



## DESIGN & ACCESS STATEMENT

THE COCK TAVERN, 23 PHOENIX ROAD, LONDON, NW1 1HB  
MAY 2017, REV E

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## INTRODUCTION

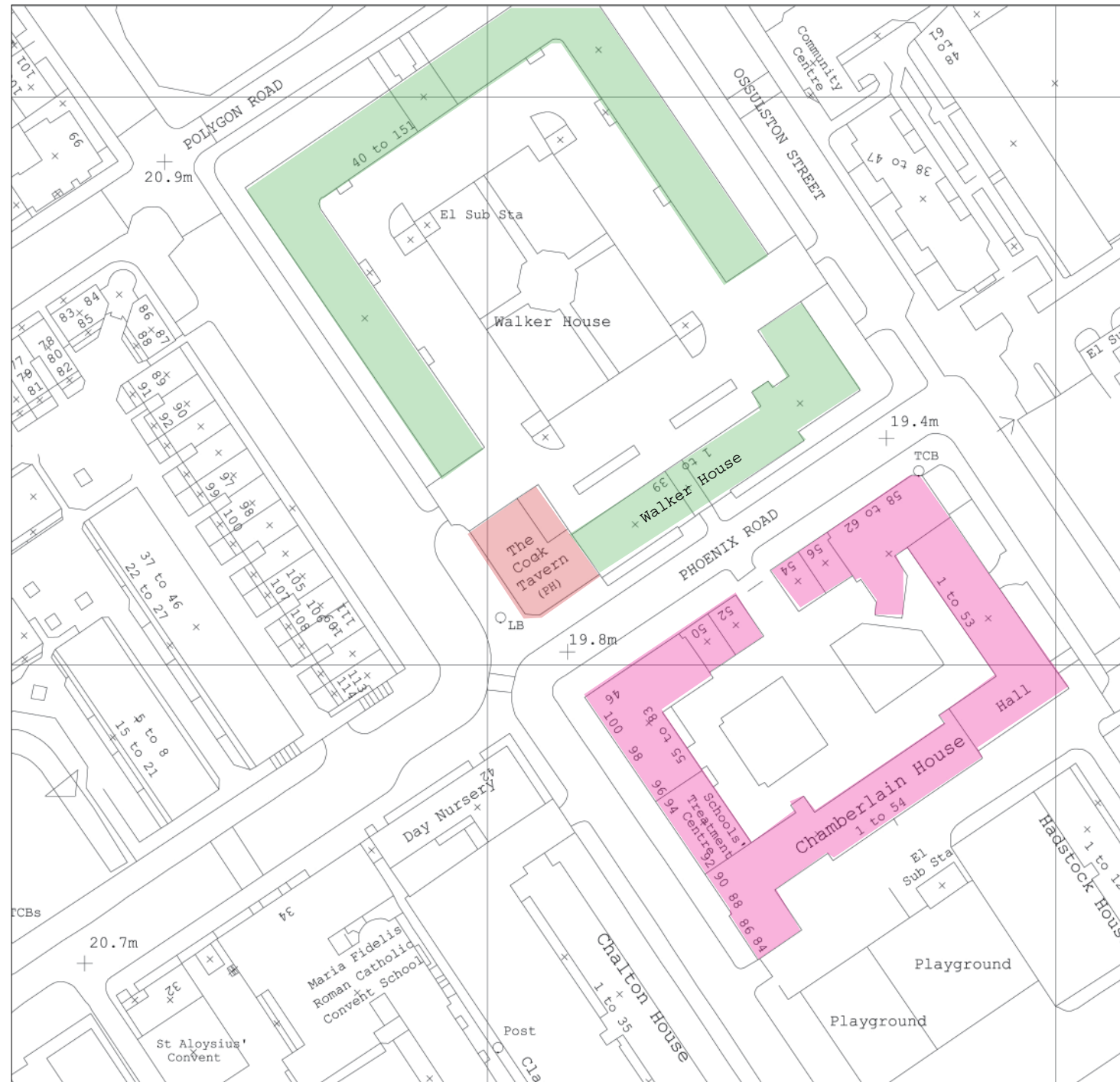
The Design & Access Statement was prepared by Mark Fairhurst Ltd on behalf of Flamestrike Ltd for the refurbishment, conversion and extension of the existing three storey public house to create new public house facilities at ground floor level and five new residential apartments at first, second and third floor levels. The report is to accompany new Listed Building and Non-Material Amendment applications further to the approved applications Ref: 2015/1496/P, 2016/3617/L, AND 2016/3399/P (NMA) for additional work required for the successful conversion of the building. Revisions have been made to the proposals following discussions with the council regarding the reinstatement of the party wall with Walker House, in summary the revisions include: -

- The reinstatement of a 2 metre high Party Wall to Walker House.
- Relocation of the refuse and recycling bins.
- Retention of an existing door opening to the ground floor residential staircase.
- Floor level to the proposed ladies toilets, cycle store, plant room and refuse store to be raised to match the existing building.
- Alteration to the proposed fenestration to the toilet lobby, ladies toilet, cycle store and plant room.

The statement should be read in conjunction with the architectural drawings, heritage statement and window condition survey. A Scope of Works has been detailed in Appendix A.

