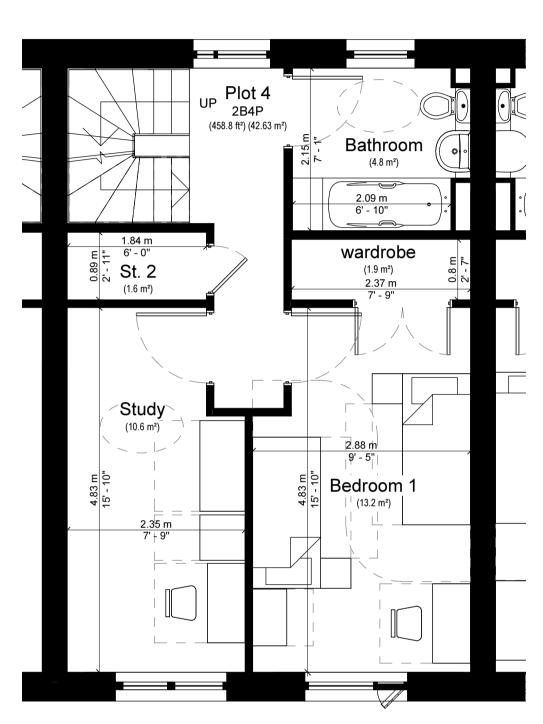


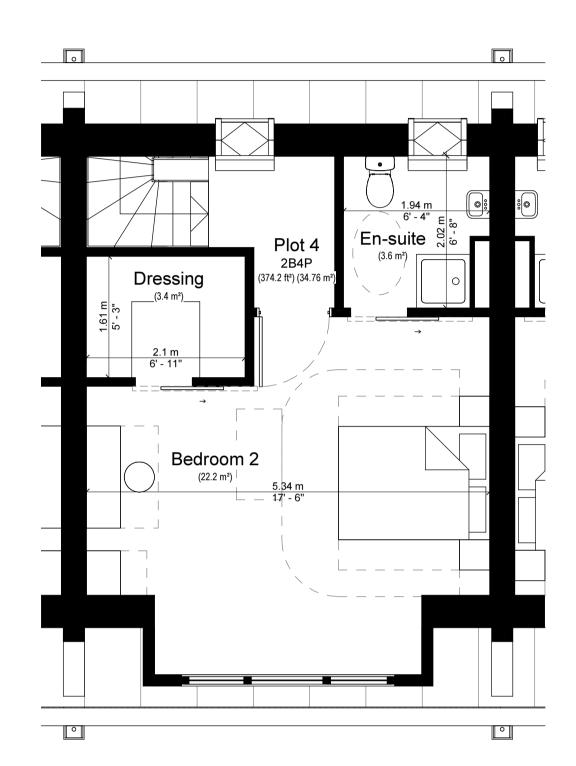
BASEMENT FLOOR 1:50

GROUND FLOOR 1:50

Important Basement Note:

<u>Notes</u>





FIRST FLOOR 1:50

SECOND FLOOR 1:50

NOTE: THIS DRAWING HAS BEEN PRODUCED BY ELECTRONIC MEANS. SHOULD THE SCALE MEASUREMENTS BE TAKEN BY MEANS OTHER THAN ELECTRONIC (e.g. FROM A PRINTED COPY), THE FOLLOWING MUST BE TAKEN INTO CONSIDERATION BEFORE SCALING IS UNDERTAKEN: 1. ENSURE THAT THE COPY HAS BEEN PRINTED/PLOTTED ON THE STATED SHEET SIZE WITH THE PLOTTING/PRINTING SCALE SET TO A CORRECT RATIO. 2. ENSURE THAT AN ADEQUATE ALLOWANCE (DEPENDANT ON THE STATED SCALE) IS MADE FOR THE INEVITABLE DISTORTIONS INTRODUCED BY PLOTTING/PRINTING AND COPYING PROCESSES. 3. MARKED CRITICAL DIMENSIONS ARE TO BE REGARDED AS HAVING PRECEDENCE OVER THE SCALED VALUES.

Basement area, layout and setting out of basement walls / lightwells in abeyance until further survey works are undertaken, method of construction agreed and approval from Highways and Utility companies has been granted.

Area Schedule (GIA) Plot 4				
Floor	Area			
-1				
Basement	40.92 m²			
0				
Ground	33.56 m²			
1				
First	42.63 m²			
2				
Second	34.76 m²			
	151.86 m²			

- This house type is applicable to Plots 4 & 5.

5	DRAWING UPDATED AS FOLLOWS:	12.05.17	PMC	CJA
	Scheme generally revised in accordance with discussions from meeting held 25.04.17 with the planning officers.			
5	DRAWING UPDATED AS FOLLOWS:	06.03.17	PMC	CMR
	Scheme generally revised in accordance with discussions from meeting held 23.02.17 with the planning officers.			
4	DRAWING UPDATED AS FOLLOWS:	09.01.17	MA	PMC
	Status updated to Planning.			
3	DRAWING UPDATED AS FOLLOWS:	21.12.16	PMC	CMR
	Bedroom 2 revised to study, Bedroom 1 revised to twin room. All to client comments.			
2	DRAWING UPDATED AS FOLLOWS:	29.11.16	CMR	BPH
	Layouts revised to client comments and daylight amendments made			
1	DRAWING UPDATED AS FOLLOWS:	26.10.16	CMR	BPH
	Layout revised to client comments; room dimensions added, see revision clouds.			
REV	DESCRIPTION	DATE	INIT	CHKD

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Client Rydon Construction Ltd Project Ashton Court, Camden Park Road, Camden Title House Type 2 GAs (Plots 4 & 5) Scale Date Drawn By Checked By As indicated 20.10.16 BPH CMR St John's House 1a Knoll RiseOrpington Kent BR6 0JX 01689 888222 orpington@calfordseaden.co.uk

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Project No: **K160423**

Drawing No: Revision A(2)401 6

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