

Design and access statement

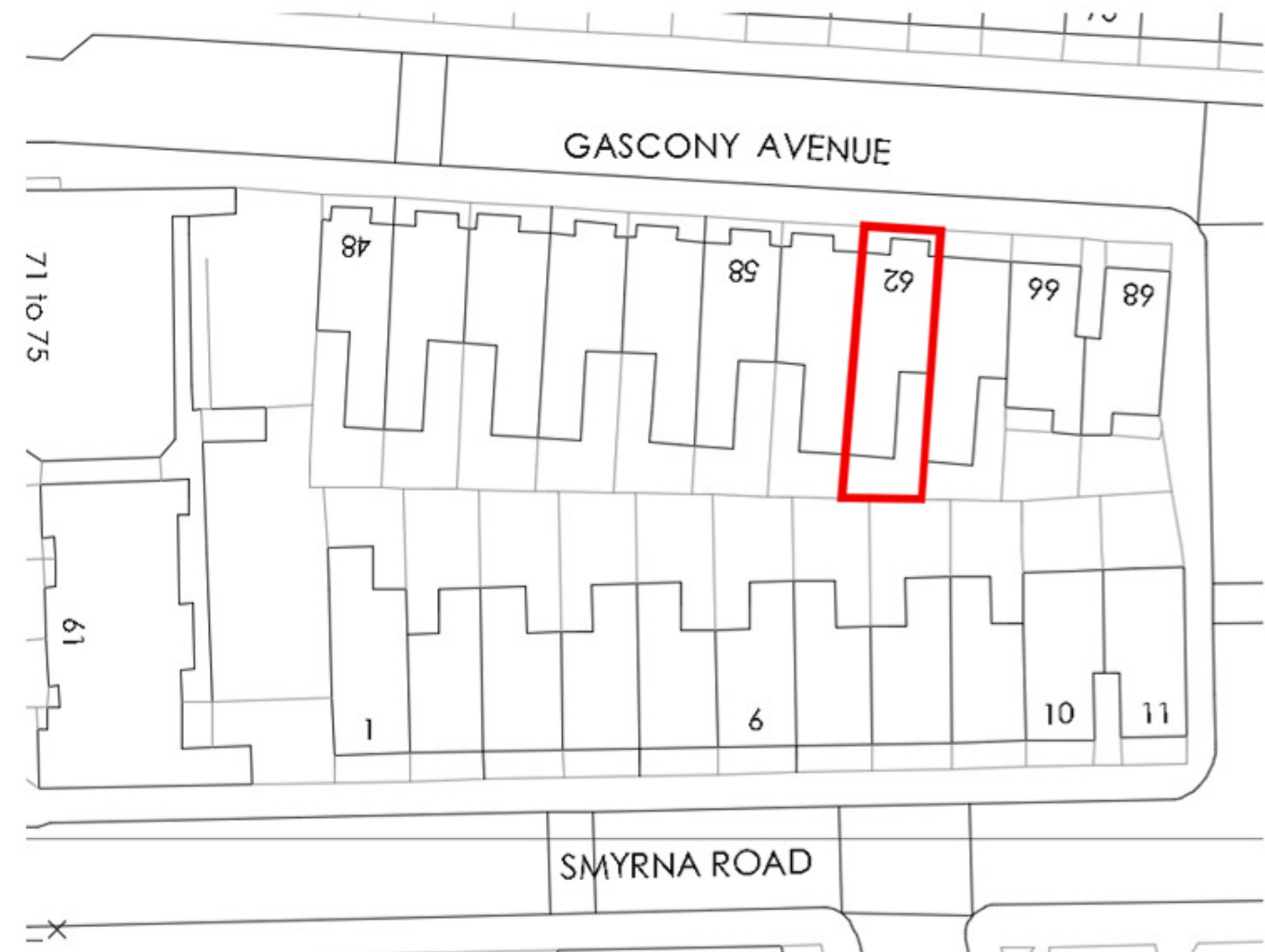
