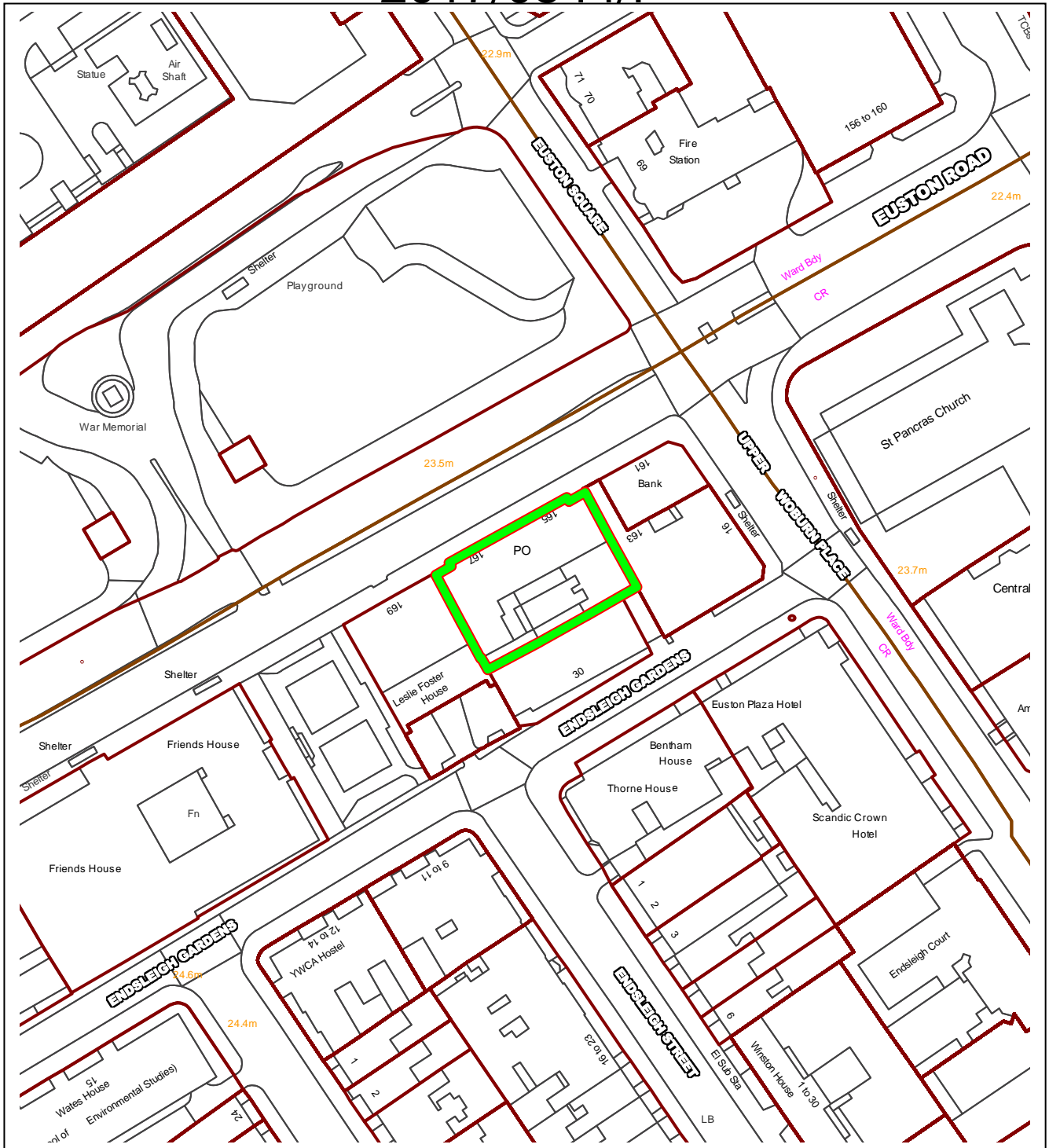


165-167 Euston Road, NW1 2BH- 2017/0544/P



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Photo 1- Front Elevation (Red indicating affected windows)

Delegated Report		Analysis sheet		Expiry Date:	04/04/2017
		N/A		Consultation Expiry Date:	09/03/2017
Officer			Application Number(s)		
Tessa Craig			2017/0544/P		
Application Address			Drawing Numbers		
165-167 Euston Road London NW1 2BH			See decision notice		
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature		
Proposal(s)					
Installation of 2 louvres to the front Euston Road facing elevation - 1 at 1st floor and 1 at second floor.					
Recommendation(s):		Grant Conditional Planning Permission			
Application Type:		Full Planning Permission			
Conditions or Reasons for Refusal:		Refer to Draft Decision Notice			
Informatives:					
Consultations					
Adjoining Occupiers:		No. of responses	01	No. of objections	01
		No. electronic	01		
Summary of consultation responses:		A site notice was displayed 15/02/2017-08/03/2017 and a press notice was advertised on 09/03/2017. No neighbouring responses were received.			
CAAC/Local groups* comments: <small>*Please Specify Officer response in <i>Italics</i></small>		Bloomsbury CAAC: <ul style="list-style-type: none"> Fails to acknowledge role of façade to street. <p><i>The louvres are to sit within the window frames, retaining the glazing bars and shall be a modest addition to the front façade. The proposal shall improve the appearance of the building by removing the silvering from the first floor windows.</i></p>			

Site Description

The site is a 5 storey building on the south side of Euston Road (opposite Euston Square Gardens). The property falls within the Bloomsbury Conservation Area but is not listed. The building is in use as a telephone exchange.