1. The Cock Tavern, Phoenix Road





SITE PLAN  
SCALE 1:1000

- The Cock Tavern, Grade: II Reference No: 798-1-131384  
Date of listing: Dec 13 1996
- Walker House, Grade: II Reference No: 798-1-131384  
Date of listing: Dec 13 1996
- Chamberlain House, Grade: II Reference No: 798-1-131289  
Date of listing: Dec 13 1996

## LOCATION

The site is located North East of Euston railway station toward St. Pancras Station. The building forms part of a 1930's LCC social housing development fronting Phoenix Road. The building and Walker House were Grade II group listed in 1996 along with Chamberlain House opposite and Levita House on Ossluston Street.

Access to the building is restricted to the commercial entrance on the corner of Phoenix Road and Chalton Street, with an entrance to the floors above further along Chalton Street, adjacent to the vehicular access to the courtyard behind.

## LISTED BUILDING DETAILS

The building is listed as follows: -

'Location: (North side) Walker House southern block including The Cock Tavern Public House. Street: Phoenix Road. Grade: II

Reference No: 798-1-13139, Date of listing: Dec 13 1996

## DESCRIPTION

Block of council flats and attached public house forming part of the Ossluston Estate. 1929-30. To designs of the LCC Architects' Department under G Topham Forrest. Load-bearing brickwork rendered with coloured roughcast, ground floor channelled to appear as stone; reinforced concrete balconies. Hipped plain tiled roofs with dormers and tall chimney-stacks.

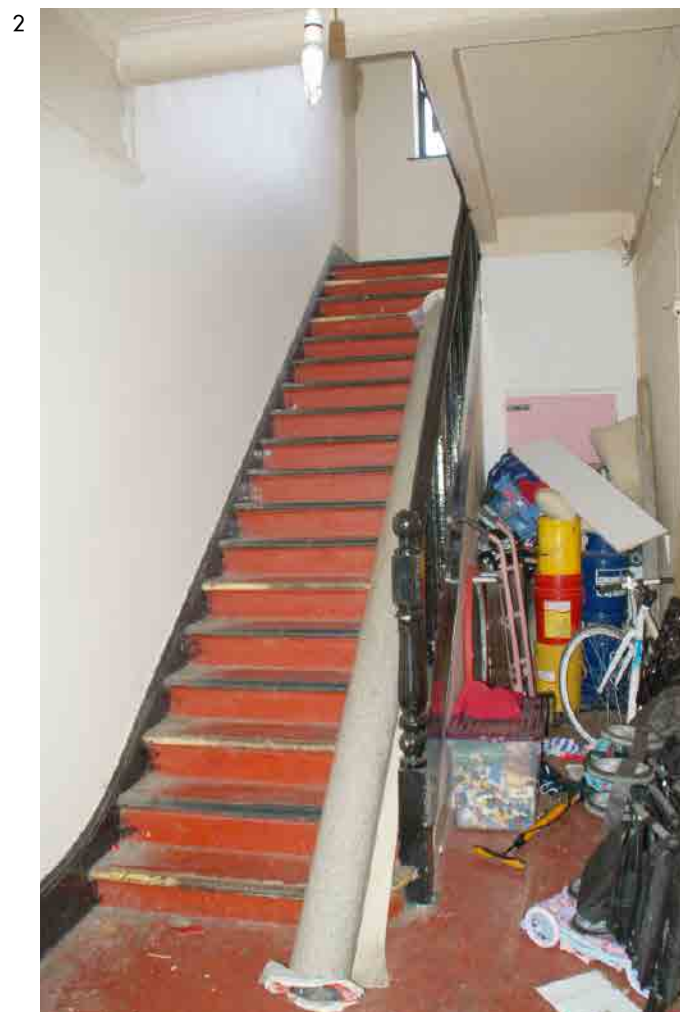
EXTERIOR: flats: 5 storeys, attics and basement. Long range of flats with central round-arched entrance with voussoirs and keystone. Slightly recessed sashes with exposed boxing. Parapet. Public house: 3 storeys and cellar. 4 windows and 6-window return to Charlton Street. Similar style. Public house frontage of transom and mullion windows with plate glass between pillars; main entrance on chamfered ground floor angle.

INTERIORS: not inspected. This complex forms a group with Chamberlain House, Phoenix Road (qv) and Levita House, Ossluston Street including the Somers Town Coffee House (qv).

Historical Note: despite policy to house as many Londoners as possible on outlying cottage estates, pressure of waiting lists and urgency of slum clearance forced Cecil Levita, Chairman of the LCC Housing Committee, to review the situation. The Ossluston Estate is the most important inner-city estate of the inter-war period, representing the most considered attempt by the LCC to inject new thinking into inner-city housing estates. It was influenced in particular by Viennese housing models and was innovative in terms of layout and elevation.'

A historical report on the listed building has been prepared to accompany the application by 178a Planning Consultants which describes the historical importance of the building and context and assesses the proposed development impact on the heritage asset relative to current local and national planning legislation.





## EXISTING BUILDING

The building appears to retain a similar layout to the original public house with a cellar at basement level accessed via a trap door from the bar, along with an accommodation stair for the North West.

### BASEMENT

The basement is formed under the main building facing Chalton Street, setting back from the neighbouring building on Phoenix Road. Large brick piers project into the space supporting the set-back facades on the two frontage elevations above, retaining walls following the shop front façade. A simple down stand steel grid structure supports an in-situ concrete slab to the ground floor, with circular steel columns creating an open storage area. A cold room, located to the centre of the plan, houses the beer barrels constructed from common blockwork; it appears to be a later addition. The existing ceiling height is 2 metres below the down stand beams making it too shallow for public use.