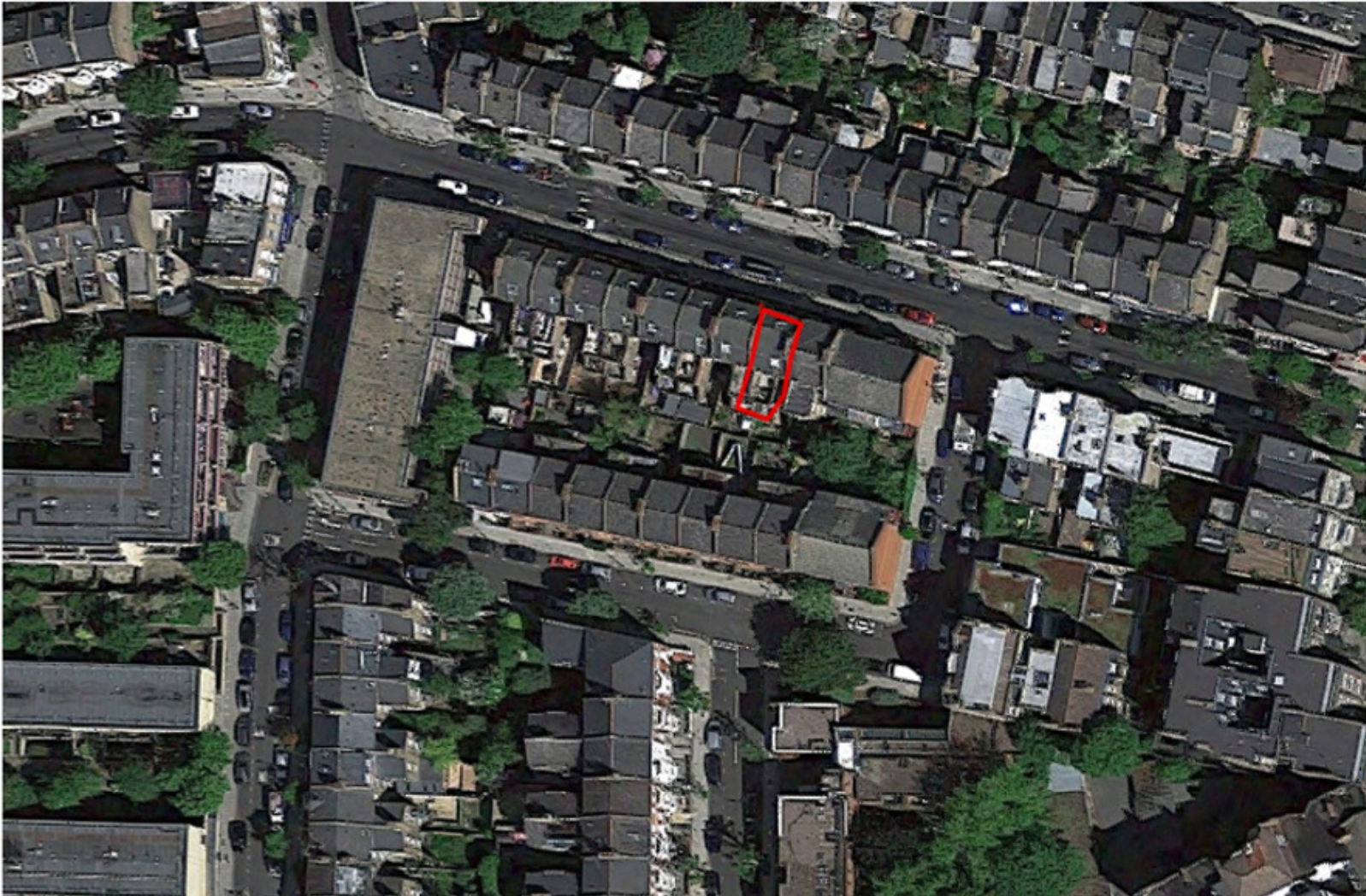
Side Infill single storey extension

