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0776 - 35 Crediton Hill, London NW6 - design and access statement

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Design and Access Statement

35 Crediton Hill, London NW6 1HS

**NEW 4m SINGLE STOREY REAR EXTENSION
TO GROUND FLOOR WITH ROOF LIGHTS**

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1. Introduction

This design and access statement accompanies a planning application to the above property, in compliance with Town and Country (GDP) Order 2010 and subsequent amendments.

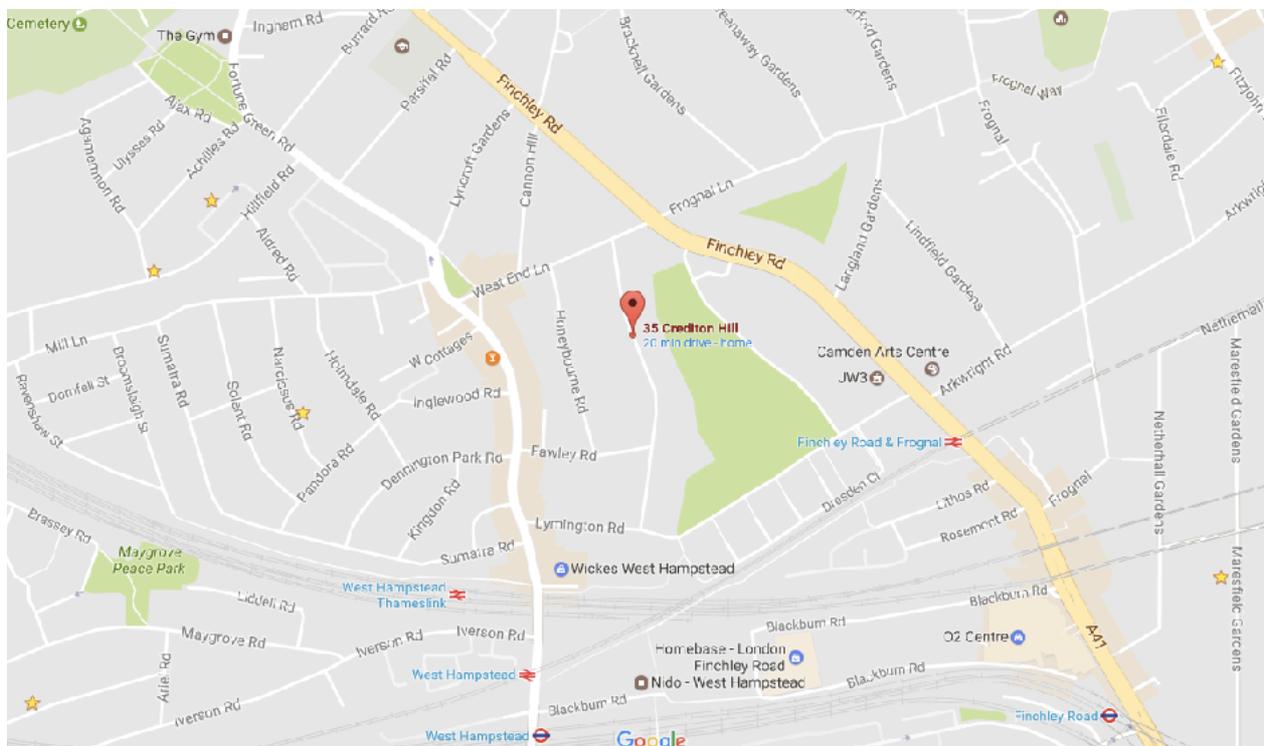
This is a short report supporting our application. It illustrates the process that has led to the development proposal and explains and justifies the proposal in a structured way. It explains our design principles and concepts that have been applied to the size, scale and appearance of the proposed alterations. This report is to be read in conjunction with the drawings and the site photographs submitted with this application.

This application is for a new single storey 4m rear extension with flat roof, rear sliding doors and roof lights.

2. The Site and Surroundings: Location

This property is located on Crediton Hill, a quiet long residential street. The closest stations Finchley Road and Frognal to the east, and West Hampstead to the south west. Numerous bus connections exist along the nearby roads, especially on Finchley Road.

It is a detached house, part of row of two storey detached houses with picturesque front gardens and driveways, and generous rear gardens, located on raised levels. The houses have characteristic facing brick work and rendered facades and steep tiled roofs. Most houses in this area have been altered from the original designs, with various extensions to the back or dormers, and the original brickwork has been largely replaced with rendered sections throughout the street scape. Specifically, No 33 has been permitted a single storey rear extension.



The site borders with Nos 33 and 37 Crediton Hill, and the rear part of the garden faces the side garden of Nos. 57-64 Yale Court on Honeybourne Road.

3. Design Principles and Concepts

3.1. Design in context

The design proposals takes the area and its immediate surroundings into consideration. It is our view that the alterations proposed are a minimal intervention and would not impact the building's setting or appearance in an adverse way.

The proposed rear extension is sufficiently balanced to not overpower the buildings appearance or scale, and is matching in scale to already approved extensions in this area.

This provides in our view a natural extension to the existing building within its current context and does not impact its setting.

3.2. Layout

The 4m rear extension provides a much needed extended ground floor living space for the owners, while the impact of these changes on the external appearance is well balanced in our view.

The first floor rear bay window receives a centrally located French door with Juliet balcony.

3.3. Scale & appearance

The proposed changes are in our opinion allowing this building to blend in with the already existing changes to either side at the front and back. None of the proposed alterations are alien to its immediate vicinity. The rear extension with flat roof and roof lights will only be visible from the back and with a similar extension already built at neighbouring No 33, it will not adversely effect the neighbouring property. The extension will be rendered on either side. It is proposed to retain a high level side window from the current part width rear extension to the kitchen, and the new glazing will be made obscure.

The new roof will a wood frame, glass and marine ply with standard roofing materials. The rear wall will include an aluminium sliding folding door.

3.4. Sustainability and Materials

This project has been designed with an awareness of environmental sustainability. Newly planned elements will be constructed utilising modern construction methodology, following current advice contained within building regulations and the Code for Sustainable Homes.

The proposed extension will be constructed in facing materials which colour and scale match the existing building. This will be achieved by using a smooth render to match the proposed and previously approved first floor front and rear render, a new roof covering with a colour to blend in with the existing setting, and glazing to blend in with the existing property as far as possible.

3.5. Amenity

There is currently a good sized garden at the back of the property. This proposal is not overly reducing it in a harmful way, and does not reduce the existing garden by more than 50%. This proposal does not cause any adverse effects on the amenity of neighbouring properties.

3.6. Flooding and surface water

This site is not identified as within the risk of flooding zone as shown in the Environment Agency's maps section. Surface water in the rear garden will be removed via a new drain at the back of the proposed extension.

4. Access

This property's main entrance door is fronting Crediton Hill. The access door currently has a small threshold and there are several steps leading to it. This proposal does propose to change this situation.

5. Site Access

The existing access to the property is via a raised street entrance, with a small threshold on the access door. The existing clear entrance width is less than 900mm. The back of the property is accessible via two gates at either side of the property, leading through shared passageways between the neighbouring properties.

The proposed site access remains as existing. The Disability Discrimination Act 1995 (DDA) and its later amendments have been considered in the design proposal.