### GROUND FLOOR

The ground floor is divided into two lounge areas linked via a central bar. The open plan areas are formed by down stand beams supporting the walls and floor above, supported on hexagonal steel columns with larger piers to the windows. The ceilings are coffered to the steel beams with coving maximising the ceiling heights. The male and female toilets are located in a single storey to the rear with small walled terrace and light well providing natural daylight. The lounges have their own lobbied entrances one on the corner and one to Chalton Street, each lounge has direct access to the toilets and their own original fire places to the flank walls. The accommodation at the upper levels is accessed from a separate door and hall leading to the staircase and rear terrace. A barrel drop is located to the Phoenix Road elevation with set-back used as unofficial parking area.

1. Front lounge bar
2. Private Staircase
3. Rear lounge bar
4. Cellar barrel drop





## FIRST FLOOR

At first floor, a function room is accessed via a stair direct from the front lounge. The room spans the full width of the building with small bar and access to toilets via a link corridor connecting with the accommodation staircase. There are three other rooms used as bedsits which share communal toilets and shower room.

## SECOND FLOOR

The second floor is more cellular with partitions dividing the original room layout creating a number of bedsits and bedrooms, accessed by a central corridor. Communal bathrooms are located above the WC's below. A kitchen is located to the front of the building adjacent to the party wall with Walker House. A dumb waiter links the kitchen to the function room and bar below.

## LOFT

The existing loft is accessed via a hatch and loft ladder in the corridor. The loft has a generous pitched roof form with roof access via a hatch leading to the external parapet and gutter for maintenance.

## ELEVATIONS

A continuous glazed projecting bay at ground level wraps around the two main elevations and are divided by two and three bays to Phoenix Road and Chalton Street respectively. The glazing is expressed with a continuous fixed fanlight with obtrusive electric ventilation fans above fixed glazed panels. The rear lounge is accessed via a pair of double glazed doors, the front lounge via the pair of double glazed doors to the corner. There is a further pair of double doors and a single door located to the bays facing Phoenix Road, however these are no longer serviced.

1. First floor function room
2. First floor WC
3. Second floor Kitchen
4. First floor bedroom





The stuccoed piers to the frontage have feint banded rustications which appear to have been obscured by layers of paintwork. The piers are surmounted by simple stepped capitals supporting a heavy fascia along both main facades, surrounded by minuscule beading. Signage boards for the pub are attached to the three facets of the fascia along with spot lighting, additional signage has been fixed to some of the piers lower down. The fascia is surmounted by a concrete coping creating a parapet to the bay window.

The two main facades are punctured by regular sash windows with expressed boxes set within a rough cast rendered masonry. There is projecting signage to both elevations and a curved signboard positioned to the corner. The fenestration to Chalton Street is equally divided into six windows at first and second floor, to Phoenix Road two pairs of two sash windows are centrally justified. Painted steel down pipes with hoppers are located to the ends of the facades.

The flank elevation is plain without windows, the chimney projecting at second floor level projecting high above the parapet line and stone coping. The rear elevation contains smaller windows, more randomly spaced, lighting the bathrooms, WC's, function room and kitchen behind. The rainwater pipes, soil stacks and drainage are more randomly placed, with plastic pipes as well as painted steel used.

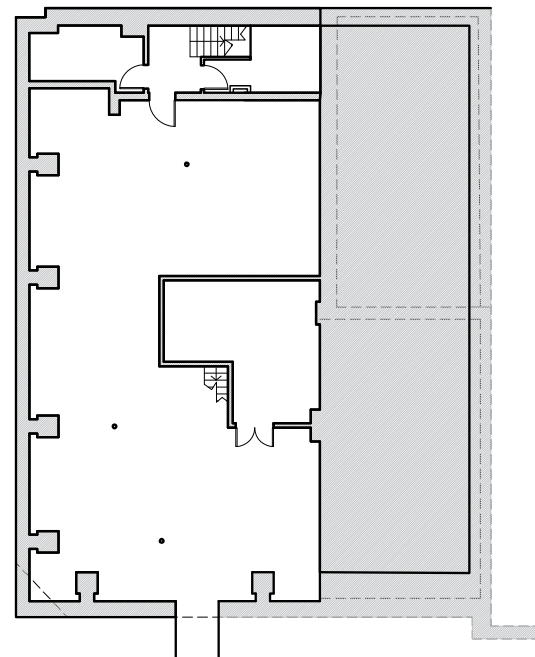
The pitched roof consists of a terracotta interlocking tile with a wave profile. The roof is hipped to the flank wall and abuts the larger party wall to Walker House. Chimney stacks are located at both ends of the building and central to the bedrooms, the stacks are surmounted with distinct glazed terracotta chimney pots.

The building as a whole is shabby and tired, the bar and ancillary accommodation has deteriorated over time and would be considered unsuitable for commercial letting in its current state. The remote location of the kitchen is impractical and the bedsit accommodation require regularisation as no formal permissions and licenses for the residential use have been granted. The external condition of the building requires attention to protect the original sash windows which are in a very poor state of repair (refer to Window Condition Survey). The ground floor bar frontage has been adapted and added to over time with additional signage ventilation and decoration and is in need restoration to complement the understated simpler appearance of the building and its immediate neighbour Walker House.