Introduction:

62a Gascony Avenue, London, is a ground floor flat, with a private garden. The property is arranged over 4 storeys, with individual flats in each storey. The exterior walls are constructed from bricks with stucco mouldings painted white. All the windows are painted timber windows mostly vertical sash windows

Proposal:

A single storey rear extension, to extend to existing building line with three new skylight window

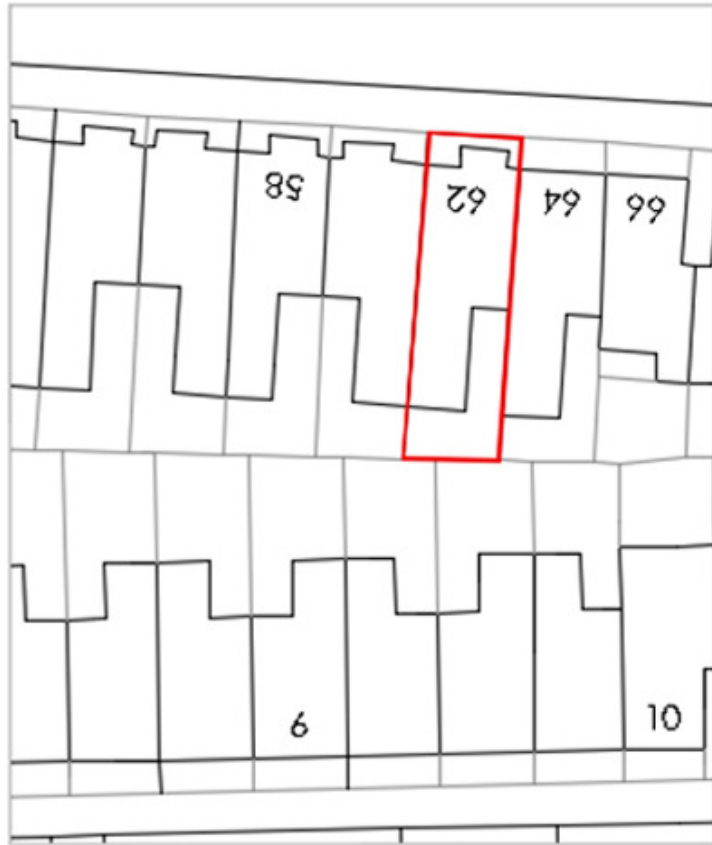


Appearance:

