

IF_DO

1601_John Street

Design & Access Statement
and Heritage Statement

April 2017

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Mr and Mrs Graham have appointed IF_DO to carry out the sensitive and imaginative extension and reconfiguration of their home, 17 John Street — a grade-II listed Georgian house in Bloomsbury.

I.0 Introduction

I.1 Document Summary

This information is prepared in support of the listed building consent and planning application for 17 John Street. It comprises a description and brief history of the building, description of the proposals, Design and Access Statement and heritage Assessment of the factors that comprise its special architectural and historic interest and an assessment of the impact of the alteration proposals on that special interest.

2.0 Site

2.1 17 John Street

17 John Street is a grade-II listed Georgian town house located within the Bloomsbury neighbourhood of Camden, approximately 1 mile south east of the mainline station of Kings Cross.

The house is approximately 200 years old being built around the turn of the 19th century, and is of four storeys plus basement. The house is in a reasonable state of repair, and maintains a largely original appearance from the street, however requires renovation to be brought up to date and to create a bright, and elegant family home.



Top left: Recent photograph from John street.
Bottom left: View of John Street towards the north.
Top right: Rear elevation from garden.
Bottom right: First floor reception room.

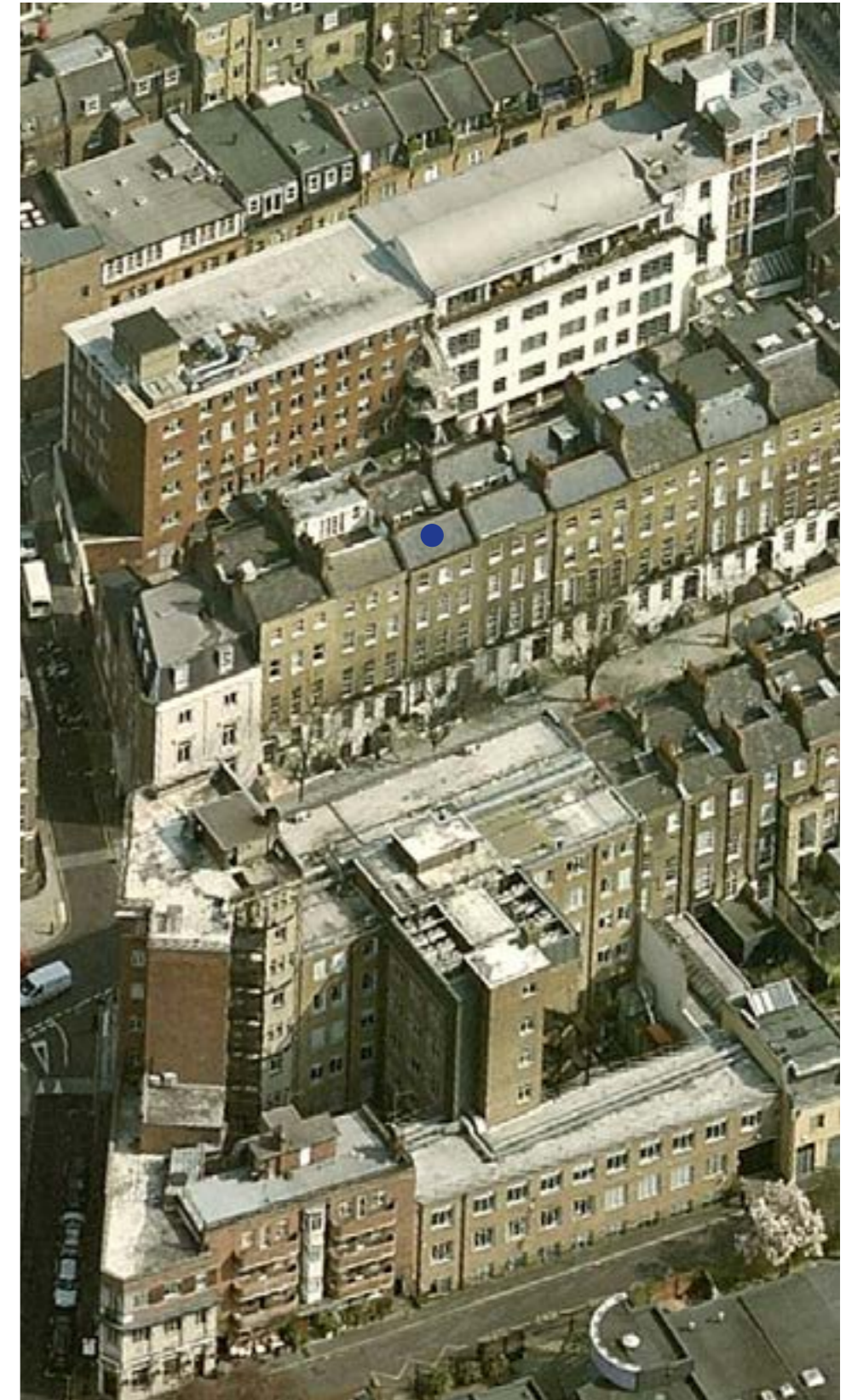
2.0 Site

2.2 Location

John Street is situated just to the west of Grays Inn Road between Holborn and Kings Cross. The street is comprised largely of formal Georgian town houses with Mews Street on either side.

It is situated between a number of town centres with Holborn, Farringdon and Tottenham Court Road all in less than 5 minutes walk.

There are excellent public transport connections in the area with multiple bus routes nearby. Kings cross St Pancras, Holborn and Chancery Land stations are also all within walking distance.



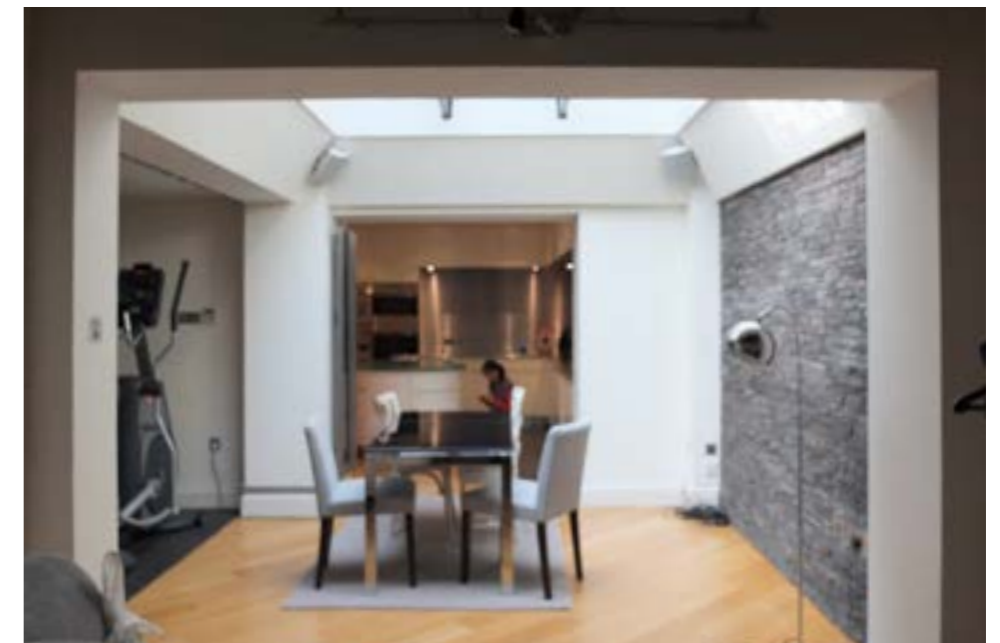
Centre: Insurance Map of North London - 1901
Right: Aerial View of 17 John Street

2.0 Site

2.3 Existing Interior - Basement & Courtyard

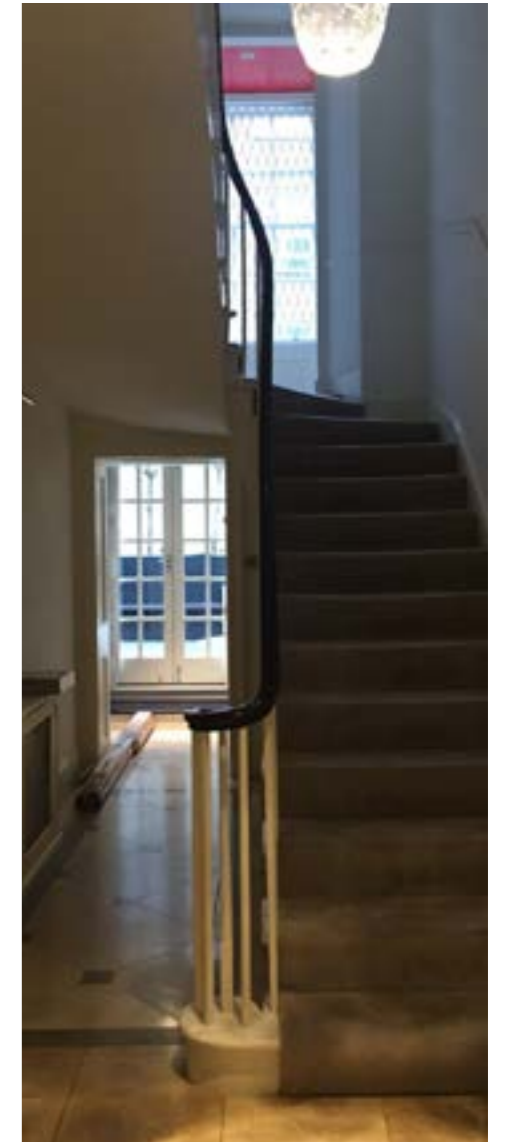


Top and bottom left: Hard landscaped walled garden with non-original slate feature wall and dilapidated rear 'closet wing' extension.
Top and middle right: Stark media room with extensive non-original joinery wall.
Bottom right: Basement dining room with non-original slate feature wall and floral walk-on glazing above.



