connaught Rooms



4 Kensington College of Business



5 Kensington College of Business



6 Rear of Connaught Rooms

4.0 DESIGN STRATEGY

4.1 Appearance

Most of the external roof plant, equipment and duct routes are being retained. Some elements of plant have to be replaced, because it is beyond economic repair and the units are not efficient and noisy. To ensure current internal environmental standards are achieved air volumes will have to be increased, which determines that additional plant is required.

All new / replacement plant and equipment on the upper roof level at 8th Floor will not be any closer to the existing roof edge, which means it will have zero visual impact from Great Queen Street level. The existing plant layout at 8th Floor level means there is insufficient space for any additional plant or equipment. Any additional plant will have to be located elsewhere around the building.

The first and most important design principle was to locate new elements of plant within the existing plantrooms at Basement 2 level. One additional air handling units has been

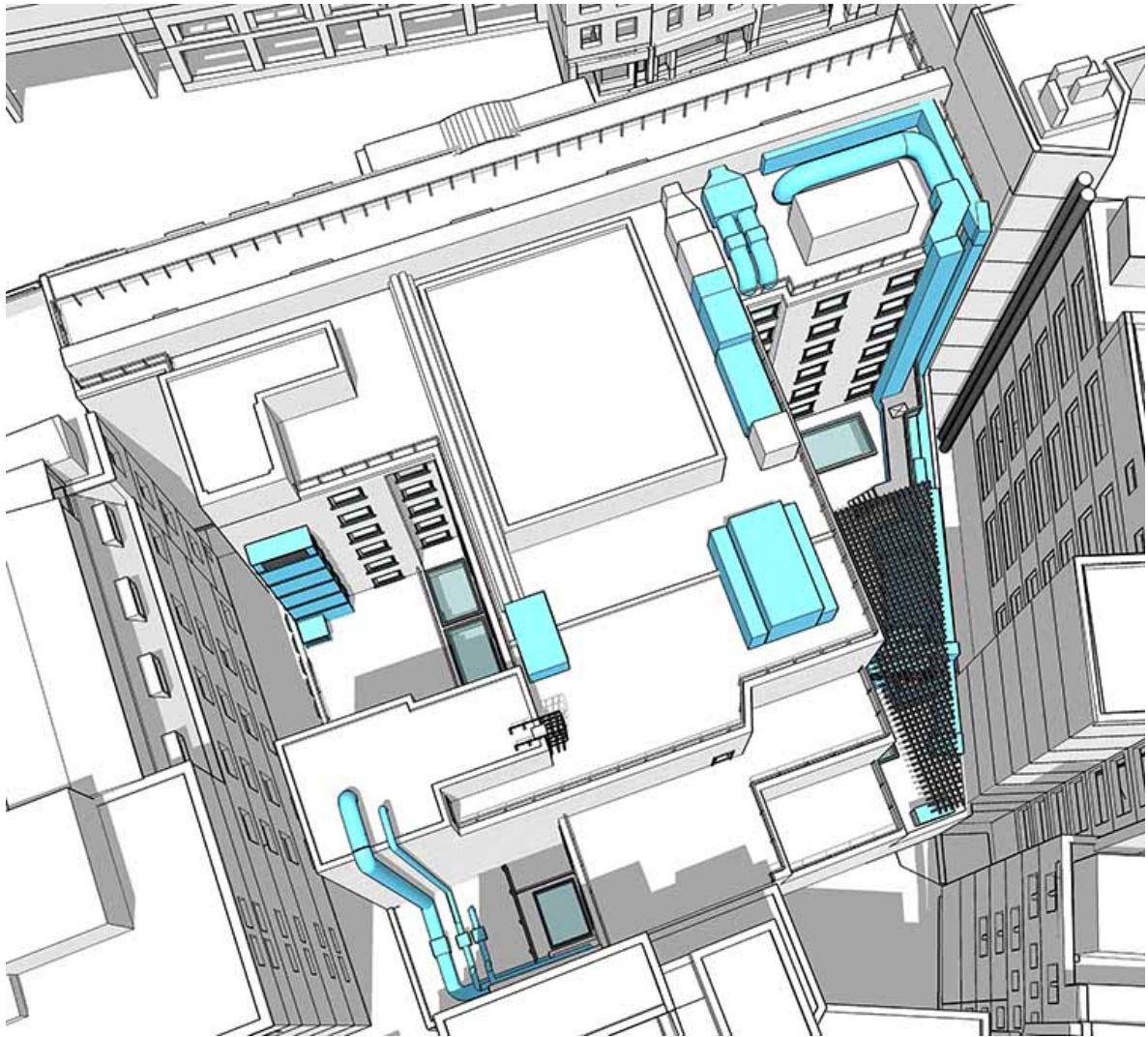
squeezed into the existing congested plant rooms, however there is insufficient space to accommodate all the equipment required to achieve modern air supply standards.