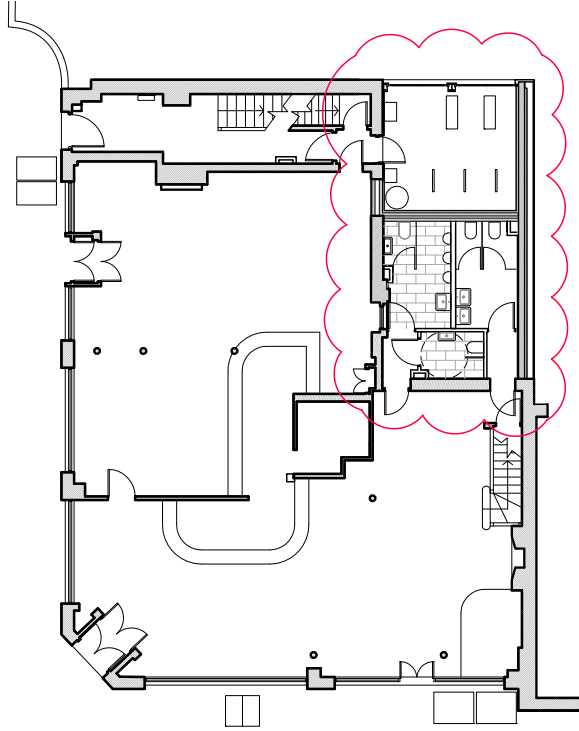
1. View from Chalton Street looking South East
2. View from courtyard looking West
3. South West/Chalton Street Elevation

## PROPOSED PLANS

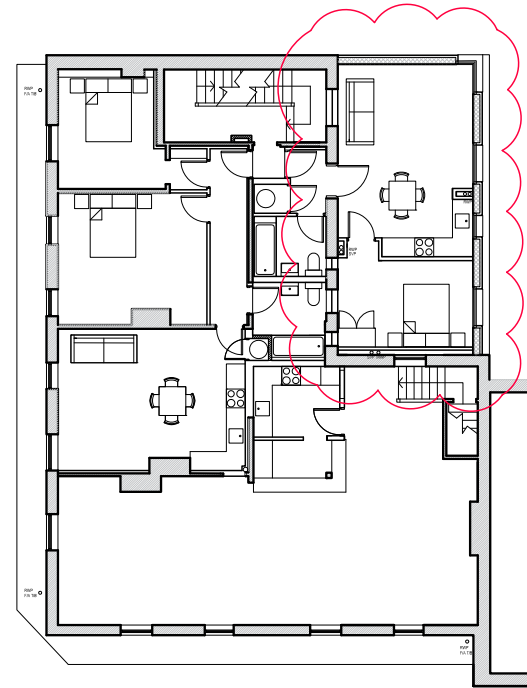
Revision areas bubbled in red.



