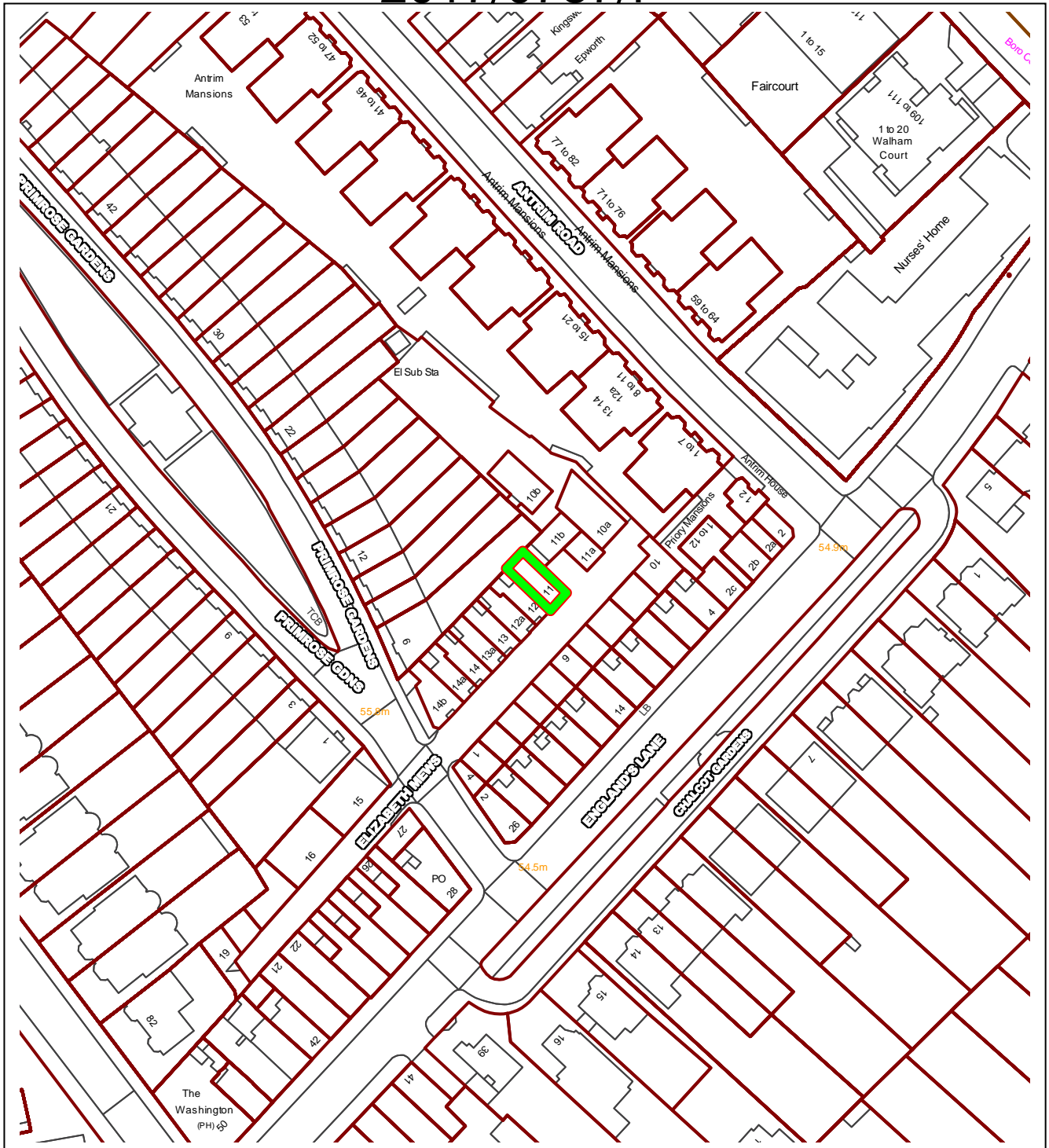


11 Elizabeth Mews, NW3 4TL- 2017/0757/P



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Photo 1- Side Elevation



Photo 2- Front Elevation



Photo 3- Front Elevation

Delegated Report (Members' Briefing)		Analysis sheet	Expiry Date:	12/05/2017
		N/A	Consultation Expiry Date:	13/04/2017
Officer			Application Number(s)	
Tessa Craig			2017/0757/P	
Application Address			Drawing Numbers	
11 Elizabeth Mews London NW3 4TL			See decision notice	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature	
Proposal(s)				
Alterations to ground floor windows and doors and installation of new rooflight, green roof and solar panels.				
Recommendation(s):		Grant conditional planning permission.		
Application Type:		Householder Application		

