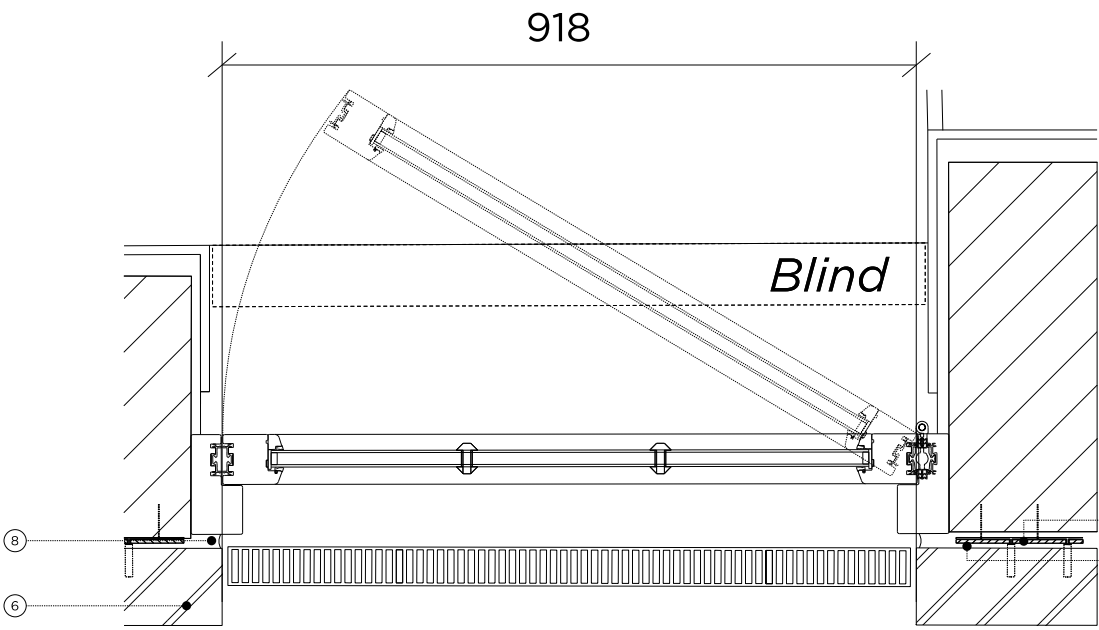


300_104
ELE Window Detail - Type D
Elevation

300_104
SEC Window Detail - Type D
Section



300_104
PLN Window Detail - Type D
Plan

Key Plan, Scale 1:250

Demolition Key:

- Existing structure / ground
- Proposed removal of existing structure (in section)
- Proposed removal of existing structure/finishes (in elevation)
- Proposed removal of existing structure (in section)
- Hatch denotes removal of existing concrete slab
- Hatch denotes proposed removal of existing structure (in elevation)

Proposed finishes legend:

- Proposed straight-plank hardwood floor finish on specified floor build-up
- Proposed tiled floor finish on specified floor build-up
- Portland stone
- Timber decking
- Natural stone floor tiles
- Proposed slate roof finish on existing and new roof structure

General Notes:

- Refer to the Door and Window Schedules for a detailed summary of each door and window.
- All existing floor finishes and existing ply to be carefully removed.
- Existing floorboards to be carefully removed and reused where possible.
- New/Existing floorboards to be installed.
- New furring/joists are to be installed to the top of the existing joists in order to level. See Structural Engineer's Information, Low profile UPM without.
- New drainage and concrete slab to be laid at basement level.
- Existing slate roof finish to be carefully removed and stored, and new roof felt installed. Existing slate to be replaced with new slate to match existing to replace any damaged slates. See Structural Engineer's Information, Low profile UPM without.
- Existing structural timber beams to be removed and replaced on a like-for-like basis.
- Joists are to be grouted and strengthened where required to support increased loads, to Structural Engineer's details.
- Existing internal walls are to be skimmed and prepared to take new wall finishes as required. All defective existing plaster to be removed and replaced.
- All existing panelling, mouldings and cornices to have existing paint finish removed for new paint decoration.
- Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.