2.0 Site

2.4 Existing Interior - Ground & First Floors



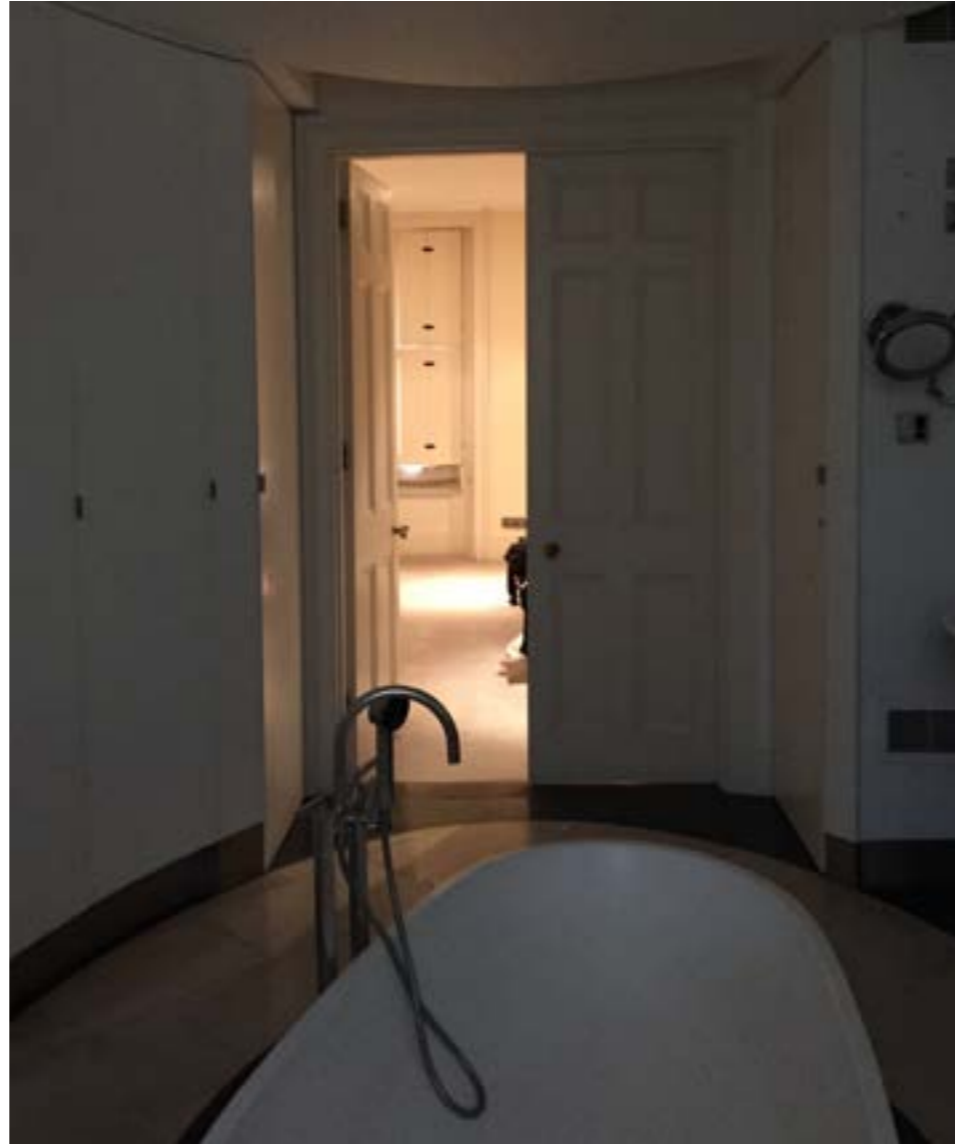
Top: Well proportioned reception space at first floor does not have a holistic approach to decoration and furnishing.

Bottom left: Recently high quality kitchen installation at ground floor is bright and elegant.

Bottom right: Entrance hall with stone floor.

2.0 Site

2.5 Existing Interior - Master & Second Floor



Top left: Existing non-original master bathroom/dressing room includes dropped ceiling and disguises high ceilings and period features.

Top right: Existing master bedroom joinery detracts from period features.

Bottom left: Existing guest bedrooms require redecoration.

Bottom right: Existing second floor bathroom requires upgrade.

3.0 Planning and Heritage Context

3.1 Description

17 John Street is a Grade II listed building located in the Bloomsbury Conservation Area (01/03/1984) of the north London Borough of Camden. The building forms one of a terrace of Georgian town houses and incorporates a more recent rear extension.

17 John Street and the listed and unlisted buildings in the vicinity, and their relationship to one another and the conservation area collectively illustrate the development of this part of London. They tell us about the nature of the expansion of North London from the 18th century onwards, and how the 20th century caused further urban and architectural change as a result of social and economic changes. The conservation area also tells us about transformations in housing during the 20th century, and about the dynamics of post-WWII development. The area and its buildings are a record of social and economic change and lifestyles in various periods, and illustrate the effect these things had on the historic building stock and urban grain.

It is clear that 17 John Street has ‘architectural’ and ‘artistic interest’ (NPPF) or ‘aesthetic value’ (‘Conservation Principles’). In respect of design, ‘Conservation Principles’ says that ‘design value... embraces composition (form, proportions, massing, silhouette, views and vistas, circulation) and usually materials or planting, decoration or detailing, and craftsmanship’. The principal aesthetic value of the house lies in its formal presentation to the street, the proportions and design of its frontage, and in its presence in the street and as part of the terrace. The internal layout and features of the house are part of its special architectural and historic interest.

The house is typical of many of its period – it has had a long life in residential and commercial use in varying economic and social circumstances. A good deal of its fabric has been altered and renewed at various times, particularly internally and at the rear, and this has reduced the heritage significance of those areas.

3.2 Planning and Listed Building Consent

17 John Street falls within the Bloomsbury Conservation area (01/03/1984) of the north London Borough of Camden, and is a grade-II listed building. (See section 3.1.3 - Listing Description)

Any works to a listed building require the necessary consents to be in place. Works affecting the exterior of the house will require planning and conservation area consent.

3.3 Listing Description

CAMDEN - Listing NGR: TQ3083982094

TQ3082SE JOHN STREET

798-1/96/943 (East side)

24/10/51 Nos.10-20 (Consecutive) and attached railings (GV II)

11 terraced houses. 1799-1824. No.20, facade rebuilt in facsimile c1950. Multi-coloured stock brick with yellow stock brick patching. Rusticated stucco ground floors with band at 1st floor levels. No.20 stucco facade to John Street with rusticated ground floor; return to Roger Street, yellow stock brick. 4 storeys and basements. 3 windows each; No.10 with 3-window (blind) return to Northington Street. No.20, 3 storeys and basement. 2 windows and 3-window return with 2 storey, 3-window rear extension. Gauged brick flat arches (No.10 reddened) to recessed sashes, mostly with glazing bars. Cast-iron balconies to 1st floor windows of Nos 12-19. Parapets. Original fluted lead rainwater heads and pipes.

No.17: similar doorway to No.12 with patterned radial fanlight.

INTERIOR: noted to retain stairs with square balusters. Marble fireplace, with contemporary iron centre, ground floor rear room. Marble fireplace with sculptured leaf-work, 1st floor front room. Contemporary china bell pulls and door plates.

3.0 Planning and Heritage Context

3.4 (Planning) History

17 John Street is a grade-II listed mid-terrace single-family dwelling arranged on lower ground, ground, first, second and third floors with a small back yard to the rear ground floor built over accommodation below.

British History online lists the following information for the property:

“No. 17.—The original numbering of John Street was very irregular, and, until 1907, this house was numbered 11. The architect, Owen Jones, who was appointed superintendent of the works of the Great Exhibition of 1851, and who was responsible for much of the interior decoration of the Crystal Palace, had rooms here in 1841. Six years later William Pare, a disciple of Robert Owen, and one of the founders of the Co-operative Movement, occupied chambers here. John Scott Russell, civil engineer, was here for a short time in 1847, when he was appointed secretary of the Society of Arts. In more recent times Captain Bruce Bairnsfather, the creator of “Old Bill,” Granville Barker and Cedric Hardwicke have had chambers here.”

<http://www.british-history.ac.uk/survey-london/vol18/pt2/pp111-115>

The property retains many of its original period features, and most major work to the property looks to have occurred since 1989, and can be found in planning & listed building applications made as follows:

1989

Date of planning application: October 1989

Reference: 9401144

Development description: Internal alterations to the basement ground floor and floors 1 to 3, including the creation of openings between front and rear rooms at ground and first floor levels.

1994

Date of planning application: July 1994

Reference: 9401144

Development description: Change of use from offices (B1) and works of conversion to form a single family dwelling house.

2001

Date of planning application: July 1994

Reference: LSX0104255

Development description: Internal alterations at third floor level including removal of cross wall to move bathroom from rear of property to central location opposite staircase (creating an additional bedroom).

2009

Date of planning application: September 2009

Reference: 2009/4262/L and 2009/3934/P

Development description: Installation of glass panelling to roof of basement at rear following the removal of existing glass lantern skylight.

2015

Date of planning application: May 2015

Reference: 2015/2806/L and 2015/2561/P

Development description: Installation of 1 x rooflight and internal alterations at ground and lower ground floor levels including installation of kitchen in front reception room at ground floor, and re-instatement of historic door to rear reception room (ground floor) from hall.

It is also worth noting that planning permission was granted for a roof extension in 2005 however this work was not carried out:

2005

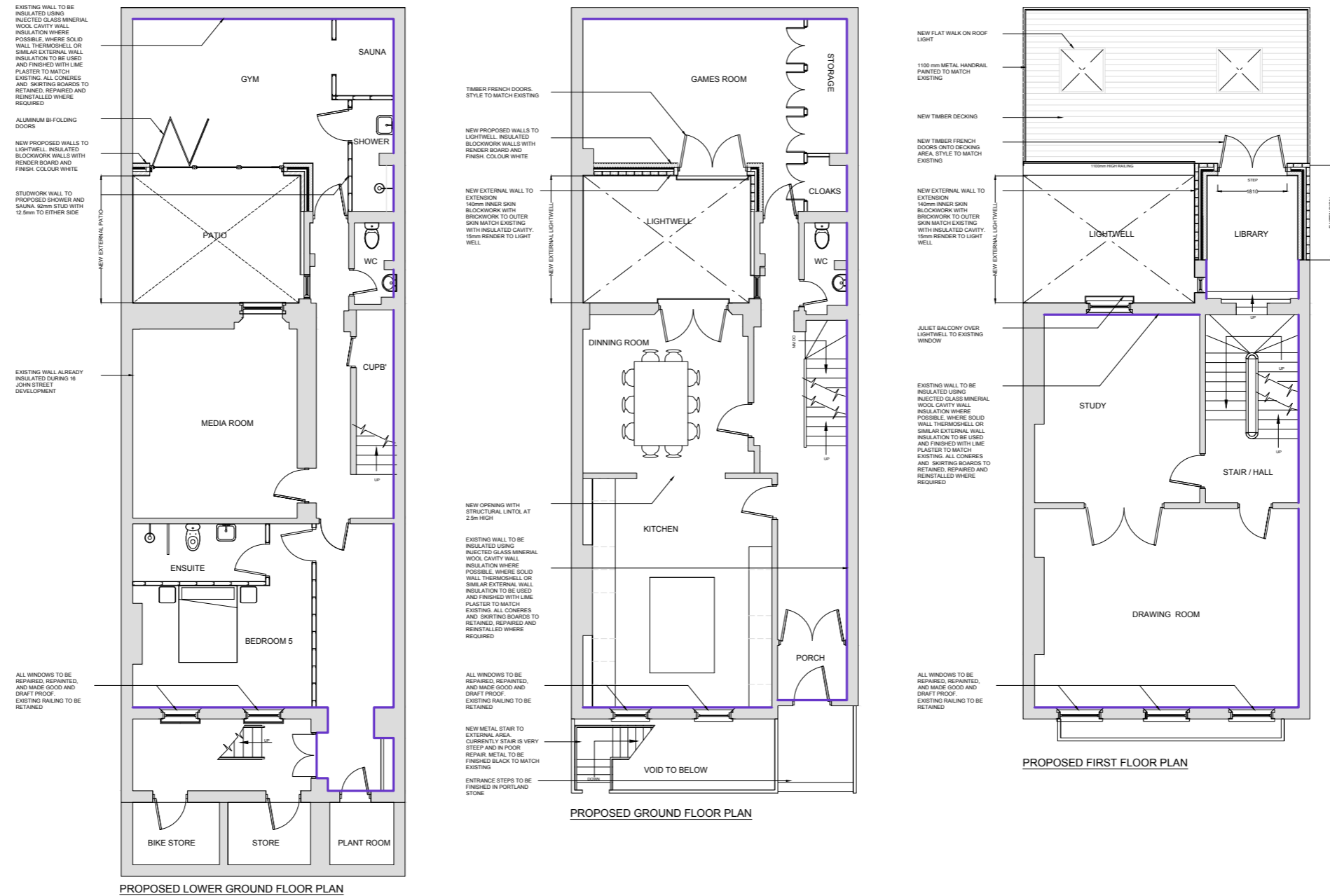
Date of planning application: December 2005

Reference: 2005/4850/L and 2005/4845/P

Development description: The erection of a rear roof extension with associated internal alterations to residential property. (See drawings overleaf).