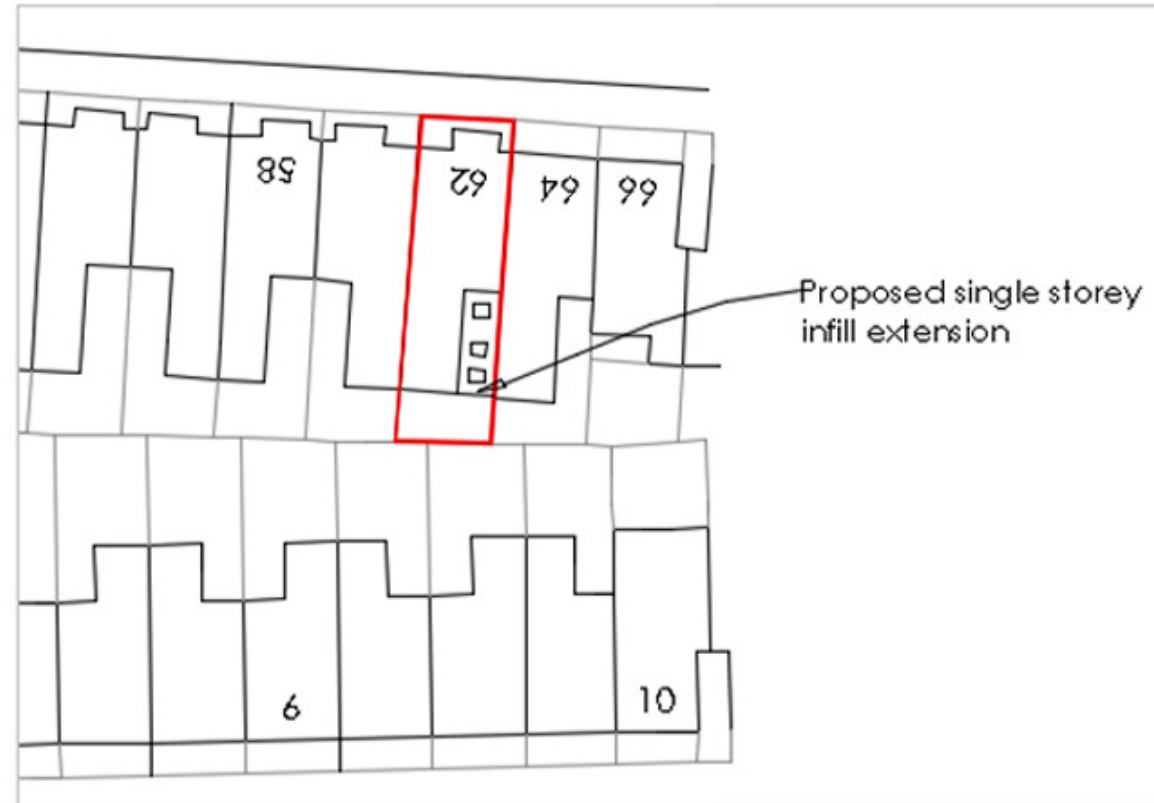
The proposed single storey side extension is 2.4m wide x 6.6m deep and 2.8m high. The proposed exterior walls, doors and window will match the existing material and finishes. The design chosen was decided upon to keep proposals sympathetic to the property. The materials used will fully match and be sympathetic to the existing house.

Use:

The proposed single story rear extension would be used as additional bedroom for growing family needs.



EXISTING SITE PLAN



PROPOSED SITE PLAN



Rear elevation photo

Layout

The proposed layouts will consist of open plan living/kitchen. And rear part of the flat will host two bedroom.

Main bedroom area will be 11.1 Sq.m and second bedroom area will be 8.6 Sq.M, So it would meet **Camden Planning Guidance | Housing - 2 (CPG 2)** requirement

CPG -2 Extarct:

