

Mr. Juan Alberts
ATS London
136 Greenhaven Drive
Thamesmead
London
SE28 8FT

Application Ref: **2017/1301/P**
Please ask for: **Anna Roe**
Telephone: 020 7974 **1226**

10 May 2017

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:

Flat 1
228 Haverstock Hill
London
NW3 2AE

Proposal: Replacement of two uPVC double glazed sliding doors to rear of garden flat with uPVC double glazed doors and windows.

Drawing Nos: 1601-05-500; 1601-05-501; Site location plan.

The Council has considered your application and decided to grant permission subject to the following conditions:

Conditions and Reasons:

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise



specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans: 1601-05-500; 1601-05-501; Site location plan.

Reason: For the avoidance of doubt and in the interest of proper planning.

Informative(s):

- 1 Reasons for granting permission.

The property's existing rear windows and doors have been changed to double glazed uPVC windows and no longer match the glazing bar proportions. Although uPVC windows/doors are not favoured by Camden planning policy and design guidance, the context of the existing units and hidden nature of the windows and doors from street views are considered to be strong material considerations which indicate that no demonstrable harm would be caused and that no harmful precedent would be set. Similarly although the proposed fenestration pattern would vary from the style of the original windows, given the existing context and the position of the proposed windows at rear lower ground floor level, the proposal is considered acceptable in design and appearance and would not harm the appearance of the host building or streetscene.

Due to the location and nature of the works, they are not considered to have an impact on neighbouring amenity in terms of a loss of privacy, outlook or daylight.

No objections have been received prior to making this decision. The site's planning history and relevant appeal decisions were taken into account when coming to this decision.

As such, the proposed development is in general accordance with policies CS5 and CS14 of the London Borough of Camden Local Development Framework Core Strategy, policies DP24 and DP26 of the London Borough of Camden Local Development Framework Development Policies and policy D1 of the Camden Local Plan Submission Draft 2016. The proposed development also accords with the London Plan 2016 and National Planning Policy Framework 2012.

- 2 The emerging London Borough of Camden Local Plan is reaching the final stages of its public examination. Consultation on proposed modifications to the Submission Draft Local Plan began on 30 January and ended on 13 March 2017. The modifications have been proposed in response to Inspector's comments during the examination and seek to ensure that the Inspector can find the plan 'sound' subject to the modifications being made to the Plan. The Local Plan at this

stage is a material consideration in decision making, but pending publication of the Inspector's report into the examination only has limited weight.

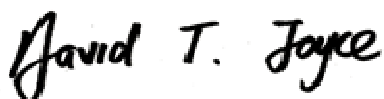
- 3 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).
- 4 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully



David Joyce
Director of Regeneration and Planning