3.0 Planning and Heritage Context

3.5 Planning Precedent



Above: Proposed lower ground floor, ground floor plan and first floor plans for a similar (more extensive) development at 15 John Street - approved by London Borough of Camden on 11 May 2016 - application ref: 2015/6704/P.

3.0 Planning and Heritage Context

3.6 Heritage Policy Context

This section of the report briefly sets out the range of national and local policy and guidance relevant to the consideration of change in the historic built environment.

The legislation governing listed buildings and conservation areas is the Planning (Listed Buildings and Conservation Areas) Act 1990. Section 72(1) of the Act requires decision makers with respect to any buildings or other land in a conservation area to pay ‘special attention to the desirability of preserving or enhancing the character or appearance of that area’.

The National Planning Policy Framework:

Paragraph 56 *‘the Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people’.*

Paragraph 60 says, *‘Planning policies and decisions should not attempt to impose architectural styles or particular tastes and they should not stifle innovation, originality or initiative through unsubstantiated requirements to conform to certain development forms or styles. It is, however, proper to seek to promote or reinforce local distinctiveness’.*

Paragraph 63 says that *‘In determining applications, great weight should be given to outstanding or innovative designs which help raise the standard of design more generally in the area’.*

At Paragraph 131, the NPPF says that; *‘In determining planning applications, local planning authorities should take account of the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation.’*

The NPPF says at Paragraph 133 *‘Good design ensures attractive, usable, durable and adaptable places and is a key element in achieving sustainable development. Good design is indivisible from good planning.’*

Paragraph 134 says that *‘Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including*

securing its optimum viable use’.

The London Plan:

The London Plan 2016 is the current the spatial development strategy for London. It contains various policies relating to architecture, urban design and the historic built environment.

Policy 7.4 deals with ‘Local character’, and says that *‘a development should allow ‘buildings and structures that make a positive contribution to the character of a place, to influence the future character of the area’ and be ‘informed by the surrounding historic environment’.*

Policy 7.8 deals with ‘Heritage assets and archaeology’, and says:

A. London’s heritage assets and historic environment, including listed buildings, registered historic parks and gardens and other natural and historic landscapes, conservation areas, World Heritage Sites, registered battlefields, scheduled monuments, archaeological remains and memorials should be identified, so that the desirability of sustaining and enhancing their significance and of utilising their positive role in place shaping can be taken into account.

B. Development should incorporate measures that identify, record, interpret, protect and, where appropriate, present the site’s archaeology.

C. Development should identify, value, conserve, restore, re-use and incorporate heritage assets, where appropriate.

D. Development affecting heritage assets and their settings should conserve their significance, by being sympathetic to their form, scale, materials and architectural detail.

E. New development should make provision for the protection of archaeological resources, landscapes and significant memorials. The physical assets should, where possible, be made available to the public on-site. Where the archaeological asset or memorial cannot be preserved or managed on-site, provision must be made for the investigation, understanding, recording, dissemination and archiving of that asset.

Policy 7.9 deals with ‘Heritage-led regeneration’, and says:

A. Regeneration schemes should identify and make use of heritage assets and reinforce the qualities that make them significant so they can help stimulate environmental, economic and community regeneration. This includes buildings, landscape features, views, Blue Ribbon Network and public realm.

B. The significance of heritage assets should be assessed when development is proposed and schemes designed so that the heritage significance is recognised both in their own right and as catalysts for regeneration. Wherever possible heritage assets (including buildings at risk) should be repaired, restored and put to a suitable and viable use that is consistent with their conservation and the establishment and maintenance of sustainable communities and economic vitality.

Camden Core Strategy (2010) CS1

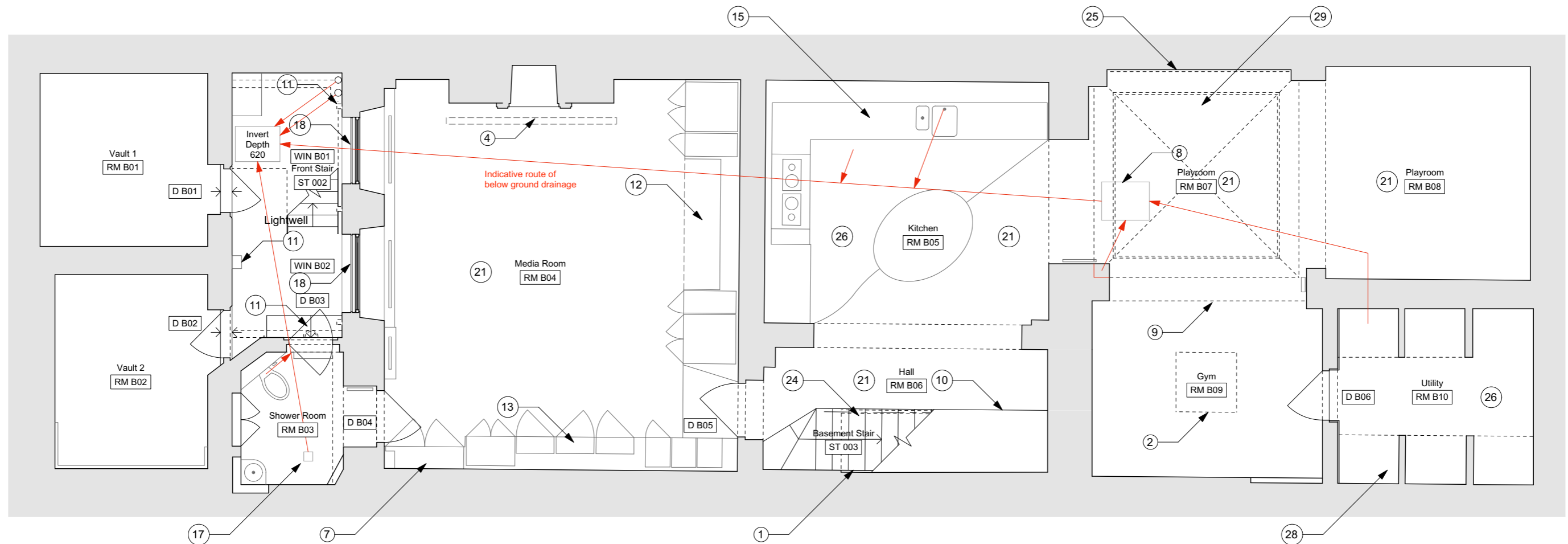
d) seeking development that makes full use of its site, taking into account quality of design, its surroundings, sustainability, amenity, heritage, transport accessibility and any other considerations relevant to the site;

Camden Core Strategy (2010) CS14

a) requiring development of the highest standard of design that respects local context and character;

4.0 Existing Building

4.1 Basement Floor Plan

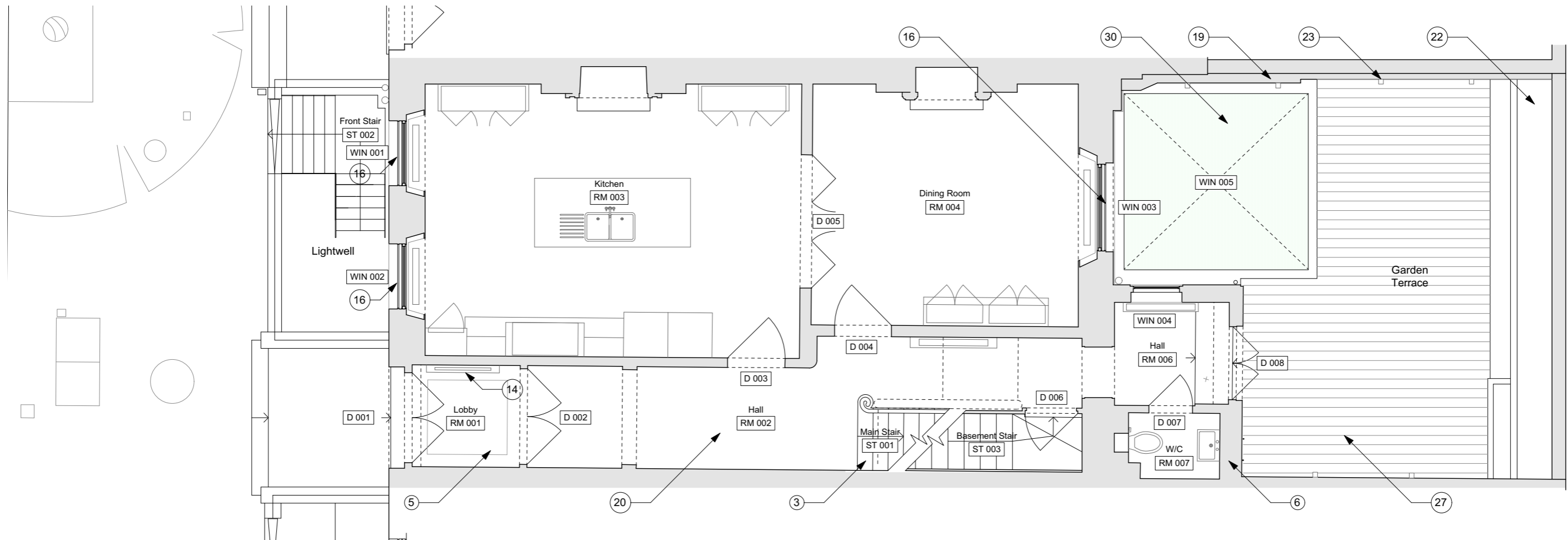


Notes

- | | |
|---|---|
| 1. Recent non-original plaster 'feature' wall to staircase | 15. Non-original kitchen |
| 2. Air conditioning unit above | 16. Non-original metal security railings to kitchen and dining room windows |
| 3. Carpet on staircase | 17. Non-original mosaic lined WC |
| 4. Ceiling recessed drop-down projector screen | 18. Non-original security rails to media room windows |
| 5. Coir entrance matt | 19. Non-original stone effect wall finish (external) |
| 6. Dilapidated two storey rear extension. Timber clad at GF level | 20. Non-original stone floor to hall |
| 7. Distribution board | 21. Non-original timber laminate floor |
| 8. Double sealed manhole cover | 22. Planters |
| 9. Existing ceiling recessed fire curtain | 23. Six wall mounted external lights to rear garden |
| 10. Fitted joinery under staircase | 24. Stone clad staircase to basement |
| 11. Five wall mounted external lights to front light well | 25. Stone-effect wall finish |
| 12. Non-original full height fitted joinery | 26. Tiled floor finish |
| 13. Non-original full height fitted joinery containing AV equipment | 27. Timber decking |
| 14. Non-original joinery to entrance hall | 28. Vaults |
| | 29. Walk-on roof light above |
| | 30. Walk-on rooflight with floral fritting |