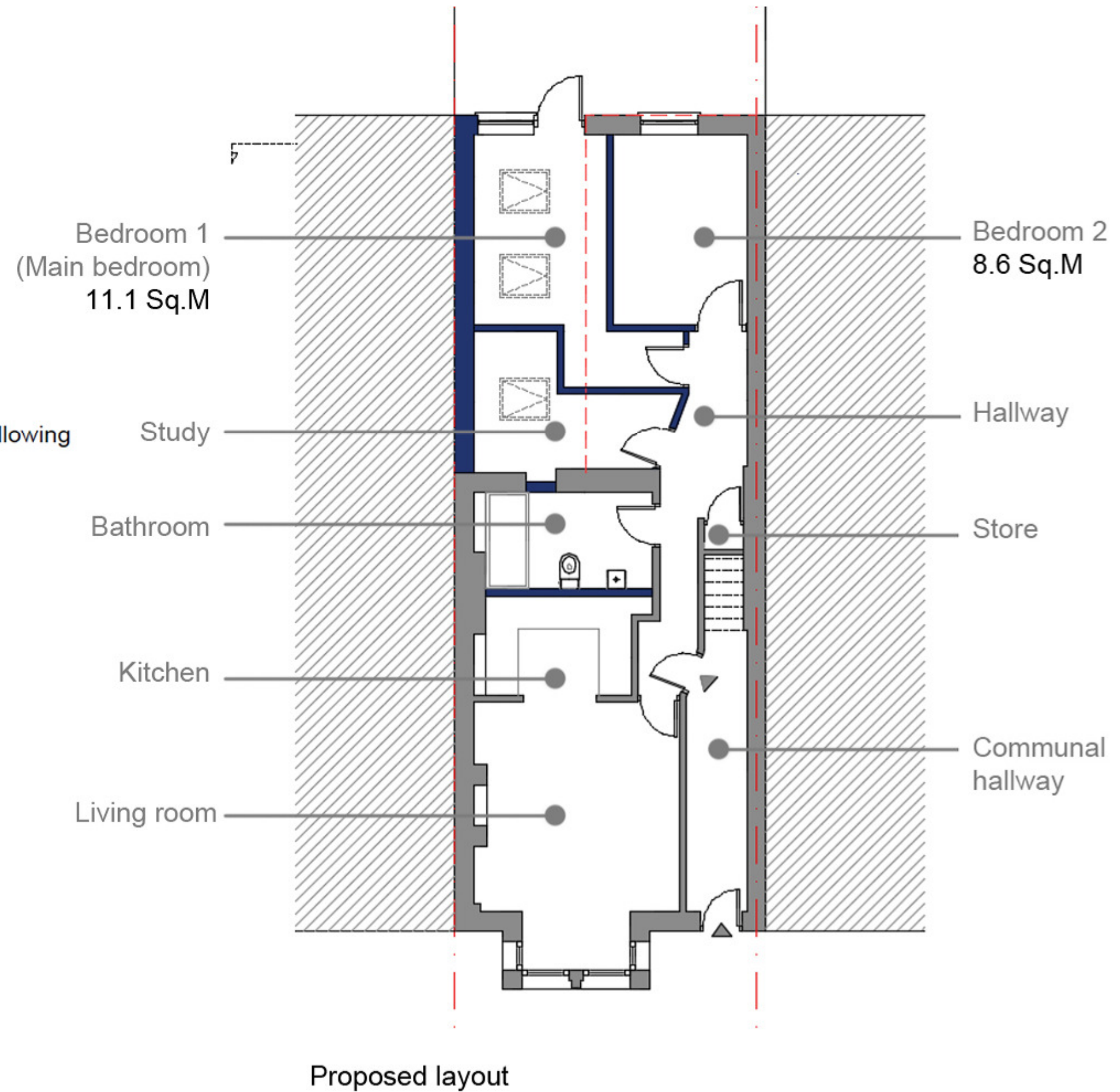
“4 Residential development standards”

4.16 The Council will expect bedrooms to meet or exceed the following minimum sizes:

- First and double bedrooms - 11.0 sq m
- Single bedrooms - 6.5 sq m

Internal ceiling height:

Proposed extension ceiling height would be 2.3m, which also complies with CPG 2



Window size and floor area for living/kitchen area:

CPG -2 Extarct:

“4 Residential development standards”

Minimum requirements:

4.23 In particular the following minimum requirements need to be met to avoid the unacceptable loss of daylight and/or sunlight resulting from a development, including new build, extensions and conversions. For example:

