

Mr Philip Knudsen
Casson Conder Partnership
29a Thurloe Place
London
SW7 2HQ

Application Ref: **2017/1671/L**
Please ask for: **Sarah Freeman**
Telephone: 020 7974 **2437**

16 May 2017

Dear Sir/Madam

DECISION

Planning (Listed Building and Conservation Areas) Act 1990

Approval of Details (Listed Building) Granted

Address:
24 Church Row
London
NW3 6UP

Proposal: Details of flooring treatment required by condition 4 of 2016/3657/L dated 10/08/2016, for Replacement of non-original windows to rear elevation at ground and third floor levels; installation of a kitchen within existing dining room at ground floor level; renewal of internal services; and other minor internal alterations.

Drawing Nos: Sample of Purbeck Downsvein Hand Antiqued stone

The Council has considered your application and decided to grant Approval of Details (Listed Building) subject to the following condition(s):

Informative(s):

- 1 Reasons for granting approval of details (listed building):

The proposals relate to details of new flooring treatment required by condition 4 of listed building consent 2016/3657/L granted on 10/08/2017 for the replacement of non-original windows to rear elevation at ground and third floor levels; installation of



a kitchen within existing dining room at ground floor level; renewal of internal services; and other minor internal alterations.

The sample of the new natural stone sample (Purbeck Downsvein Hand Antiqued) is considered to be of a high quality and its use within the basement front room is considered to preserve the special interest of the listed building.

Public consultation was undertaken by placement of a press notice and site notice, and no responses were received. The site's planning history was taken into account when coming to this decision.

Special regard has been attached to the desirability of preserving the listed building and its features of special architectural or historic interest, under s.16 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.

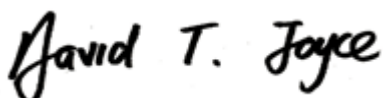
As such, the proposal is in general accordance with policy CS14 of the London Borough of Camden Local Development Framework Core Strategy, and policy DP25 of the London Borough of Camden Local Development Framework Development Policies, and policies D1 and D2 of the Camden Local Plan Submission Draft 2016. The proposed development also accords with policy 7.8 of the London Plan 2016, and paragraphs 14, 17 and 126-141 of the National Planning Policy Framework.

- 2 The Inspector's report on the Local Plan was published on 15 May 2017 and concludes that the plan is 'sound' subject to modifications being made to the Plan. While the determination of planning applications should continue to be made in accordance with the existing development plan until formal adoption, substantial weight may now be attached to the relevant policies of the emerging plan as a material consideration following publication of the Inspector's report, subject to any relevant recommended modifications in the Inspector's report.
- 3 You are reminded that condition 5 of listed building consent 2016/3657/L granted on 10/08/2017 is outstanding and require details to be submitted and approved.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully



David Joyce
Director of Regeneration and Planning