4.0 Existing Building

4.2 Ground Floor Plan

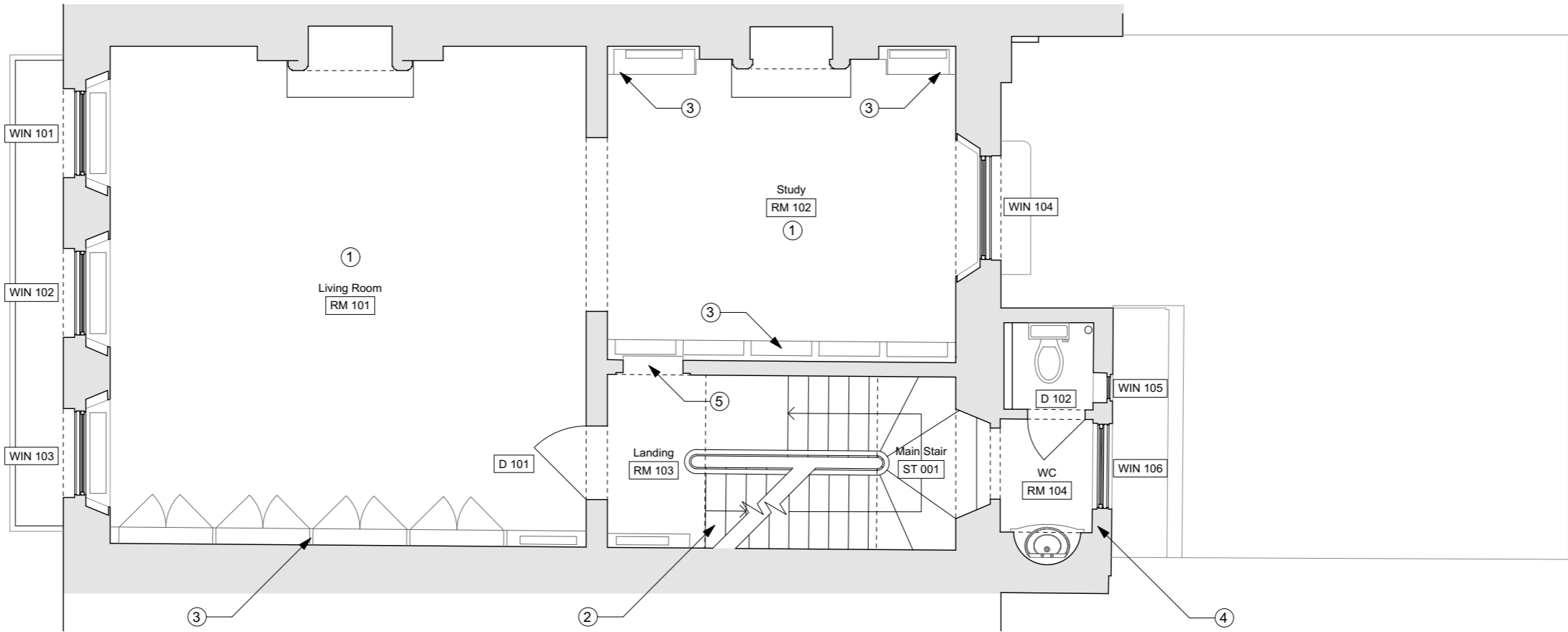


Notes

- | | |
|--|---|
| <ol style="list-style-type: none"> 1. Recent non-original plaster 'feature' wall to staircase 2. Air conditioning unit above 3. Carpet on staircase 4. Ceiling recessed drop-down projector screen 5. Coir entrance matt 6. Dilapidated two storey rear extension. Timber clad at GF level 7. Distribution board 8. Double sealed manhole cover 9. Existing ceiling recessed fire curtain 10. Fitted joinery under staircase 11. Five wall mounted external lights to front light well 12. Non-original full height fitted joinery 13. Non-original full height fitted joinery containing AV equipment 14. Non-original joinery to entrance hall | <ol style="list-style-type: none"> 15. Non-original kitchen 16. Non-original metal security railings to kitchen and dining room windows 17. Non-original mosaic lined WC 18. Non-original security rails to media room windows 19. Non-original stone effect wall finish (external) 20. Non-original stone floor to hall 21. Non-original timber laminate floor 22. Planters 23. Six wall mounted external lights to rear garden 24. Stone clad staircase to basement 25. Stone-effect wall finish 26. Tiled floor finish 27. Timber decking 28. Vaults 29. Walk-on roof light above 30. Walk-on rooflight with floral fritting |
|--|---|

4.0 Existing Building

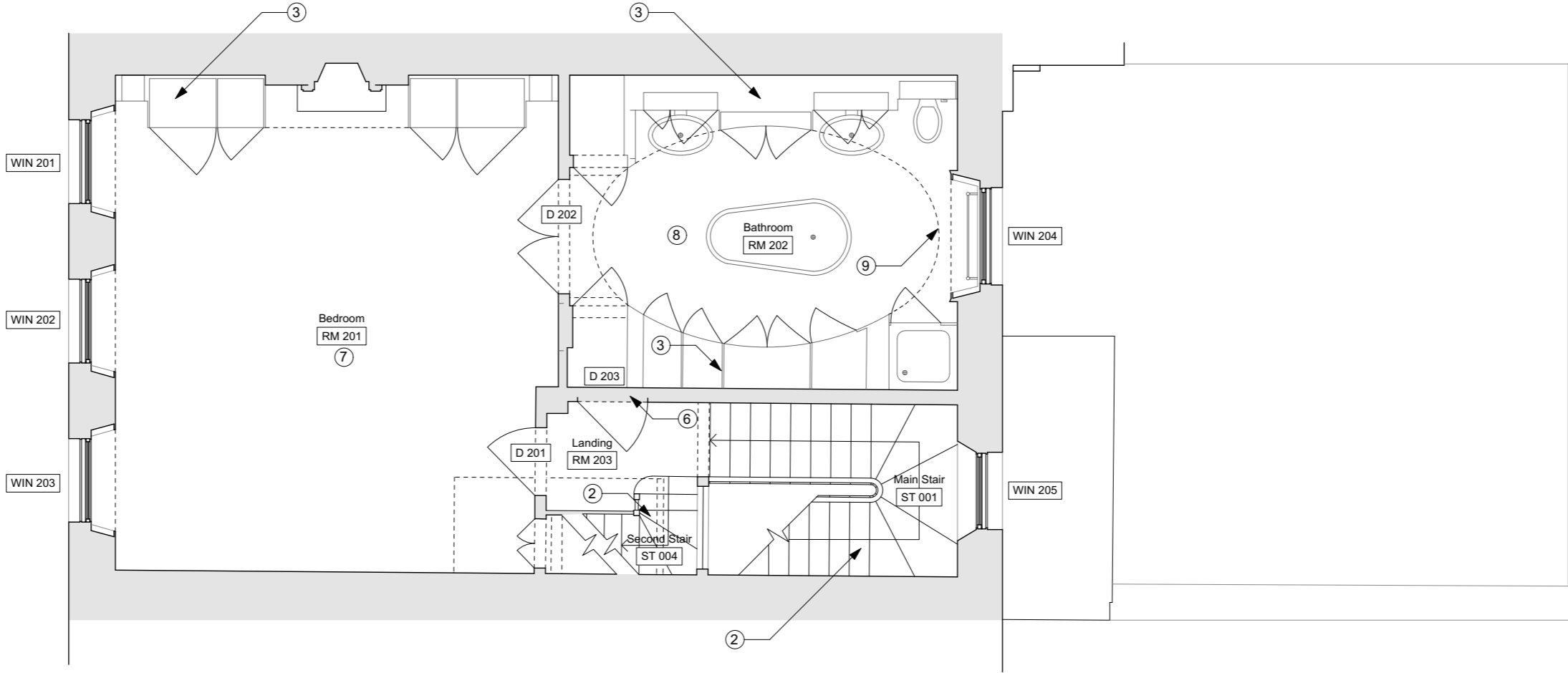
4.3 First Floor Plan



- Notes**
- 1. Carpet floor finish to Living Room and Study
 - 2. Carpet to staircase
 - 3. Non-original fitted joinery
 - 4. Dilapidated two storey rear extension. Painted render at 1F level
 - 5. Original opening between landing and study blocked with non-original fitted joinery in doorway
 - 6. Original opening between ensuite and hall fixed shut
 - 7. Carpet floor finish to Master bedroom
 - 8. Stone floor finish to ensuite
 - 9. Non-original plaster ceiling, including dropped ceiling feature, to ensuite