Additional capital plant is therefore being located at the lower roof level on the second floor. The quantum of equipment at this level has been kept to the absolute minimum not only to keep the visual impact as small as possible but also not to overload the capacity of the existing structure, which would need costly strengthening should more plant be located at this level.

To minimize the visual impact of the plant at second floor level, a two directional pergola screen has been designed. This has been created to obscure the plant and equipment, whilst allowing free air movement.



Arial Plan View



3D View

4.2 Noise

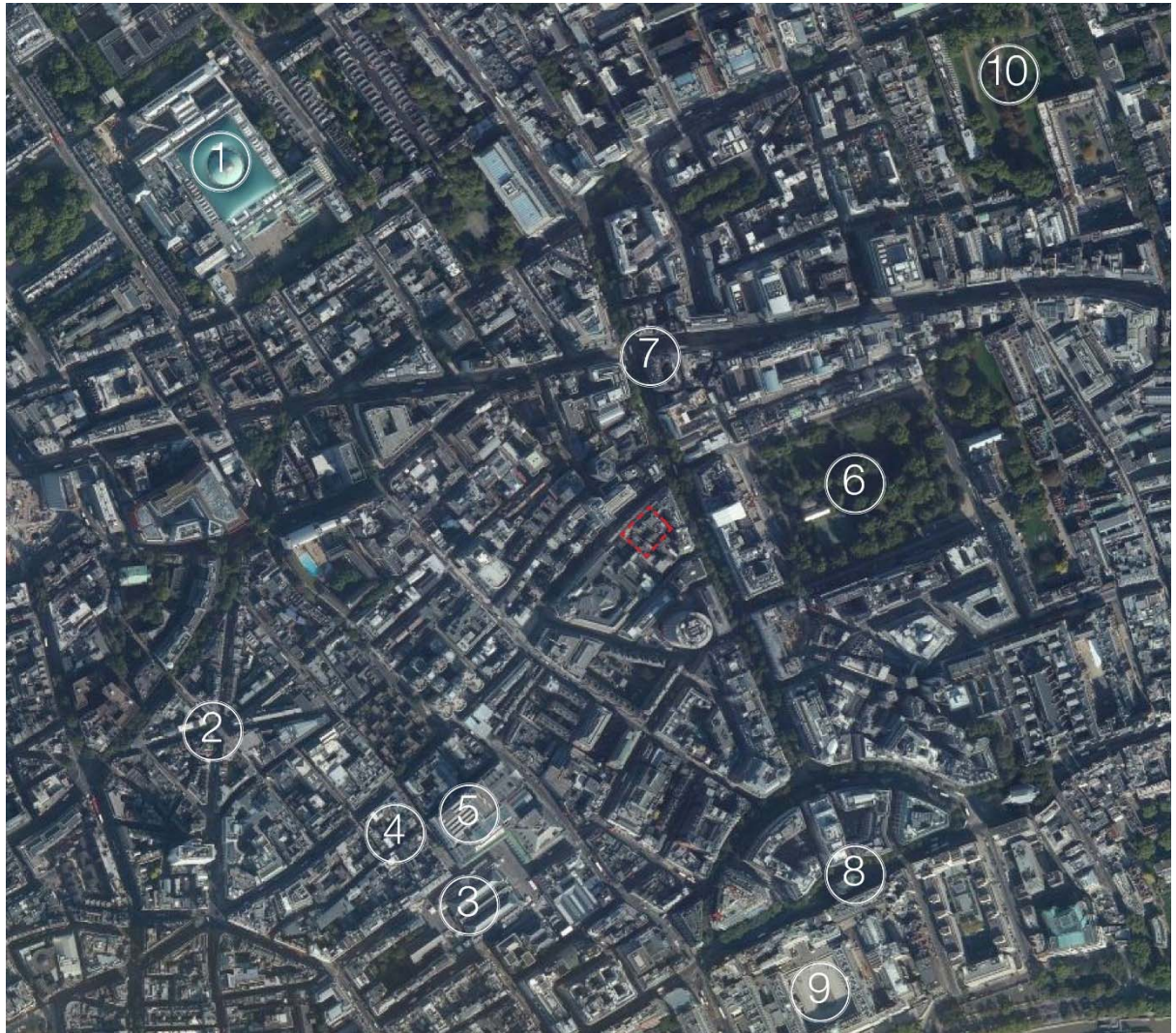
The acoustic consultants, have undertaken extensive noise surveys in the vicinity, and prescribed the maximum noise level that all new plant and equipment must achieve. Please see Scotch Partners report “External Plant Noise Assessment”. This noise assessment covers survey testing methods, and design standards prescribed in the “Camden Report Checklist for Planning Applications”, Planning Policy DP28 Noise and Vibration, BS4142, and the Environmental Protection Act. The method of how this will be achieved on a practical level is covered within the MEP Services Engineer’s report “Planning Statement – Plant Acoustics and Odour Control” prepared by Foreman Roberts.