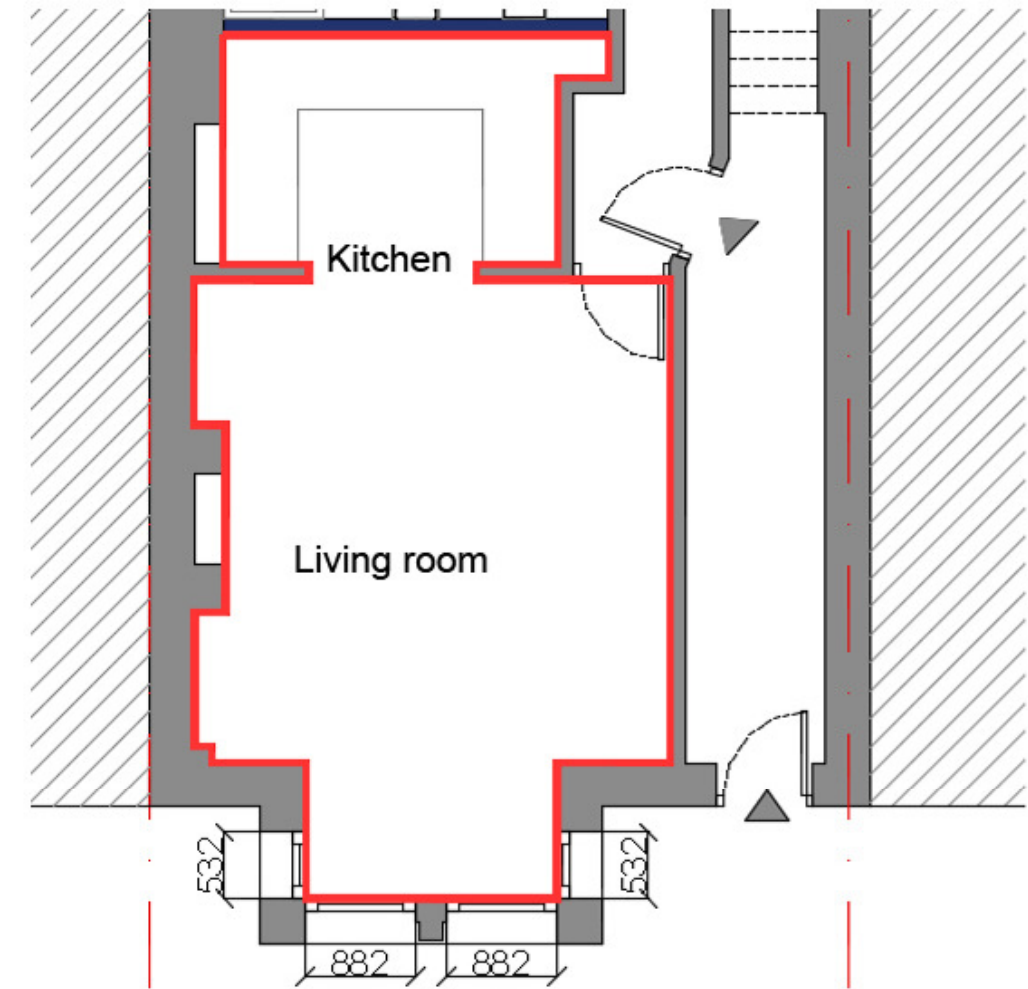
- External shading should be provided for western facing windows and outdoor spaces to minimise overheating in summer. Deciduous trees provide the best shade for this purpose;
- Windows on north facing walls should be sized to prevent heat loss but allow sufficient daylight;
- All habitable rooms, including basements, must have an external window with an area of at least 1/10 of the floor area of the room;
- An area of 1/20 of the floor area of the room must be able to be opened to provide natural ventilation;
- Windows to atriums will be acceptable as external windows in exceptional circumstances only;
- **Passive ventilation should be favoured where possible and mechanically assisted ventilation should be silent in operation.**

Window area calculation

	Width(m)	Height(m)	Area
Window 1	0.532	1.791	0.95281
Window 2	0.882	1.791	1.57966
Window 3	0.882	1.791	1.57966
Window 4	0.532	1.791	0.95281
		Total area	5.06495

Total area of living/kitchen - 21.8 Sq.m As per CPG-2 requirements, window should be at least 1/10 of floor area (Min. 2.18Sq m). So, total window area of the existing is 5.06 Sq.m which is more than the council requirements. Also the openable window area is 2.53, which is also higher then CPG-2 requirement.

Kitchen will also have mechanical ventilation in addition to natural ventilation.