4.0 Existing Building

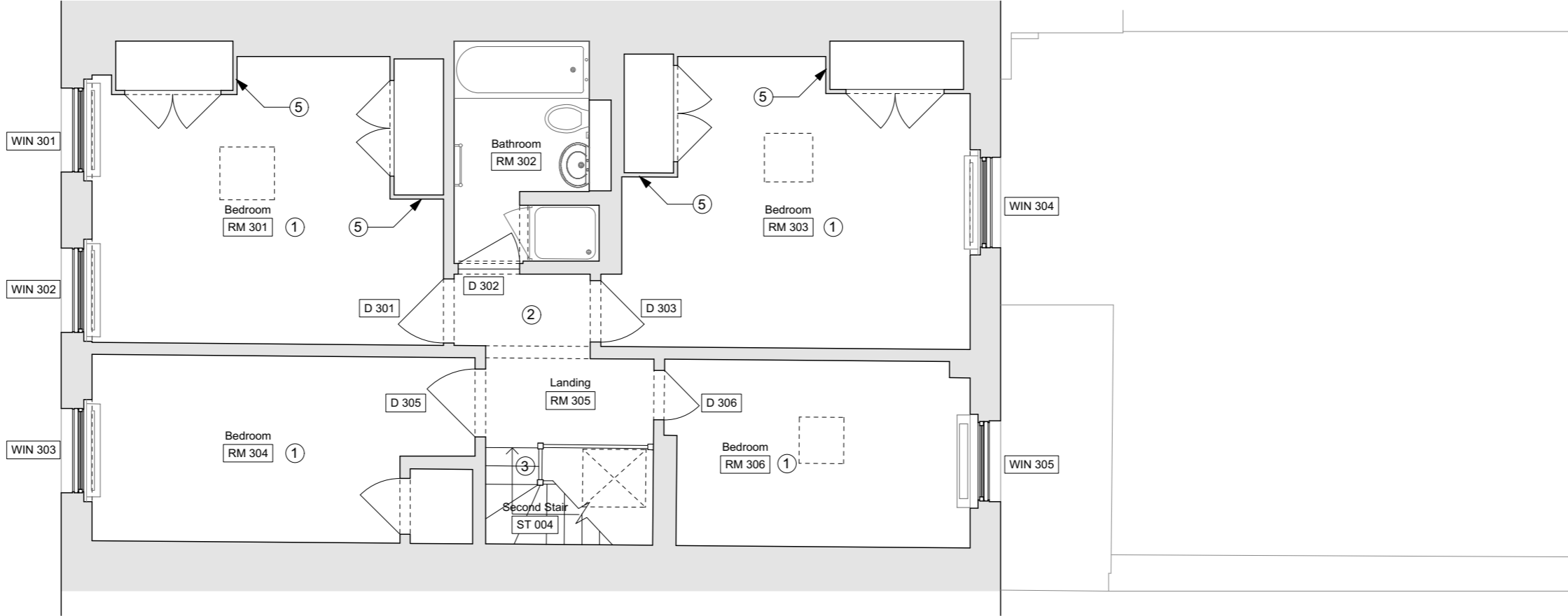
4.4 Second Floor Plan



- Notes**
- 1. Carpet floor finish to Living Room and Study
 - 2. Carpet to staircase
 - 3. Non-original fitted joinery
 - 4. Dilapidated two storey rear extension. Painted render at 1F level
 - 5. Original opening between landing and study blocked with non-original fitted joinery in doorway
 - 6. Original opening between ensuite and hall fixed shut
 - 7. Carpet floor finish to Master bedroom
 - 8. Stone floor finish to ensuite
 - 9. Non-original plaster ceiling, including dropped ceiling feature, to ensuite

4.0 Existing Building

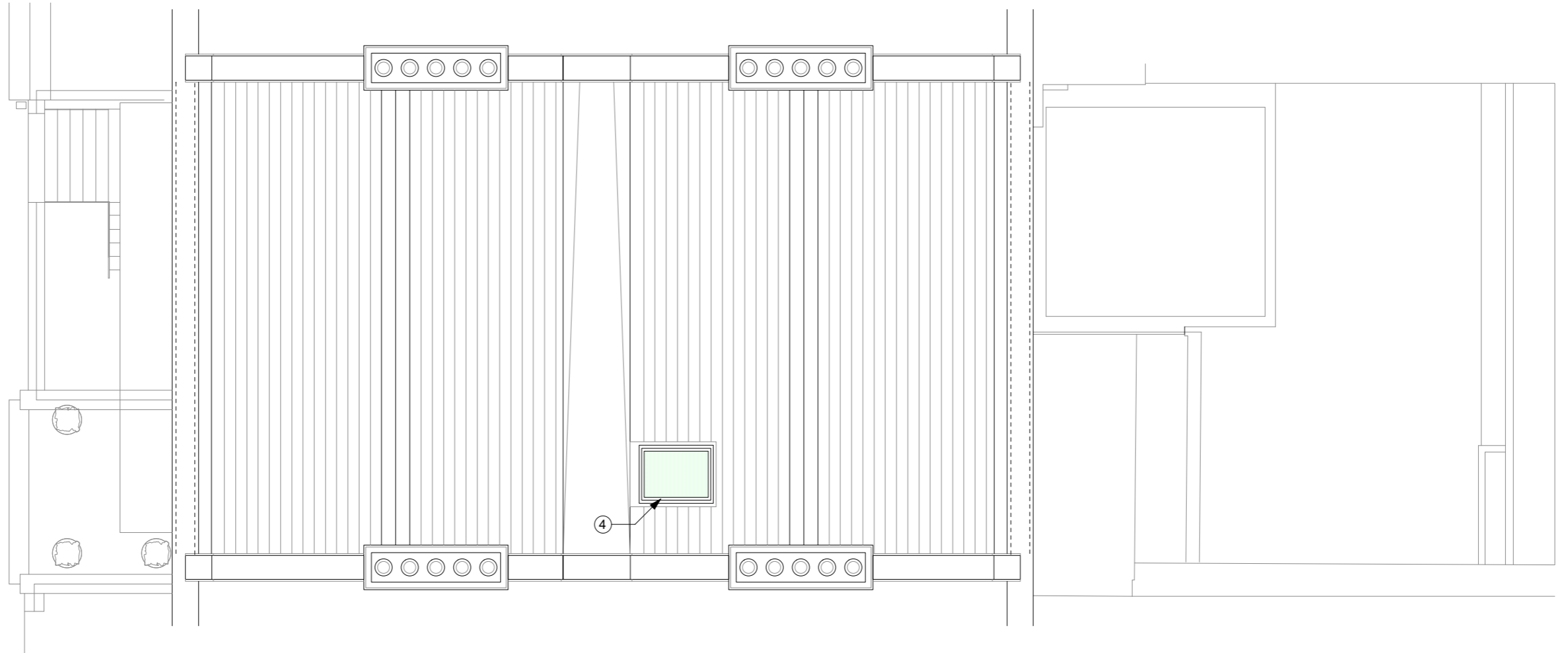
4.5 Third Floor Plan



- Notes**
- 1. Carpet floor finish to bedroom
 - 2. Carpet floor finish to hall
 - 3. Carpet floor finish to staircase
 - 4. Existing rooflight above staircase
 - 5. Fitted joinery