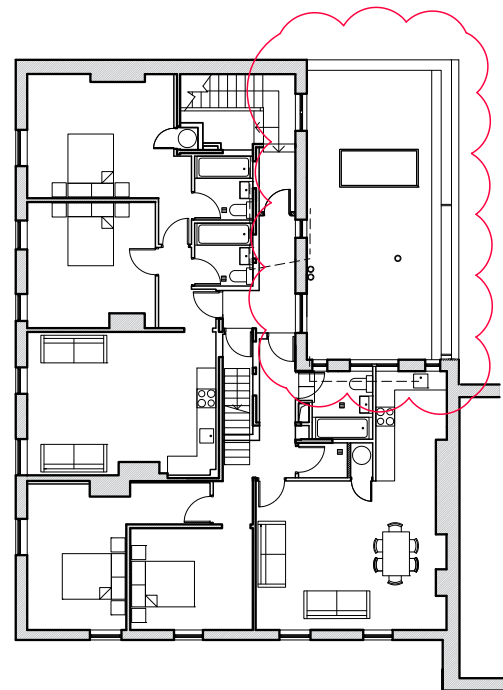
Basement Plan



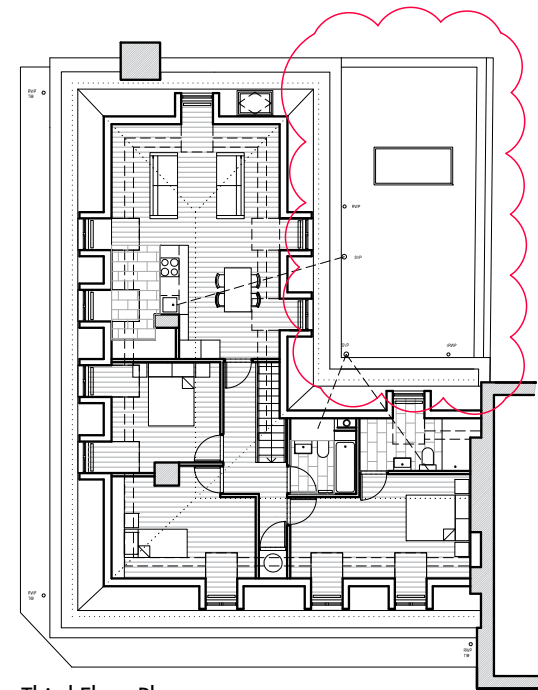
Ground Floor Plan



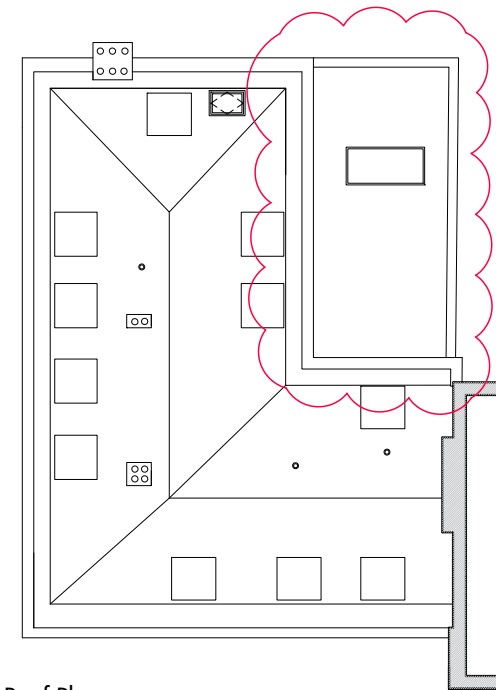
First Floor Plan



Second Floor Plan



Third Floor Plan



Roof Plan

## PRE-PLANNING

No formal pre-planning process was carried out, however informal discussions were made with the planning officer regarding the need to apply for a Non-Material Amendment and Listed Building Consent for the revisions.

## DESIGN PROPOSAL

### LAYOUTS

The principal of the proposals are alterations to the approved layouts (Refs: 2015/1496/P and 2016/3617/L) to convert the existing pub's upper floor into 5 residential apartments and refurbish the communal function room. The changes have been made following party wall negotiations with the owners of Walker House as follows: -

#### 1. Reinstatement of Party Wall with Walker House

It has been agreed between the two neighbours the existing party wall to the existing single storey toilet block should be reinstated to a height of 2 metres. This only applies to this elevation the retrain elevation is a Party Fence structure and as such the proposed opening can be maintained although not used for access.

#### 2. Set back of New First Floor Wall

The new first floor wall above the reinstated party wall has needed to be set off the party wall, the proposed elevation can be retained above the 2 meter party wall.

#### 3. Relocation of Refuse & Recycling

Due to the loss of access to the refuse and recycling store, these functions have been moved to the front of the building. It is proposed to retain the position of the pub refuse bin to the front of the pub on Phoenix Road and maintain their current arrangement for recycling. The residential bin is proposed to be located adjacent to the residential entrance on Chalton Road.

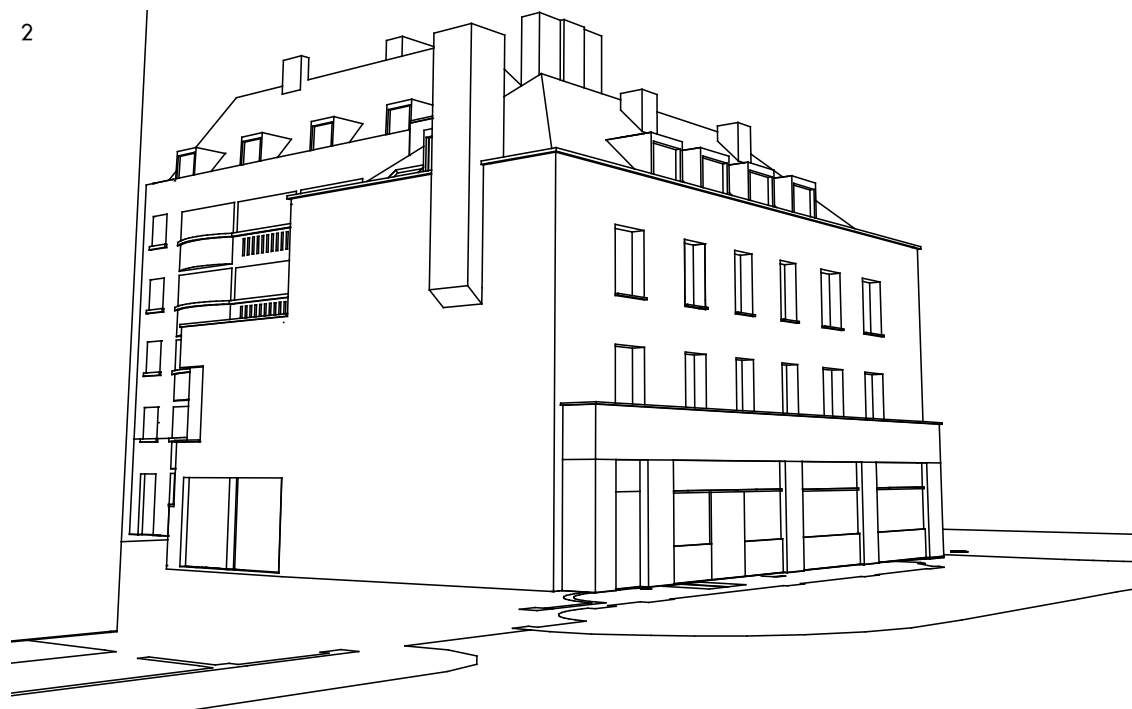
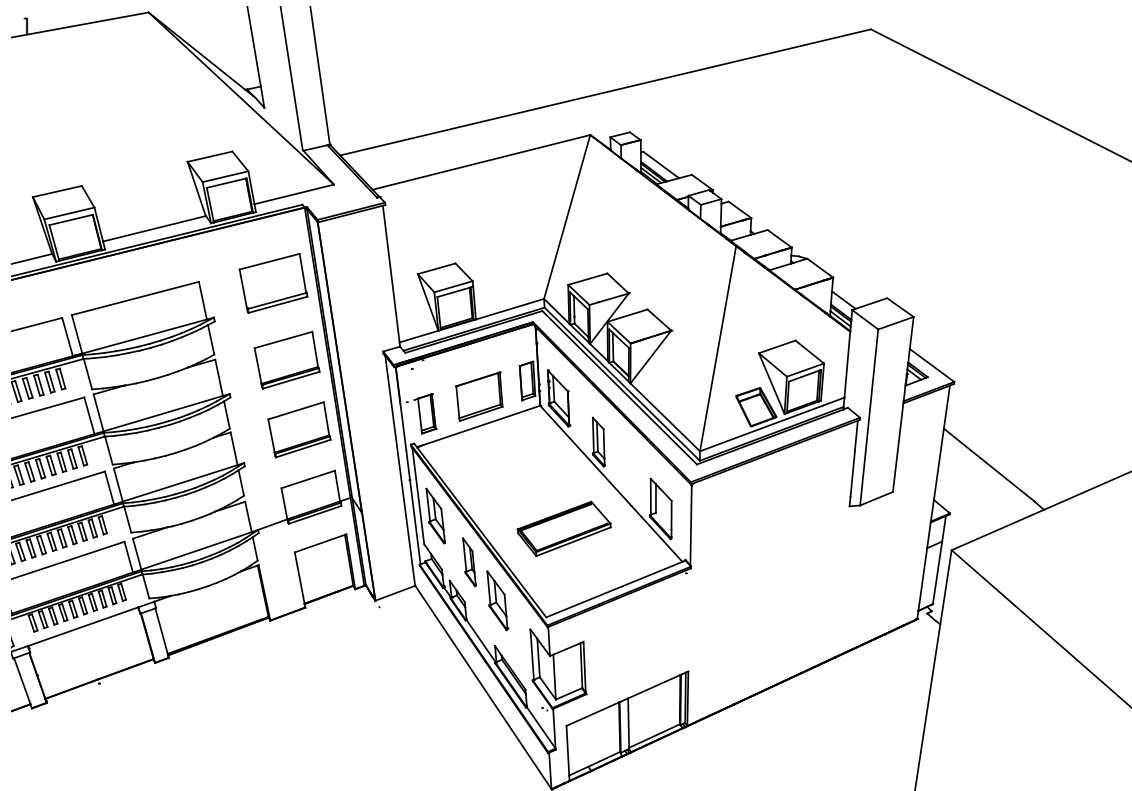
#### 4. Cycle Storage & Plant Room