Proposed legend notes:

01 Existing panelling to be refurbished and redecorated.	22 Proposed condensers in attenuated enclosure, refer to M&E design
02 Existing window replaced with double-glazed, timber framed sash window.	23 Reinstated stair to basement level with completed, traditionally-detailed.
03 Non-orthogonal fireplace to be removed and replaced with traditionally-detailed fireplace.	24 New, single-glazed, timber framed window to match existing, fitted with secondary glazing internally.
04 Non-orthogonal skirting/trunking to be removed.	25 Existing fireplace to be protected and covered.
05 Traditionally detailed, compliant, timber balustrade to reduce existing.	26 Reconfiguration of existing stair.
06 Existing sash windows refurbished and fitted with secondary glazing internally.	27 New dummy window.
07 New, double-glazed, timber framed sash windows. Refer to design & access statement.	28 New double-glazed, traditionally detailed French door.
08 New lift.	29 Linking to party wall.
09 Damaged window sills replaced on a like-for-like basis.	30 Proposed lead dormer arrangement to line through with existing windows. Reinstatement of existing non-orthogonal dormer windows.
10 Lightwell to be lowered by 1000mm. New, painted metal stairs, accommodate level change.	31 Terrace to flat 01, with new planting and Yorkstone paving.
11 Existing rear envelope retained. New, contemporary brick-clad rear extension to replace existing.	32 Existing joists to be trimmed out. Single, surviving cast-iron spindle to ground floor stair to be preserved and maintained.
12 Proposed bin store.	33 Single, surviving cast-iron spindle to ground floor stair to be preserved and maintained.
13 New, double-glazed, angled aluminium, restricted lift, framed windows, with etched glass louvers fitted externally.	34 Existing structural timber beams to be exposed and treated with wood preservative. Ends to be wrapped in DPC and rotten timber to be replaced.
14 New, fixed, double-glazed, angled aluminium framed sliding panels.	35 Slate to be removed, retained and new membrane installed. Existing slates to be re-laid and any new slates.
15 New, fixed, double-glazed, angled aluminium framed sliding panels.	36 Facade Refurbishment.
16 New, double-glazed, walk-on rooflight.	37 Existing facade to be re-rendered and redecorated.
17 New, double-glazed, conservation rooflight.	38 Etched glass partition.
18 Partial demolition of existing roof, new ridge proposed, matching height and width of existing.	39 New Railings.
19 New, automatic-opening vent to communal stair.	40 Fixed & obscure proposed windows.
20 Terrace to the roof of proposed rear extension, with timber decking and new planting and walk-around glass balustrade.	41 Proposed roof.
21 No, proposed condenser in attenuated enclosure.	42 Paint to be removed from brickwork and redecorated as required.

- Notes
- Guaged Brickwork over window head
 - Painted Hardwood box sash window
 - Painted concrete window cill
 - Outline of window frame behind brickwork
 - Brickwork dressed to front of existing masonry wall
 - Selected brickwork - Reclaimed dark London multi stock matching brick to front of 7 Warwick Court
 - Flat recessed lime mortar pointing
 - Mastic weather seal
 - Historic panelling to be reinstated internally
 - Wall tie fixing new leaf of brickwork to existing structure
 - Render layer to face of existing structure

Rev B	28.04.2017	Issued for Discharge of Condition 3
Rev A	26.09.2016	Issued for Planning
Rev -	16.09.2016	Issued for Planning

PLANNING

Project No. 14029

Client: GFZ Developments

Date: April 2017

Scale: 1:100 @ A3 / 1:50 @ A1

Project: 7 Warwick Court

Drawing Title: Window Detail - Type D

Drawing No. 300_104 Rev. A

Drawn	Approved	Signed
DG	TB	AB

Marek Wojciechowski Architects Ltd.

66-68 Margaret Street W1W 8SR T. 020 7580 9356 www.mwa.co.uk

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