4.0 Existing Building

4.6 Roof Plan

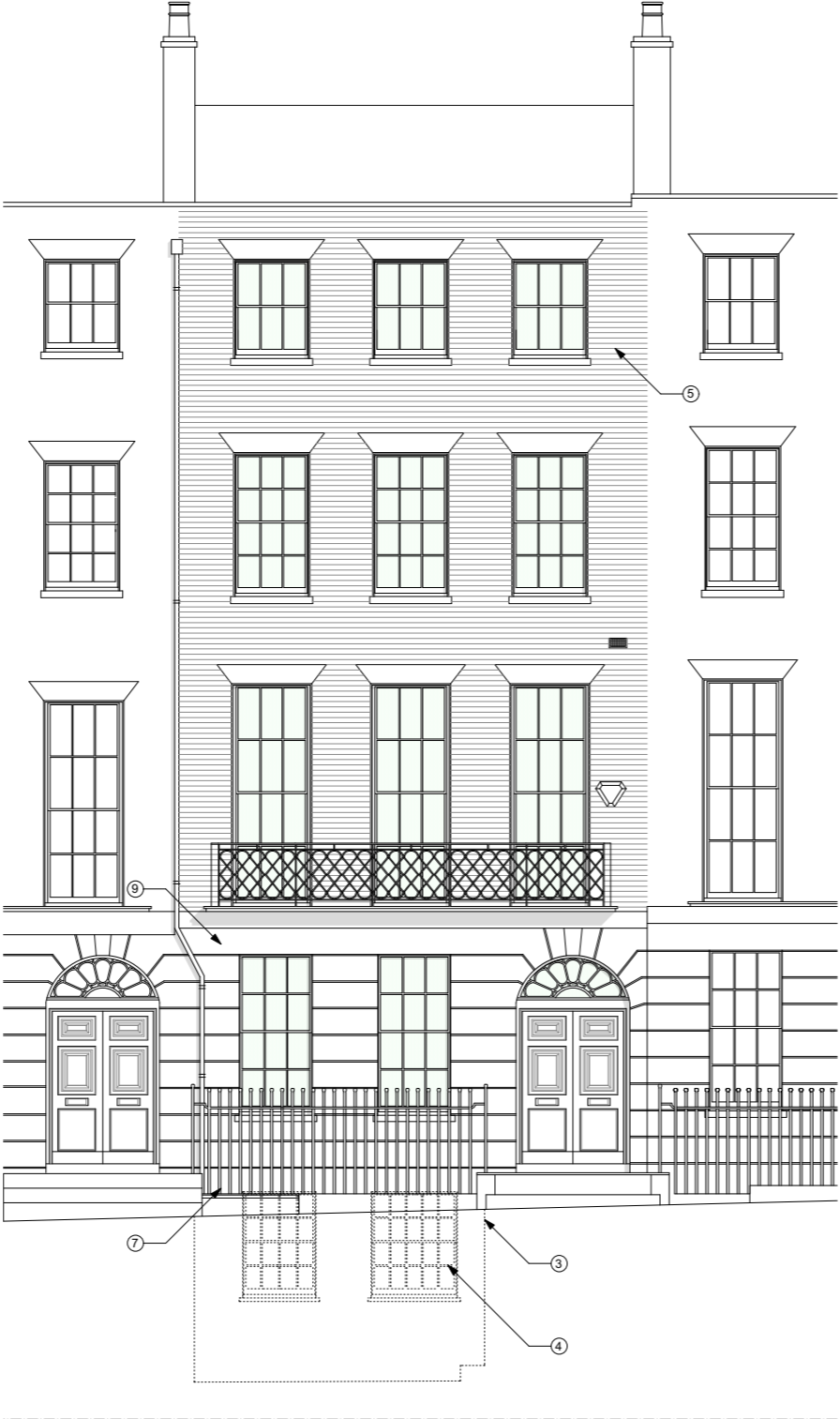


Notes

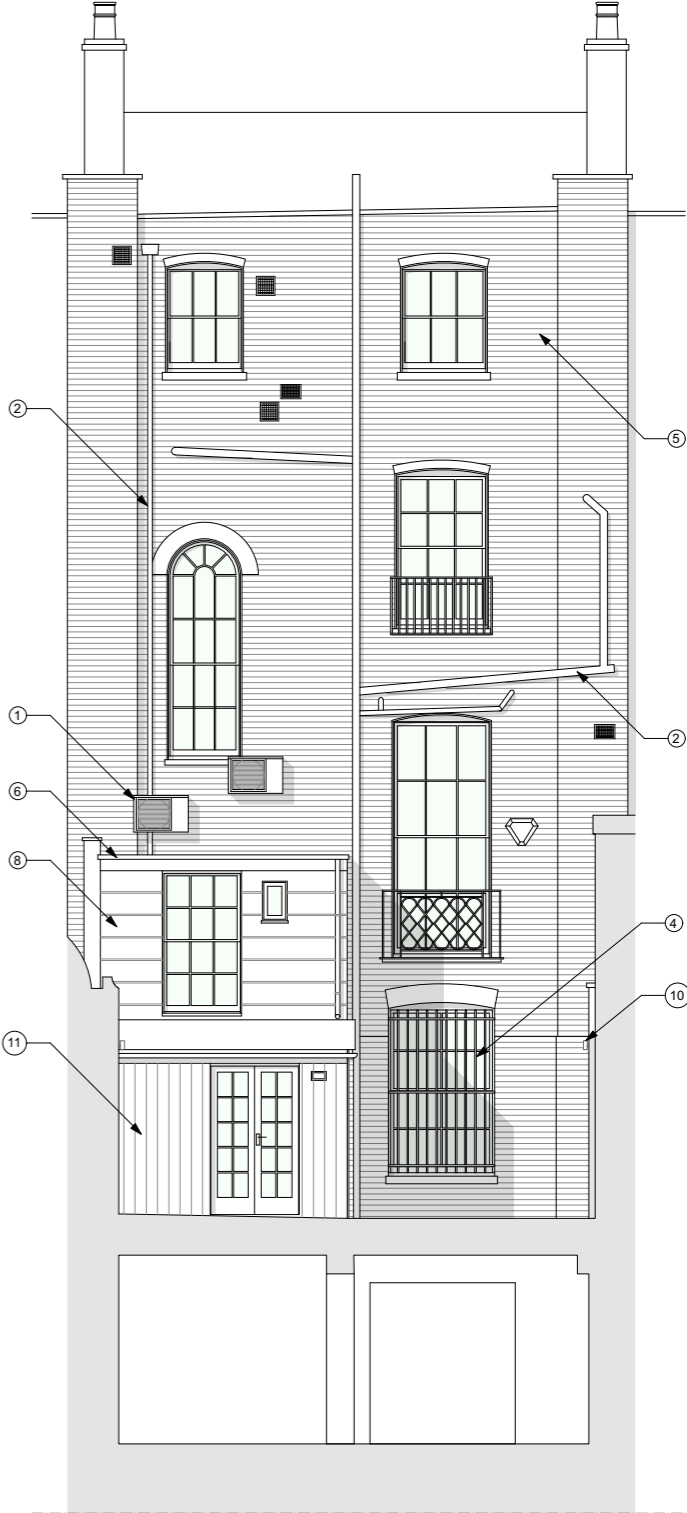
1. Carpet floor finish to bedroom
2. Carpet floor finish to hall
3. Carpet floor finish to staircase
4. Existing rooflight above staircase
5. Fitted joinery

4.0 Existing Building

4.7 Existing Elevations



- Notes**
- 1. Air conditioning units
 - 2. Black and grey plastic rainwater and soil vent pipes
 - 3. Existing lighting to front light well
 - 4. Existing security railings to windows
 - 5. London stock brick elevation
 - 6. Dilapidated two storey rear extension, timber clad at GF
 - 7. Painted cast iron railings
 - 8. Painted render
 - 9. Painted stucco
 - 10. Six external lights mounted to rear garden walls
 - 11. Timber cladding



4.0 Existing Building

4.8 Existing Section



- Notes**
- 1. Black and grey plastic rainwater and soil vent pipes
 - 2. Dilapidated two storey rear extension
 - 3. Existing lighting to front light well
 - 4. Non-original Planter
 - 5. Six external lights mounted to rear garden walls
 - 6. Stock brick garden wall
 - 7. Timber decking
 - 8. Walk on roof light

5.0 Proposal

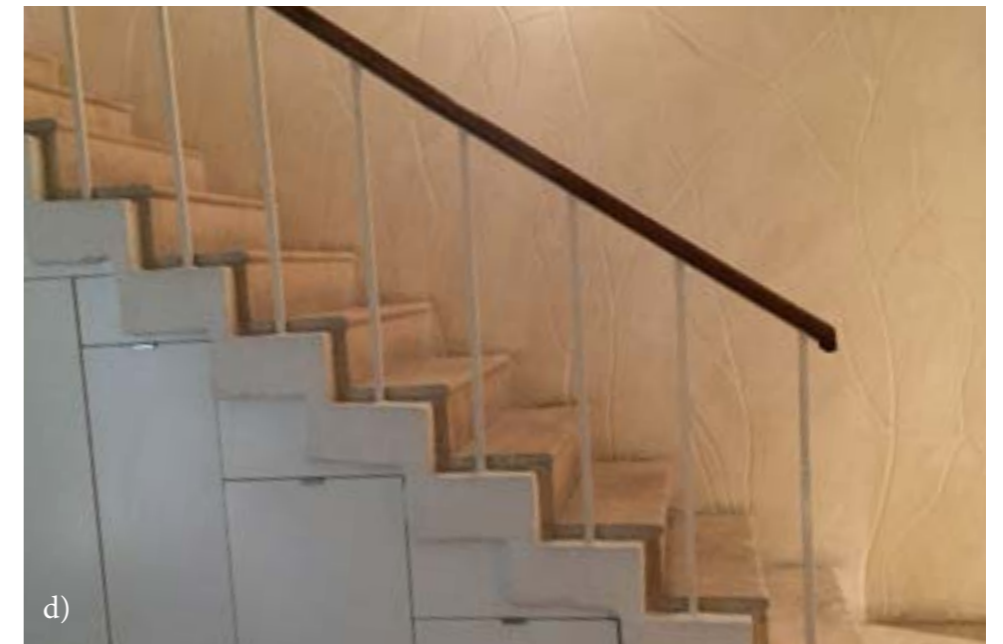
5.1 Proposal

The proposal includes alterations to the front and rear elevation including a new 2-storey rear extension. Internal alterations are also proposed to all floors. The more extensive alterations are to the lower ground floor and second floors third where some original features have already been lost and/or the area has been previously re-built. The proposed alterations do not seek to remove any original features.

Full details of the proposed alterations are set out on the submitted application drawings, and are summarised in following descriptions.

5.1.1 Lower Ground Floor (internal)

- Existing non-original mosaic lined bathroom carefully removed to create lower ground floor entrance is accessed from front light-well, including lobbied cloakroom (see image a);
- Existing non-original doors to be replaced with painted timber doors suitable for period house;
- Careful removal of existing non-original fitted joinery to media room;
- Utility Room created off re-instated lobby with new fitted joinery;
- Media room to become new guest bedroom and redecorated with plasterboard ceiling finish;
- Careful removal of existing non-original kitchen;
- Careful removal of non-original feature plaster wall finish (image d) and slate wall finish (image c);
- Removal of non original existing joinery under stair (image d) and creation of new WC under basement stair;
- Creation of new structural opening to allow visual connection from bottom of staircase to winter garden and through to original vaulted cellar;
- Non-original walk-on glass with floral decorative motif to existing rooflight to be carefully replaced (image e)



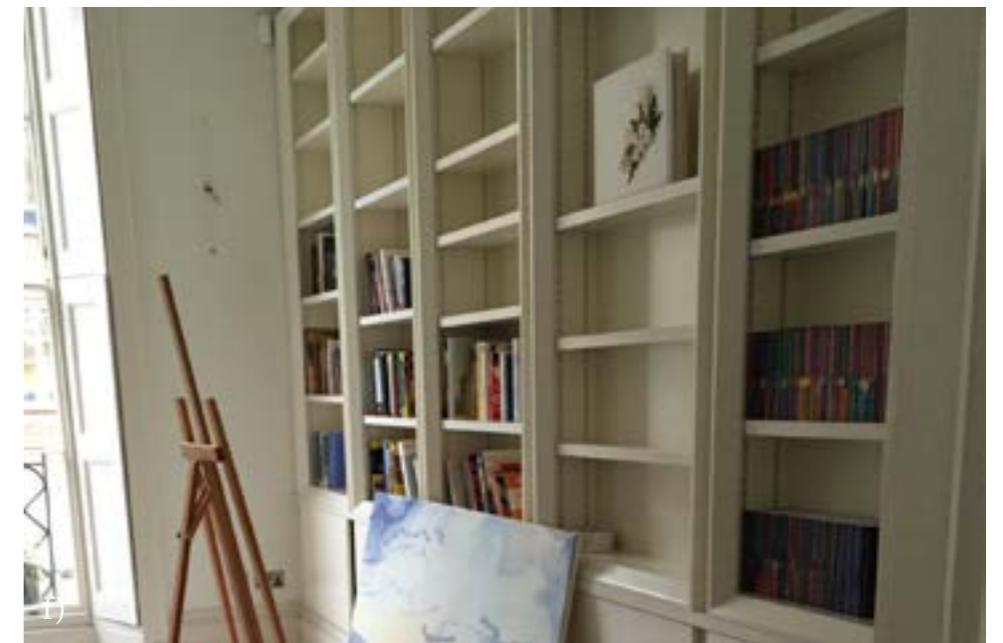
5.0 Proposal

5.1.2 Ground Floor (internal)

- Carefully remove existing shallow entrance joinery entrance lobby (to right in image b) and replace with shallow painted timber fitted joinery;
- Carefully remove and replace existing stone tile floor (image a) with new stone tiles;
- New two storey rear extension and external works (see later description);

5.1.3 First Floor (Internal)

- Missing ceiling rose (image c) to be reinstated with plaster ceiling rose appropriate to period of house;
- Chimney to be swept and lined, new working gas fire to be installed;
- Carefully repair cracked marble fireplace in living room (see image d);
- New timber parquet floor to living room and study to be laid on top of existing floor boards;
- Original opening between landing and study re-opened, through removal of non-original fitted joinery in doorway (see image e). New painted timber to match existing original doors in house.
- Carefully remove existing fitted joinery to study (image f);



5.0 Proposal

5.1.4 Second Floor (internal)

- Existing non-original fitted joinery to master bedroom to be carefully removed (image a);
- Existing non-original fitted joinery, sanitaryware, finishes and dropped ceiling to en-suite to be carefully removed (images c and d);
- Opening between landing and bathroom re-opened, through removal of non-original fitted joinery in doorway. Existing original door renovated and decorated;
- New partition to create small lobby to en-suite and bedroom;
- New sanitaryware and fitted joinery to bathroom and bedroom - all new joinery to be scribed around any original features.