Due to loss of access to the cycle store and plant room the existing opening into the residential lobby has been reinstated allowing access. 3No. Sheffield cycle stands are proposed as approved in the original application. The plant equipment including boiler, water cylinder and condenser units are also located in the room.

#### 5. North East Elevation

The North East Elevation has been altered to the two storey extension to accommodate the retention of the party wall. The former escape door has been omitted a sprinkler system is being considered to protect the means of escape from the first floor function room. The windows to the toilet lobby ladies toilet and plant room have all been forshortened providing ventilation and daylight above the party wall. It is felt the reinstatement of the party wall has made the rear extension less intrusive to the neighbouring property and also has less impact on the listed building.





LAYOUT Cont.

## 6. North West Elevation

The elevation to the North West elevation has minor alterations as a consequence of the set back of the wall above the reinstated party wall and the raising of the floor level to the cycle store and plant room. Louvred screens are maintained at ground floor level to allow ventilation to the plant room however access for refuse collection has been omitted.

### MASSING

The massing to the North East elevation has altered to accomodate the 2 metre heigh party wall a simple step is proposed at this level with the rest of the elevation of set to this flank only.

### MATERIALS

#### Windows & Louvres

The windows to the toilet lobby, ladies toilet and plant room have all been amended in size however the materials are consitenat with the approved planning consent.

### AMENITY

The reinstatement of the party wall will be less intrusive to the neighbouring tennants living in Walker House.

### TRANSPORT

Cycle storage is proposed for the new residential accommodation accessed internally with provision for

### DISABLED ACCESS STATEMENT

The floor level to the toilet lobby and ladies toilet along with the cycle store and plant room has been raised in line with the existing floor level therefore improving horizontal circulation within the ground floor.

1. Aerial View Massing Study

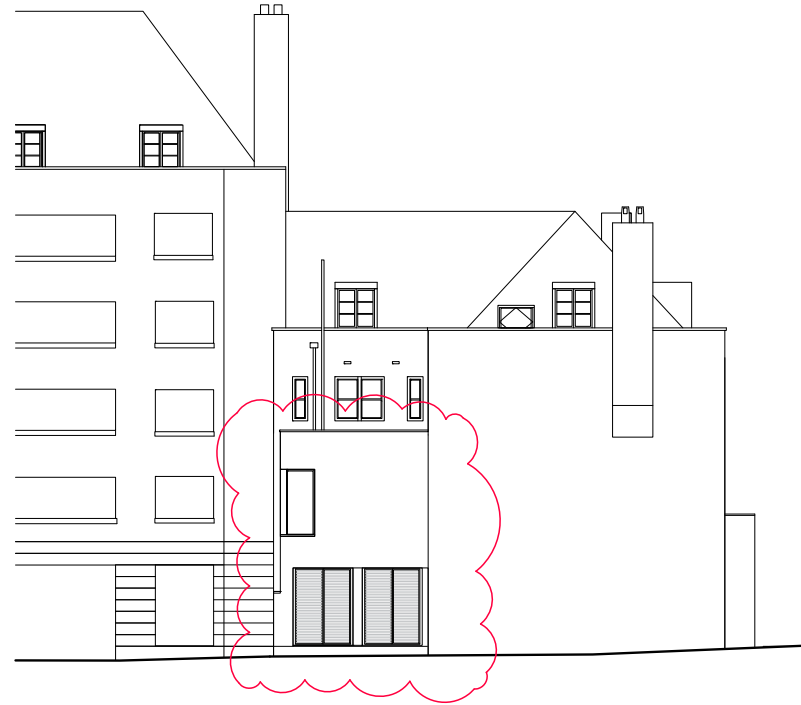
2. View from Chalton Street Massing Study

