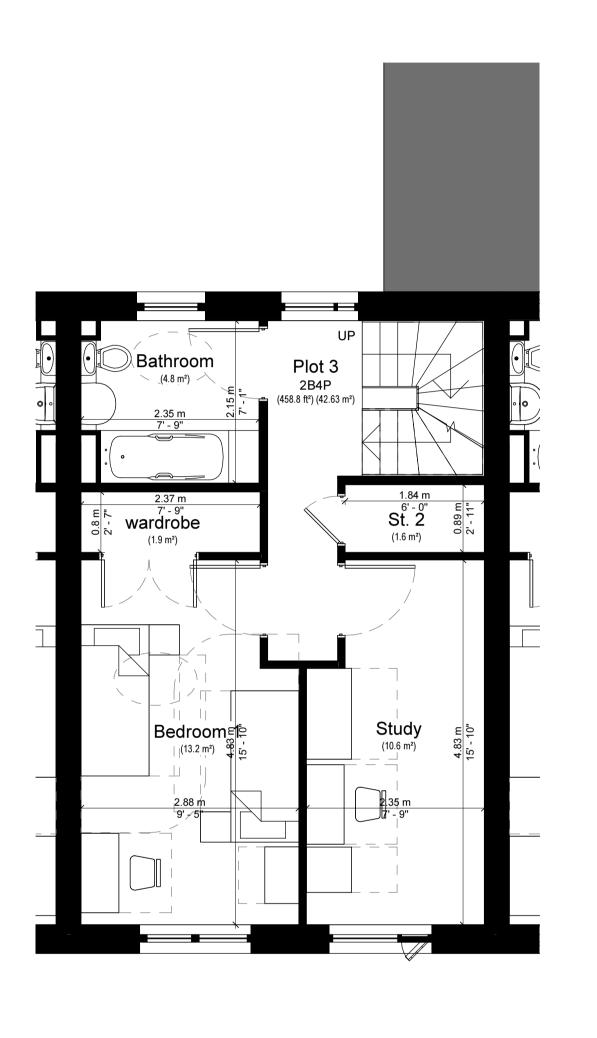
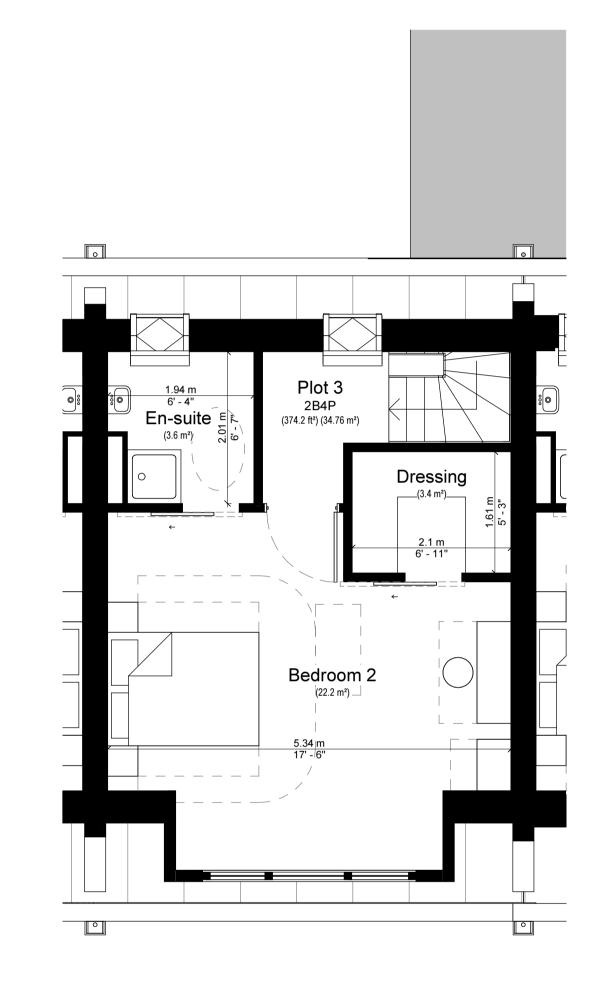
Important Basement Note:

Basement area, layout and setting out of basement walls / lightwells in abeyance until further survey works are undertaken, method of construction agreed and approval from Highways and Utility companies has been granted.

Area Schedule (GIA) Plot 3	
Floor	Area
1	
asement	40.92 m²
Fround	33.56 m ²
irst	42.63 m²
econd	34.76 m ²
	151.86 m ²

- This house type is applicable to Plots 3 only.





Plot 3 (440.5 ft²) (40.92 m²) Dining (13.4 m²)

BASEMENT FLOOR

1:50

Terrace

Kitchen

Plot 3 (361.2 ft²) (33.56 m²) Living Room \$tore 1 E Int. Lightwell (4.9 m²)

1:50

GROUND FLOOR FIRST FLOOR 1:50

SECOND FLOOR

1:50

12.05.17 PMC CJA
06.03.17 PMC CMR 4 DRAWING UPDATED AS FOLLOWS: Scheme generally revised in accordance with discussions from meeting held 25.04.17 with the planning officers. 3 DRAWING UPDATED AS FOLLOWS: 06.03.17 PMC CMR Scheme generally revised in accordance with discussions from meeting held 23.02.17 with the planning officers. 2 DRAWING UPDATED AS FOLLOWS: Status updated to Planning. DRAWING UPDATED AS FOLLOWS: 21.12.16 PMC CMR Bedroom 2 revised to study, Bedroom 1 revised to twin room. All to client comments. DESCRIPTION



Client Rydon Construction Ltd

Ashton Court, Camden Park Road, Camden

Title House Type 2B (Plot 3)

Drawn By Checked By A(2)403 4 As indicated 22.11.16 **BPH CMR** K160423

St John's House 1a Knoll RiseOrpington Kent BR6 0JX 01689 888222 orpington@calfordseaden.co.uk calfordseaden LLP is a Limited Liability Partnership Registered in England & Wales number OC315838 ORPINGTON | LONDON | BIRMINGHAM | SOUTHEND | WINCHESTER

calfordseaden.co.uk