Conditions or Reasons for Refusal:	Refer to Draft Decision Notice			
Informatives:				
Consultations				
Adjoining Occupiers:	No. of responses	03	No. of objections	03
	No. electronic	03		
Summary of consultation responses. Officers' comments in italics.	<p>A site notice was displayed 24/03/2017-12/04/2017 and a press notice was advertised on 23/03/2017. Two objections were received from neighbours:</p> <ul style="list-style-type: none"> • 11A and 11B Elizabeth Mews • 12 Elizabeth Mews <p>The objections relate to:</p> <ul style="list-style-type: none"> • Doors in side elevation blocking garage access; • <i>The proposed doors are to open inwards and will therefore not block access to the garage.</i> • Noise from lift; • <i>The proposed lift is an internal alteration with no external manifestations and therefore does not require planning permission.</i> • Overlooking from green roof; • <i>The proposed green roof is not to be used as a terrace (this shall be a condition of the planning permission).</i> • Construction hours; • <i>Construction hours are managed by the Control of Pollution Act. Noise from construction is limited to 8am to 6pm on Monday to Friday, and 8am to 1pm on Saturday. No noisy work should take place on Sundays or bank holidays. This is considered adequate control for a small residential development.</i> • No right of way for applicant over courtyard at the side of the property. • <i>This is not a planning matter, rights of way agreements are outside of the planning considerations.</i> 			
CAAC/Local groups* comments: *Please Specify	<p>Belsize CAAC:</p> <ul style="list-style-type: none"> • Object to piecemeal development; • <i>The proposed changes are modest (fenestration details and roof level installations). The development shall not harm the character of the mews.</i> • Object to timber cladding being lost; • <i>The cladding is upvc and not an original feature.</i> • Object to double doors in side elevation as they may block garage; • <i>Doors are to open inward and therefore shall not obscure garage access.</i> • Windows and doors too large and out of scale; • <i>The proposed windows and doors are considered appropriate. The double doors shall be installed in the side elevation where they are not overly visible. The proposal does not result in the loss of original fenestration. On the whole the proposed would not be harmful.</i> • Object to step to doors which would block garage access; 			

- *No step is proposed, the doors shall be 180mm above ground level.*
- *No indication of lift housing in roof and impact on roofscape.*
- *The lift is fully internal and therefore does not require planning permission.*

Site Description

The application site comprises a three storey Mews property. The site is located to the north west side of Elizabeth Mews which is a residential Mews development.

The site is located within the Belsize Park Conservation Area and since 2010 has been subject of an Article 4 Direction, which removes most of the permitted development rights.

Relevant History

9100773- The replacement of the existing windows on the ground and first floors, front and side elevations by double glazed units. Granted, 24/09/1991.

Relevant policies

National Planning Policy Framework 2012

The London Plan March 2016

LDF Core Strategy and Development Policies

Core Strategy

CS5 – (Managing the impact of growth and development)

CS6 – (Providing quality homes)

CS11 – (Promoting sustainable and efficient travel)

CS14 – (Promoting high quality places and conserving heritage / conservation areas)

Development Policies

DP2 – (Making full use of Camden's capacity for housing)

DP5 – (Homes of different sizes)

DP16 - (The transport implications of development)

DP17 – (Walking, cycling and public transport)

DP18 – (Parking standards and limiting the availability of car parking)

DP19 - (Managing the impact of parking)

DP21- (Development connecting to the highway network)

DP24 – (Securing high quality design)

DP25 – (Conserving Camden's heritage / conservation areas)

DP26 – (Managing the impact of development on occupiers and neighbours)

Camden Planning Guidance

CPG 1 (Design) 2015

CPG 2 (Housing) 2015

CPG 6 (Amenity) 2011

CPG 7 (Transport) 2011

CPG 8 (Planning Obligations) 2015

Belsize Conservation Area Statement 2003

Emerging Local Plan

The Camden Local Plan is reaching the final stages of its public examination. Consultation on

proposed modifications to the Submission Draft Local Plan will take place from 30 January to 13 March 2017. The modifications have been proposed in response to Inspector's comments during the examination and seek to ensure that the Inspector can find the plan 'sound' subject to the modifications being made to the Plan.

The Local Plan is a material consideration but should be given limited weight in decisions until the publication of the Inspector's report into the examination. Of particular relevance are the following policies:

G1 Delivery and location of growth

H3 Protecting existing homes

A1 Managing the impact of development

D1 Design

D2 Heritage

T1 Prioritising walking, cycling and public transport

T2 Car-free development and limiting the availability of parking

T4 Promoting the sustainable movement of goods and materials

Assessment

1.0 Proposal:

1.1 Planning permission is sought for alterations to the front and side elevations of the property, namely removal of plastic panelling on the front elevation, removal of a door at ground floor and replacement with a window, removal of a single door and window in the side elevation at ground floor and replacement with a set of inward opening double doors and installation of a window. The new windows and doors shall be powdered coated aluminium.

1.2 Additionally, six solar panels shall be installed at roof level and a rooflight, as well as an area of green roof.

Amendments

1.3 It was initially proposed to render the front and side elevations of the property; however this has now been omitted from the proposal.

2.0 Assessment:

2.1 The main considerations in relation to this proposal are:

- Design;
- Residential amenity of neighbouring occupiers;
- Sustainability.