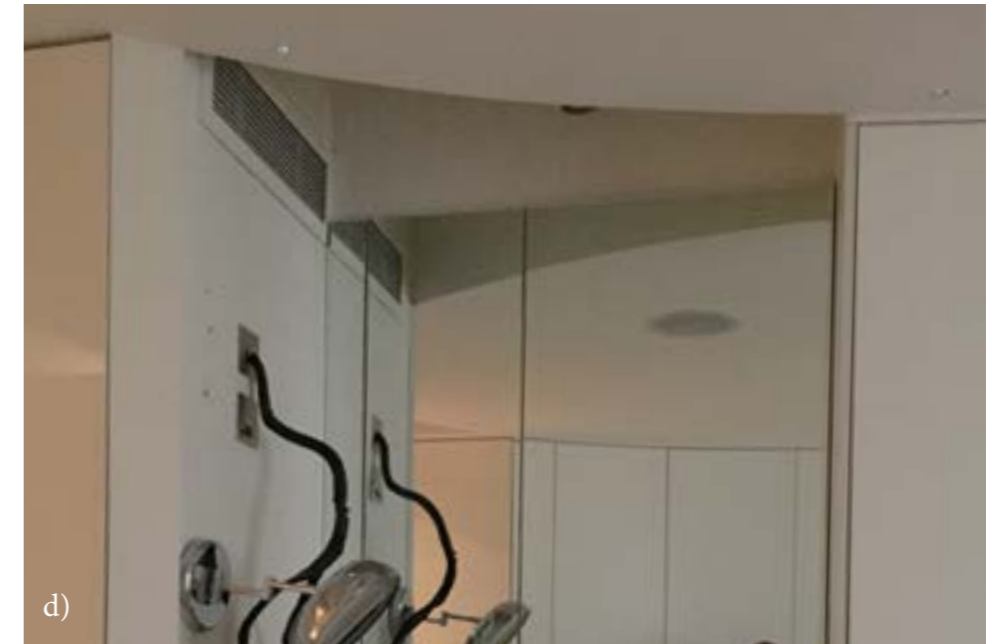
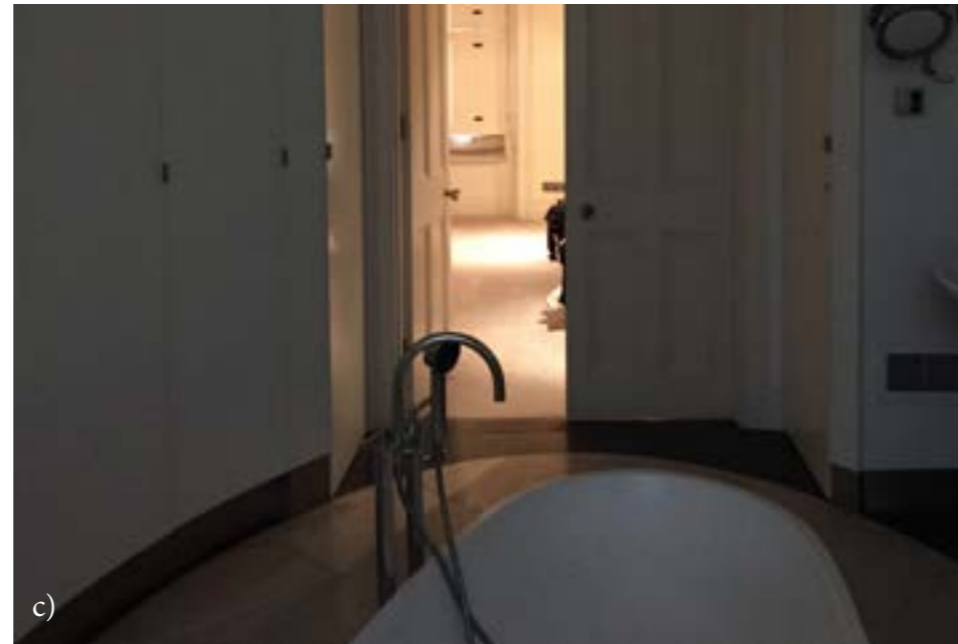


5.1.5 Third Floor (internal)

- New bathroom within existing partition walls including new sanitary ware and fitted joinery to bathroom.

5.1.6 Roof

- New discrete roof access hatch created;
- Existing unsightly air-conditioning units will be removed from the rear elevation of the property. Air-conditioning is only being added to the master suite at second floor level and the unit for will be this will be discretely located on roof (not visible from street level or from the rear of the property);
- Roof insulation to be installed between existing rafters;



5.0 Proposal

5.1.7 Front Elevation

- Carefully repair and redecorate weathered front external balcony at first floor level (see image a) in dark grey suitable exterior finish to match existing.
- Replace existing external lighting (image b);
- Repair and redecorate existing staircase in front lightwell, and railings in paint to match existing. (image b);
- Existing London stock brickwork to be carefully cleaned and restored with localised pointing where required (like for like)



5.0 Proposal

5.1.8 Rear Extension

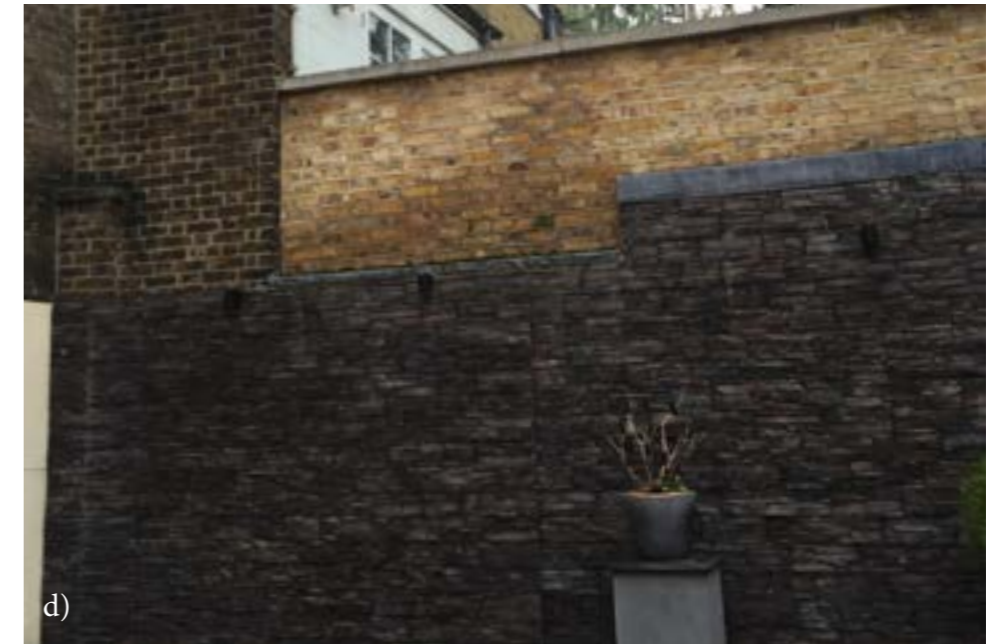
- Existing closet wing extension carefully removed (image a - deteriorating existing roof finish from above; image b - mosaic finished sink area to existing first floor of closet; image c - existing poor quality lean-to extension to existing closet wing at ground floor; image d - poor quality render, flashing, SVP and security railings);
- New closet wing extension in timber structure to include new garden room, WC and cloakroom. Garden room to be double height as shown with book case and bridge above;
- Fixed glazing to provide better visual and physical connection with ground floor garden terrace;
- Elegant (gold) internal metal bridge links reception rooms to first floor terrace;
- External metal staircase to link first floor to ground floor terrace;



5.0 Proposal

5.1.9 External works (rear)

- Carefully remove existing timber decking (image a) and replace;
- Existing grey and black uPVC downpipes to rear elevation (image b) to be removed where redundant and where required, to be replaced with black metal downpipes;
- Carefully remove existing security railings to dining room window (image c);
- Carefully remove existing slate feature wall in rear garden (image d and e);
- Carefully remove existing planters/benches (image e);
- Replacement external lighting.
- Existing London stock brickwork to be carefully cleaned and restored with localised pointing where required (like for like)



5.0 Proposal

5.1.10 Service proposals

Fire Alarm

17 John Street currently has an old commercial Chubb fire alarm system which 'break glass' panels. (See images b and e on p.21). Proposal includes carefully removing existing commercial fire alarm system and replacing with discrete domestic fire and smoke alarm system.

Security

Existing burglar alarm system to be retained. Amendments to security grills as shown on drawings.

Heating and cooling

Existing poor quality visible external condenser units associated with redundant air conditioning units to be carefully removed from rear elevation.

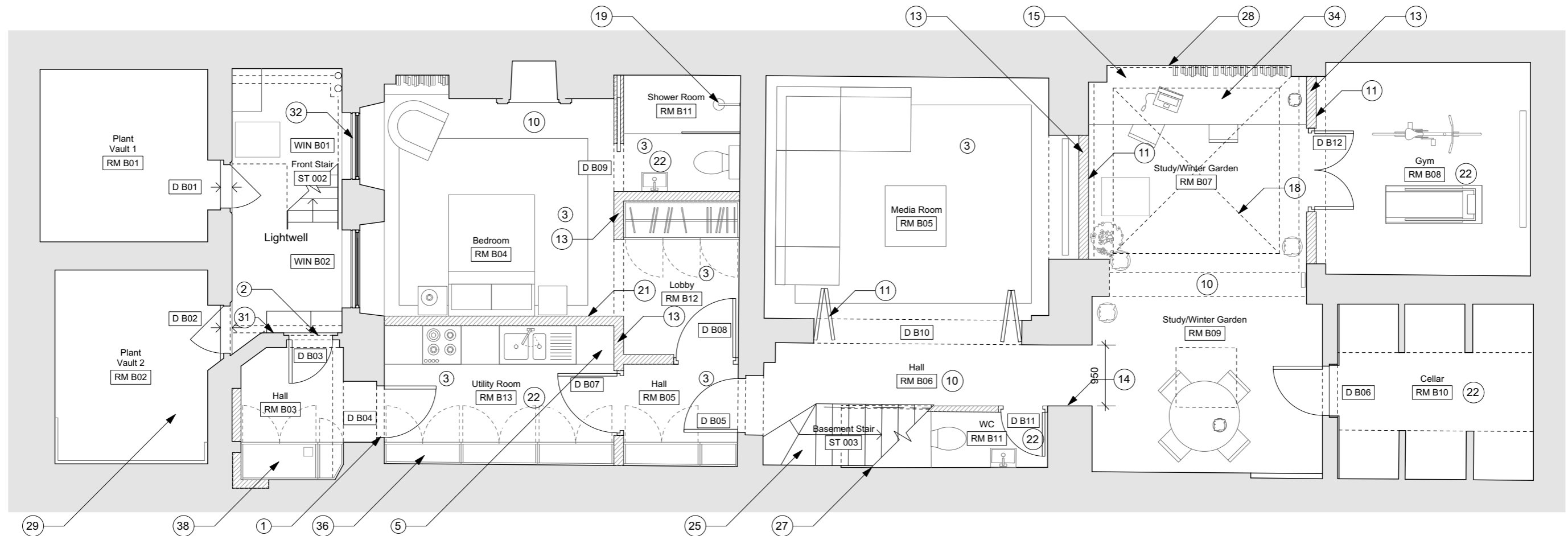
Air conditioning to be installed to all bedrooms, with external condenser units positioned discretely in valley of roof, not visible from street level or front the rear of the property

Air conditioning to be installed to LGF gym, with external condenser unit positioned discretely within external joinery item beneath external stair.