4.3 Smells

The MEP Consultant has made reference to the DEFRA Guide for odour control, and has outlined the main techniques as to how this can be achieved in their “Planning Statement – Plant Acoustics and Odour Control” prepared by Foreman Roberts.

5.0 ACCESS

5.1 Transport Links



Aerial View

As shown in the aerial photograph above, Kingsway Hall Hotel (in red) is located near Covent Garden within the Kingsway Conservation Area.

The above Aerial photo shows other points of interest within the local area.

- (1) The British Museum
- (2) Seven Dials
- (3) Covent Garden Market
- (4) Covent Garden Tube Station
- (5) Royal Opera House
- (6) Lincoln's Inn Fields
- (7) Holborn Tube Station
- (8) St Mary Le Strand Church
- (9) Somerset House
- (10) Grays Inn Gardens

The hotel has very good transport links with both London Underground Rail services and local bus services available along Kingsway as follows;

Holborn Underground Station:	1 Minute Walk for the Central and Piccadilly lines
Covent Garden Underground Station	6 Minute Walk for the Piccadilly line
Bus routes Along Kingsway:	1, 59, 68, 91, 168, 171, 188, 243 and 521. N1, N68, N91 and N171
Car Parking	2 minute walk to Drury Lane Car Park Unlimited stay Blue Badge Spaces outside the hotel.

5.2 Accessibility

As this planning application is for new / replacement MEP Plant and equipment which will not be accessible by the public, there are also a significant number of existing gantries and step overs, access for persons with disabilities will not be possible.

6.0 CONSULTATION

6.1 Emails have been exchanged with Rob Tulloch of Camden Planning Department in February 2017, which confirm discussions regarding an application for the roof top plant and equipment which concluded:

- All external plant requires planning consent
- In design terms the local authority would have no objection provided the plant is not visible from the street, or is the equivalent size to that already visible from the street if at rooftop level
- The local authority would however expect an acoustic survey / report
- They would also require plant manufacturers specifications to confirm how noise and smell etc are controlled

Final plant selection is not yet available as this will be the responsibility of the Contractor when selected. Manufacturer's data to demonstrate compliance with the specifications prepared by Foreman Roberts and Scotch Partners can be forwarded to Camden Planning Department if required.