Design

2.2 The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within policy DP24 are relevant to the application: development should consider the character, setting, context and the form and scale of neighbouring buildings, and the quality of materials to be used. Policy DP25 'Conserving Camden's Heritage' states that within conservation areas, the Council will only grant permission for development that 'preserves and enhances' its established character and appearance.

2.3 The proposed changes are considered acceptable in design terms. The existing panelling is upvc, as are the fenestration details. With the rendering now omitted from the proposal and given the windows and doors shall be aluminium framed and the rooflight, green roof

and solar panels are at roof level where they shall not be visible, the changes are considered acceptable.

Amenity

2.4 Policy CS5 seeks to protect the amenity of Camden's residents by ensuring the impact of development is fully considered. Furthermore Policy DP26 seeks to ensure that development protects the quality of life of occupiers and neighbours by only granting permission to development that would not harm the amenity of neighbouring residents. This includes privacy, overlooking, outlook and implications on daylight and sunlight. CPG6 seeks for developments to be 'designed to protect the privacy of both new and existing dwellings to a reasonable degree' and that the Council 'aim to minimise the impact of the loss of daylight caused by a development on the amenity of existing occupiers'.

2.5 The proposed changes are not considered harmful in terms of amenity. The green roof shall not be used as a terrace; this shall be secured via a condition of consent. The proposed doors in the side elevation open inward and therefore would not restrict garage access for the neighbouring property. No overlooking or loss of light would result. The proposed lift is internal and therefore not subject to planning control.

Sustainability

2.6 The applicant proposes a green roof of 14sqm and six solar panels on the existing roof. The use of sustainable energy and green roofs is supported in accordance with policy CS13 Tackling climate change through promoting higher environmental standards. Details of the plantings and a management plan shall be secured via condition of consent to ensure a good quality green roof.

3.0 Recommendation:

3.1 Grant conditional planning permission.

DISCLAIMER

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Tuesday 2nd May 2017, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Mr Jefferson Savage
Robert Savage Associates
11 Eton Garages
Lancaster Grove
London
NW3 4PE
United Kingdom

Application Ref: **2017/0757/P**
Please ask for: **Tessa Craig**
Telephone: 020 7974 **6750**

24 April 2017

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Householder Application Granted

Address:
11 Elizabeth Mews
London
NW3 4TL

DECISION

Proposal:

Alterations to ground floor windows and doors and installation of new rooflight, green roof and solar panels.

Drawing Nos: Design & Access Statement, 10594/TP/011, 10594/TP031 and 10594/TP021A.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

Executive Director Supporting Communities



- 2 All new external work shall be carried out in materials that resemble, as closely as possible, in colour and texture those of the existing building, unless otherwise specified in the approved application.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy CS14 of the London Borough of Camden Local Development Framework Core Strategy and policies DP24 and DP25 of the London Borough of Camden Local Development Framework Development Policies.

- 3 The development hereby permitted shall be carried out in accordance with the following approved plans:

Design & Access Statement, 10594/TP/011, 10594/TP031 and 10594/TP021A.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 4 The green roof hereby approved shall not be used as a roof terrace.

Reason: In order to prevent unreasonable overlooking of neighbouring premises in accordance with the requirements of policy CS5 of the London Borough of Camden Local Development Framework Core Strategy and policy DP26 of the London Borough of Camden Local Development Framework Development Policies.

- 5 Full details in respect of the living roof [in the area indicated on the approved roof plan] including:

- details of materials, species, planting density, habitat features, and substrate
- a statement of the design objectives, including justification of roof type/species selection
- a plan showing the area covered by the roof
- a site specific management plan including an initial scheme of maintenance
- a section at scale 1:20 showing that adequate depth is available in terms of the construction and long term viability.

Shall be submitted to and approved by the local planning authority before the relevant part of the development commences. The buildings shall not be occupied until the approved details have been implemented and these works shall be permanently retained and maintained thereafter.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies CS13, CS15 and CS16 of the London Borough of Camden Local Development Framework Core Strategy and policies DP22, DP23 and DP32 of the London Borough of Camden Local Development Framework Development Policies.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 6941).
- 2 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Compliance and Enforcement team [Regulatory Services], Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 4444 or on the website <http://www.camden.gov.uk/ccm/content/contacts/council-contacts/environment/contact-the-environmental-health-team.en> or seek prior approval under Section 61 of the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.
- 3 The emerging Local Plan is reaching the final stages of its public examination. Consultation on proposed modifications to the Submission Draft Local Plan began on 30 January and ends on 13 March 2017. The modifications have been proposed in response to Inspector's comments during the examination and seek to ensure that the Inspector can find the plan 'sound' subject to the modifications being made to the Plan. The Local Plan at this stage is a material consideration in decision making, but pending publication of the Inspector's report into the examination only has limited weight.

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraphs 186 and 187 of the National Planning Policy Framework.

You can find advice about your rights of appeal at:

<http://www.planningportal.gov.uk/planning/appeals/guidance/guidancecontent>

Yours faithfully

Director of Regeneration and Planning