Relevant History

2013/7599/P: Installation of telecoms equipment including 3 antennas, 3 dishes (including 3 support poles) and 2 equipment cabinets at roof level. Granted 17/01/2014

2004/0127/P: The installation of 12 condenser units to a central plant area, together with the raising of an existing walkway associated with the plant. Granted 11/03/2004

2003/1819/P: The installation of plant to central roof area and associated works including walkways and handrails. Refused 13/11/2003

PSX0004337: The addition of three cellular radio antennae and roof mounted equipment cabin. Refused 07/11/2000

P9602764: The erection of 3, pole mounted, dual polar antenna and associated safety handrailing on existing roof top tank room. Granted 17/10/1996

Relevant policies

National Planning Policy Framework 2012

The London Plan March 2016

LDF Core Strategy and Development Policies

Core Strategy

CS5 – (Managing the impact of growth and development)

CS11 – (Promoting sustainable and efficient travel)

CS14 – (Promoting high quality places and conserving heritage / conservation areas)

Development Policies

DP24 – (Securing high quality design)

DP25 – (Conserving Camden's heritage / conservation areas)

DP26 – (Managing the impact of development on occupiers and neighbours)

Camden Planning Guidance

CPG 1 (Design) 2015

CPG 6 (Amenity) 2011

CPG 7 (Transport) 2011

Bloomsbury Conservation Area Appraisal and Management Strategy Statement 2011

Emerging Local Plan

The Camden Local Plan is reaching the final stages of its public examination. Consultation on proposed modifications to the Submission Draft Local Plan will take place from 30 January to 13 March 2017. The modifications have been proposed in response to Inspector's comments during the examination and seek to ensure that the Inspector can find the plan 'sound' subject to the modifications being made to the Plan.

The Local Plan is a material consideration but should be given limited weight in decisions until the publication of the Inspector's report into the examination. Of particular relevance are the following policies:

Assessment

1.0 Proposal:

1.1 Planning permission is sought for the removal of the glass and installation of two aluminium louvres behind the window frames at first and second floor in the front elevation. The frames are steel within a timber sub-frame.

Amendments

1.2 It was agreed existing silvering on four of the first floor windows should be removed as part of this permission.

2.0 Assessment:

2.1 The main considerations in relation to this proposal are:

- Design;
- Residential amenity of neighbouring occupiers.

Design

2.2 The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within policy DP24 are relevant to the application: development should consider the character, setting, context and the form and scale of neighbouring buildings, and the quality of materials to be used. Policy DP25 'Conserving Camden's Heritage' states that within conservation areas, the Council will only grant permission for development that 'preserves and enhances' its established character and appearance.

2.3 The proposal is considered to improve the appearance of the building given the silvering on the windows shall be removed. The louvres shall sit within the existing frames, with the glazing bars being retained (albeit refitted to be weather proof). The louvres shall be a neutral grey colour and overall the proposed changes are considered a modest alteration which shall not be harmful to the character of the building, the streetscene or the conservation area.

Amenity

2.4 Policy CS5 seeks to protect the amenity of Camden's residents by ensuring the impact of development is fully considered. Furthermore Policy DP26 seeks to ensure that development protects the quality of life of occupiers and neighbours by only granting permission to development that would not harm the amenity of neighbouring residents. This includes privacy, overlooking, outlook and implications on daylight and sunlight. CPG6 seeks for developments to be 'designed to protect the privacy of both new and existing dwellings to a reasonable degree' and that the Council 'aim to minimise the impact of the loss of daylight caused by a development on the amenity of existing occupiers'.

2.5 The proposed louvres are to fit within existing window frames and therefore the development does not cause loss of light or outlook. The replacement plant equipment ancillary to this application is sited internally and therefore does not require planning permission (or an accompanying noise report). The development is considered acceptable in terms of amenity.

3.0 Recommendation:

3.1 Grant conditional planning permission.

DISCLAIMER

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Tuesday 2nd May 2017, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Mr John McGrath
McGrath Associates Limited
McGrath Associates Limited
Station House
30 Station Road
Liverpool
L31 3DB

Application Ref: **2017/0544/P**
Please ask for: **Tessa Craig**
Telephone: 020 7974 **6750**

24 April 2017

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Full Planning Permission Granted

Address:
165-167 Euston Road
London
NW1 2BH

DECISION

Proposal:
Installation of 2 louvres to the front Euston Road facing elevation - 1 at 1st floor and 1 at second floor.
Drawing Nos: Location Plan, Design & Access Statement Rev A 24.04.17, GT/162/ 11 Rev B and 52/01.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

Executive Director Supporting Communities



- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policies DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans:

Location Plan, Design & Access Statement Rev A 24.04.17, GT/162/ 11 Rev B and 52/01.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 4 All silvering on the windows on the front elevation of the building shall be removed prior to installation of the louvres.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policies DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Director of Regeneration and Planning

DRAFT

DECISION