## PROPOSED ELEVATIONS

Revision areas bubbled in red.



Proposed North East Elevation



Proposed North West Elevation



Proposed South East Elevation



Proposed South West Elevation

## REFUSE & RECYCLING

Due to the loss of access to the proposed refuse store refuse and recycling will be relocated as highlighted in item 3 of Layouts above. Planning guidelines CPG1 allow kerbside waste and recyclables collection for residential developments of 6 dwelling or fewer. The designs for waste and recycling facilities ensure the following:

- internal and external storage areas are designed into each unit;
- internal space is provided for recycling storage within kitchens.
- storage for both mixed recyclables, organic kitchen waste and nonrecyclable waste.
- recycling waste storage comprises either a box or bag which are stored inside and taken to the kerbside on collection days;
- organic waste (food) kitchen caddies are stored inside the property and emptied into larger external, free-standing organic waste receptacles;
- external storage for both waste and recyclables outside the buildings within the site curtilage (for waste collector).

## SUSTAINABILITY

The proposed incorporation of a communal boiler and improved thermal performance of the walls and windows will increase the heat loss performance and energy use of the building.





## CONCLUSION

The approved scheme for the conversion and refurbishment of the Cock Tavern, Phoenix Road into five residential apartments successfully extends the existing building at first floor, retaining and upgrading the existing function room at first floor and renovating the existing public house and external fabric. The conversion of the upper floors provides high quality residential accommodation retaining the important historical fabric of the grade II listed building. The proposed additional changes to the building complement the approved alterations subject to gaining compliance with the Building Regulations whilst respecting the existing listed building. It is therefore respectfully requested the Listed Building and Non-Material Amendment applications are recommended for approval.

1. Proposed view from Phoenix Road/Chalton Street

## Appendix A

### COCK TAVERN, PHOENIX ROAD, OUTLINE SCOPE OF WORKS

Project Ref: 1250 A

SE = Structural Engineer

CA = Chartered Architect

#### 1.00 General

1.01 Temporary weather protection for the roof and walls during the construction.

1.02 Temporary work supports design for the construction of the structural opening to the roof and new rear extension to SE approval.

#### 2.00 Ground Floor Existing Internal Alterations & Proposed Extension

2.01 The fire strategy for escaping from the function room via the existing staircase through the lounge with enhanced fire protection via a sprinkler system is to be agreed with the London Fire Bridge.

2.02 The proposed revised works see a 215mm block work party wall constructed in the location of the original party wall adjacent to Walker House. The blockwork wall will terminate at 2 metres in height with a stone coping and have a painted rendered external finish.

2.03 The new insulated render wall above will be set back behind the party wall with windows to the internal rooms at ground level.

2.04 The existing opening to the residential staircase will be reinstated providing access from the plant room and cycle store into the residential lobby.

2.05 The floor slab to the extension will be retained at the existing height.

2.06 The louvred doors of the approved scheme to the North West Elevation will be altered to follow the new raised floor slab.

2.07 The residential refuse and recycling bins will be relocated adjacent to the residential entrance. The commercial bins will be retained to the front of the building on Phoenix Road.

#### 3.00 Amendments to First Rear Extension

3.01 The insulated blockwork wall along the North East elevation to the proposed rear extension will be set back behind the reinstated party wall below forming a rebate to the North West elevation.



## PROPOSED COMPLIANCE WITH BUILDING REGULATIONS

The design of the refurbishment and extension to the Cock Tavern has been considered relative to compliance with the Building Regulations. In most instances compliance is achieved however due to the nature of the listed building certain aspects of the existing building restrict full compliance. This is the case with Part B Fire Safety, Part M Access and Facility for Disabled People, Life Time Homes and Part L Conservation of Heat and Power and Part K Stairs, Ramps and Guards. After initial discussions with the Approved Inspector revisions to the planning and listed building consent were required to satisfy Part B Fire Safety, Part F Ventilation, Part L Conservation of Heat & Power, Part N Glazing and Part M Access & Facilities for Disabled People.

**PART A: STRUCTURE** - a building needs to be designed in accordance with codes of practice so that dead, imposed and wind loads are safely transmitted through the structure to the ground, without causing deflection or deformation which would impair the stability of it, or adjacent buildings (A1). Consideration also needs to be given to the effects of ground movements (A2) and disproportionate collapse (A3). Further site investigations will be carried out to the existing foundations adjacent to the new extension.