Proposed layout

— Living/kitchen area - 21.8 Sq m



Existing front window elevation

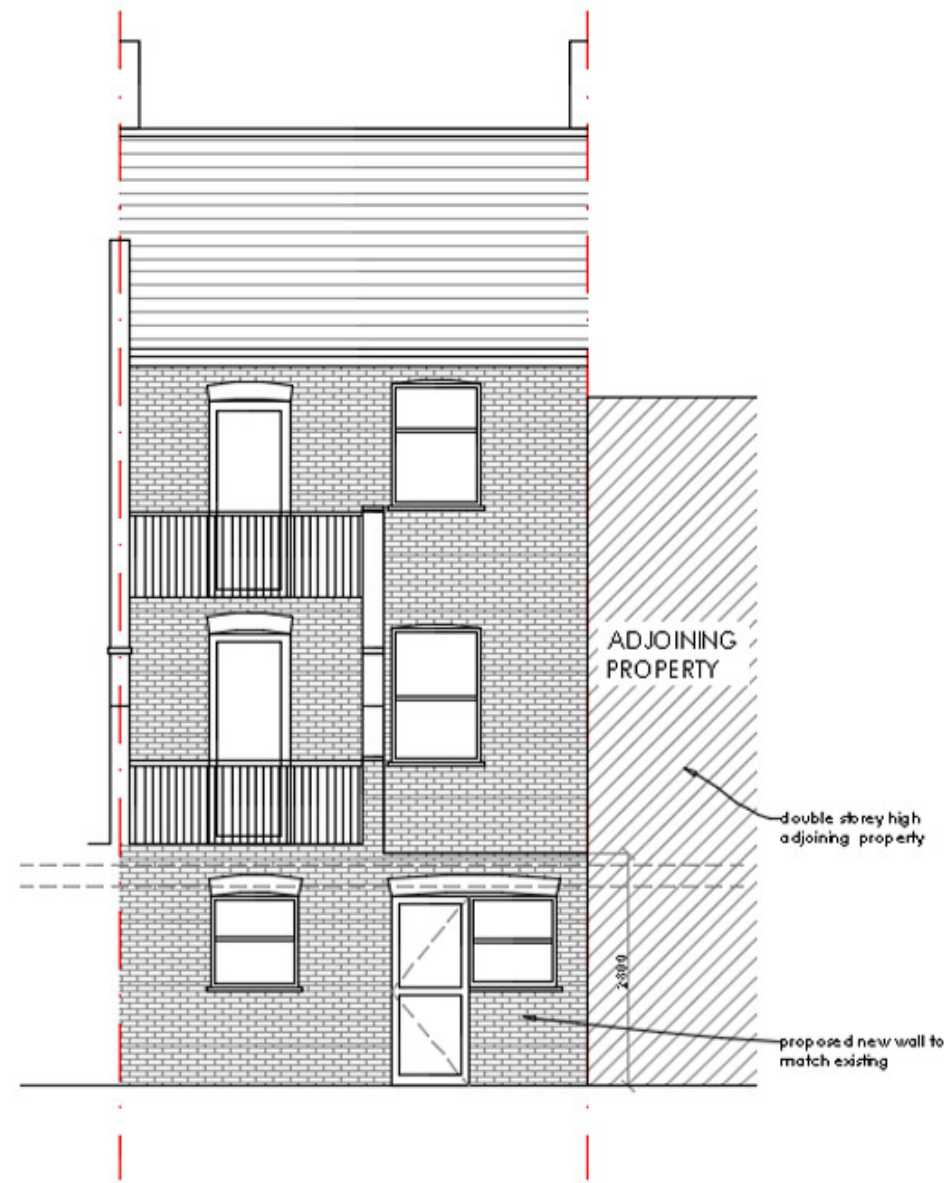
Window height - 1.79 m

Access:

There is no change to access to the flat or to entire house. Vehicular and transport links are generally not affected by this scheme. There are very good Public transport links available locally.

Landscaping

No trees or hedges will be removed, and existing parking arrangements will be unaffected.



Proposed rear elevation



Existing Front elevation photo