**PART B: FIRE SAFETY** - this is the largest of the Approved Documents as the subject is both wide-ranging and complex. There are five requirements which, when taken together, aim to ensure that a fire in a building will not endanger the safety of its occupants, its neighbours or firefighters.

All buildings (except HM Prisons) need to be designed and constructed to have a means of escape in case of fire to a place of safety outside the building (B1). Internal wall and ceiling surfaces need to be of materials that resist the spread of flame over their surfaces and do not release excessive heat once ignited (B2). The structure of the building needs to have sufficient fire resistance to maintain its stability for a reasonable period (B3). To prevent fire spreading easily within a building, and to other buildings, fire separations and cavity barriers need to be provided (B3). The external surfaces of walls and roofs need to be of materials, which will restrict the spread of fire over them (B4). The building needs to provide the fire brigade with access and facilities to fight a fire (B5).

- A sprinkler system is proposed for the first floor function room to allow fire escape via the existing staircase. This strategy will be discussed and agreed with London Fire Brigade and Building Control to avoid the need for a fire protection lobby.
- At ground floor an existing door opening to the residential lobby has been used to gain access to the cycle store and plant room due to the restriction of access to the rear.

**PART C: SITE PREPARATION AND RESISTANCE TO MOISTURE** - a building needs to be able to protect its occupants from the effects of hazardous materials (e.g. Radon) and other substances in the ground (C1 and C2), and from dampness arising from moisture in the ground (C3) and the weather (C4).

**PART D: TOXIC SUBSTANCES** - toxic fumes from cavity wall insulation must not permeate into any occupied building.

**PART E: RESISTANCE TO THE PASSAGE OF SOUND** - one of the major complaints against our neighbours is when unwanted noise disturbs us in our homes. Walls separating any building, or part, from dwellings need to resist the transmission of airborne sound (E1). Floors or stairs separating any space from a dwelling need to resist the transmission of airborne sound (E2). Floors or stairs separating any space from a dwelling below the space need to resist the transmission of impact sound (E3).

- The approved compartmentation details have been retained.

**PART F: VENTILATION** - the occupants of a building need to be provided with sufficient natural or mechanical ventilation (F1) and certain roof voids need to be ventilated to prevent excessive condensation forming (F2).

- Trickle ventilation is proposed on new windows at second floor to greatly reduce the chance of interstitial condensation and provide adequate ventilation to the apartments.

**PART G: HYGIENE** - the occupants of buildings must be provided with the use of sufficient sanitary conveniences and washing facilities (G1), and with hot and cold water in dwellings (G2). Unvented hot water storage systems need to be safely installed (G3).

- A communal water cylinder connected to a communal boiler is proposed to the plant room with heating interface units located in each apartment.

**PART H: DRAINAGE AND WASTE DISPOSAL** - foul water (H1) and rainwater from roofs (H3) need to be provided with adequate drainage systems. Where a septic tank, cesspool or settlement tank is provided it needs to be adequately sited, constructed and ventilated (H2). Adequate storage of solid waste needs to be provided (H4).

**PART J: HEAT PRODUCING APPLIANCES** - fires and boilers burning solid fuel, oil or gas, and incinerators need to be supplied with; sufficient air to permit efficient combustion and exhaust (J1), adequate flues or chimneys to discharge the products of combustion to the outside air (J2), and suitably constructed fire places and flues to reduce the risk of the building catching fire (J3).

- A communal condensing boiler, located in the new ground floor plant room, connected to a communal water cylinders is proposed to minimise the intervention of installing individual boilers and flues in every unit.

PART K: STAIRS, RAMPS AND GUARDS - most accidents within buildings happen on, or around, changes in level. Stairs, ladders and ramps forming part of a building need to be designed and constructed to offer safety to users moving between levels of the building (K1). Guarding should be provided to protect the users from the risk of falling from stairs, ramps, floors and balconies and from any roof where people normally have access (K2). Where vehicles have access to any floor, ramp or roof, barriers to protect people in or about the building should be provided (K3).

- Existing staircases are being retained at ground, first and second floor.
- The stepped access to the extension has been omitted.

PART L: CONSERVATION OF FUEL AND POWER - although it is not a matter of health and safety, the Government considers that energy conservation is important enough to be controlled by the Building Regulations. This can be achieved; by limiting heat loss through the walls, roofs, and floors of buildings, by providing thermostatic and timing controls for space and water heating systems, by insulating hot water vessels and pipes, and hot air ducts, and by installing efficient artificial lighting systems.

- The proposed new sash windows at second floor with Slimlite double glazing.

PART M: ACCESS AND FACILITIES FOR DISABLED PEOPLE - this requirement was made to ensure that new buildings are constructed to give the same rights as able bodied people to those unfortunate enough to have impaired mobility, hearing or sight. Provision needs to be made; to allow easy access into and about a building (M2), for suitable sanitary conveniences for disabled people (M3) and for special spaces for disabled people where audience or spectator seating is provided (M4).

- Access to a disabled WC is provided on the ground floor.

PART N: GLAZING - MATERIALS AND PROTECTION - where people are likely to come into contact with glazing in or about a building provision needs to be made to ensure they are not injured by it. This can be achieved by either providing safety glass which will not break on impact, or will break in a way which is unlikely to cause injury, or by shielding the glass against contact (N1). Transparent glazing may need to incorporate features to make it apparent if the danger of collision exists (N2).

- The proposed new sash windows will comply with the approved document incorporating toughened glass where appropriate.