Existing radiators and heating systems to be retained. Master bedroom and bathrooms to be supplied with new wet underfloor heating system installed between existing floor joists. New rooms to basement to be fitted with new flat panel radiators connected to existing hot water heating system.

5.0 Proposal

5.2 Basement Plan as Proposed

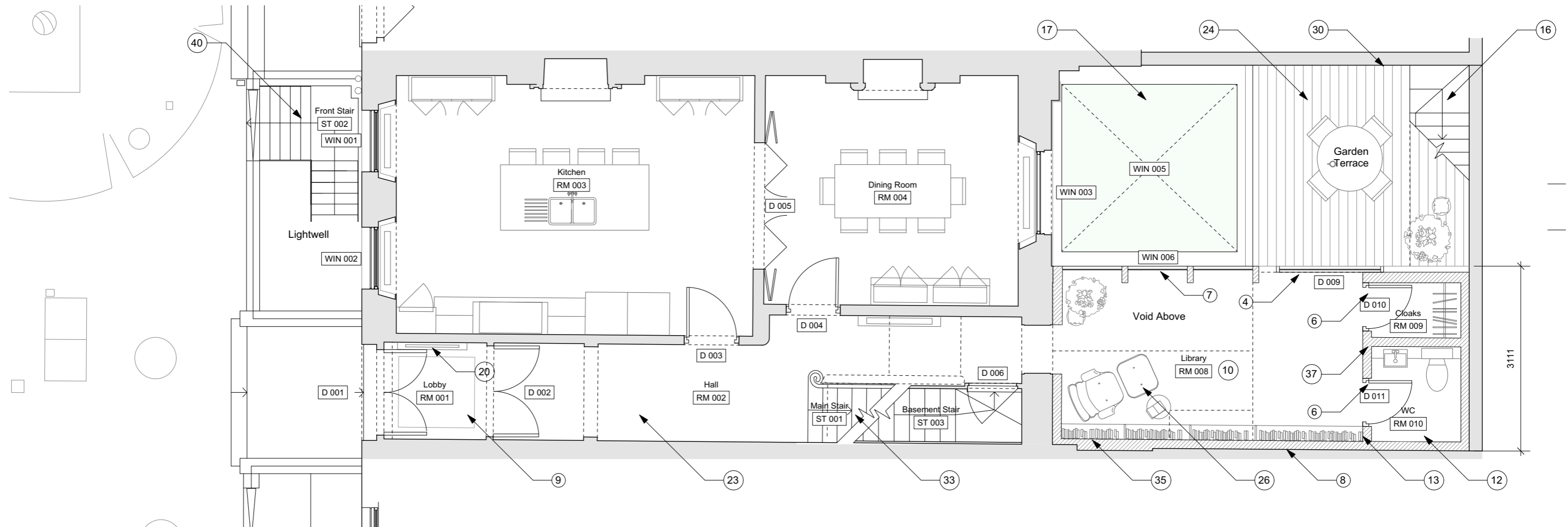


Notes

- 1. Carefully remove and replace existing door between existing WC and media room, and replace with painted timber door suitable to period of house.
- 2. Carefully remove and replace existing external door between existing WC and light well, and replace with painted hardwood door suitable to period of house
- 3. Ceiling finish: plasterboard lining, with 2-3mm skim coat and paint finish
- 4. Double glazed door
- 5. Fitted joinery to new utility room. Associated service connections required to connect to existing below ground drainage route.
- 6. Flush timber door
- 7. Full height double glazed fixed windows in timber structure
- 8. Garden wall lined now within new extension to be insulated and lined
- 9. New coir entrance matt
- 10. New engineered timber floor finish.
- 11. New folding doors to media room
- 12. New GF WC. Services to connect to existing below ground drainage
- 13. New internal partition: timber stud partition lined in plywood and plasterboard, with 2-3mm skim coat. Paint finish.
- 14. New opening in wall from hall to Structural Engineer's design
- 15. New painted plaster soffit around rooflight
- 16. New PPC metal staircase and balustrade
- 17. New replacement walk on roof light glass
- 18. New roof light glass (above)
- 19. New sanitary ware and associated service connections required to connect to existing below ground drainage route
- 20. New shallow timber joinery to entrance lobby
- 21. New skirting in painted timber to match existing
- 22. New tiled floor finish
- 23. New tiled floor to hall
- 24. New timber decking to garden terrace
- 25. New timber floor finish to basement staircase
- 26. New two storey rear extension
- 27. Painted plaster finish to staircase wall
- 28. Painted plaster wall finish
- 29. Vaults tanked for plant
- 30. Replace existing lighting with new light fixture by stair entrance
- 31. Replacement lighting to front light well
- 32. Replacement painted metal security bars to media room windows
- 33. Staircase including steps and balustrade to be redecorated. New carpet runner to staircase
- 34. Timber desk, lining and book cases to study
- 35. Timber lined wall and book shelves
- 36. Upgrade existing electrical distribution board
- 37. Timber lined wall
- 38. Painted timber fitted joinery to new entrance hall
- 39. N/A
- 40. Repair and redecorate existing staircase in front lightwell, and railings in paint to match existing.

5.0 Proposal

5.3 Ground Floor Plan as Proposed



Notes

1. Carefully remove and replace existing door between existing WC and media room, and replace with painted timber door suitable to period of house.
2. Carefully remove and replace existing external door between existing WC and light well, and replace with painted hardwood door suitable to period of house
3. Ceiling finish: plasterboard lining, with 2-3mm skim coat and paint finish
4. Double glazed door
5. Fitted joinery to new utility room. Associated service connections required to connect to existing below ground drainage route.
6. Flush timber door
7. Full height double glazed fixed windows in timber structure
8. Garden wall lined now within new extension to be insulated and lined
9. New coir entrance matt

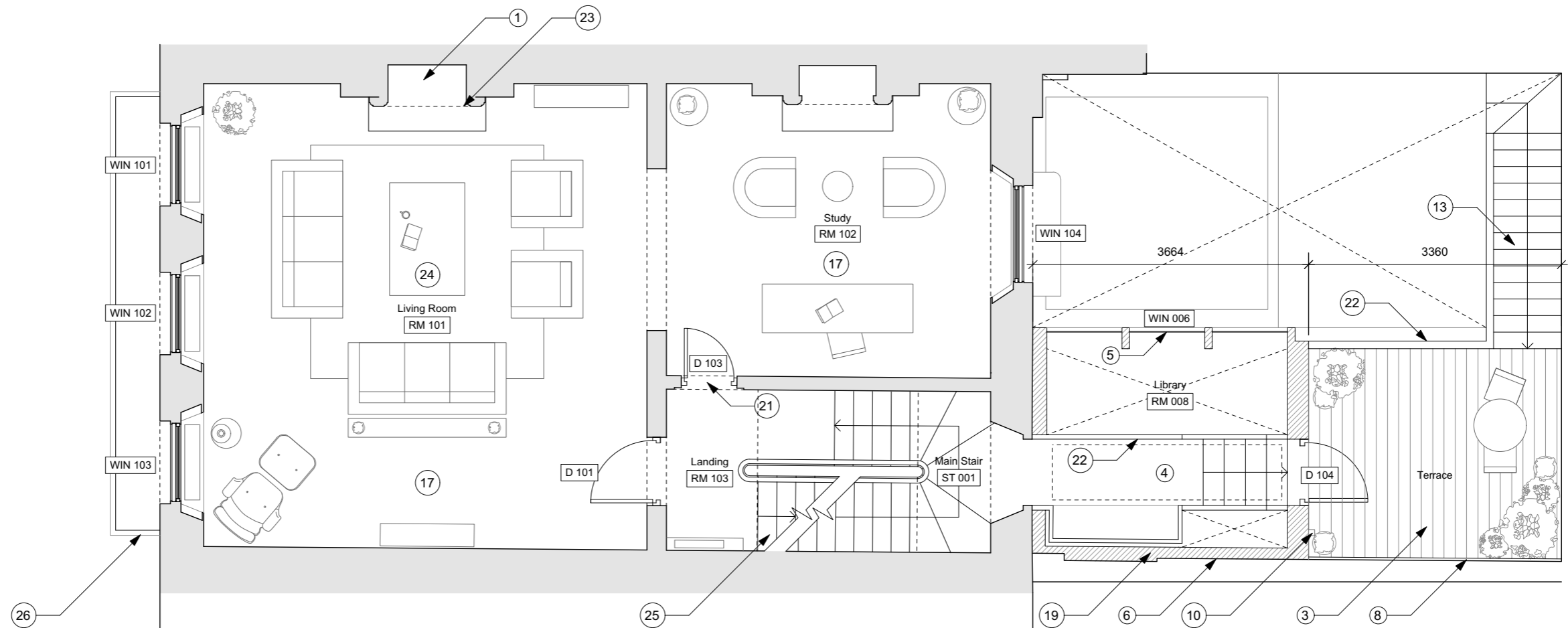
10. New engineered timber floor finish.
11. New folding doors to media room
12. New GF WC. Services to connect to existing below ground drainage
13. New internal partition: timber stud partition lined in plywood and plasterboard, with 2-3mm skim coat. Paint finish.
14. New opening in wall from hall to Structural Engineer's design
15. New painted plaster soffit around rooflight
16. New PPC metal staircase and balustrade
17. New replacement walk on roof light glass
18. New roof light glass (above)
19. New sanitary ware and associated service connections required to connect to existing below ground drainage route
20. New shallow timber joinery to entrance lobby
21. New skirting in painted timber to match existing
22. New tiled floor finish

23. New tiled floor to hall
24. New timber decking to garden terrace
25. New timber floor finish to basement staircase
26. New two storey rear extension
27. Painted plaster finish to staircase wall
28. Painted plaster wall finish
29. Vaults tanked for plant
30. Replace existing lighting with new light fixture by stair entrance
31. Replacement lighting to front light well
32. Replacement painted metal security bars to media room windows
33. Staircase including steps and balustrade to be redecorated. New carpet runner to staircase
34. Timber desk, lining and book cases to study
35. Timber lined wall and book shelves
36. Upgrade existing electrical distribution board
37. Timber lined wall
38. Painted timber fitted joinery to new entrance

- hall
 39. N/A
 40. Repair and redecorate existing staircase in front lightwell, and railings in paint to match existing.

5.0 Proposal

5.4 First Floor Plan as Proposed



Notes

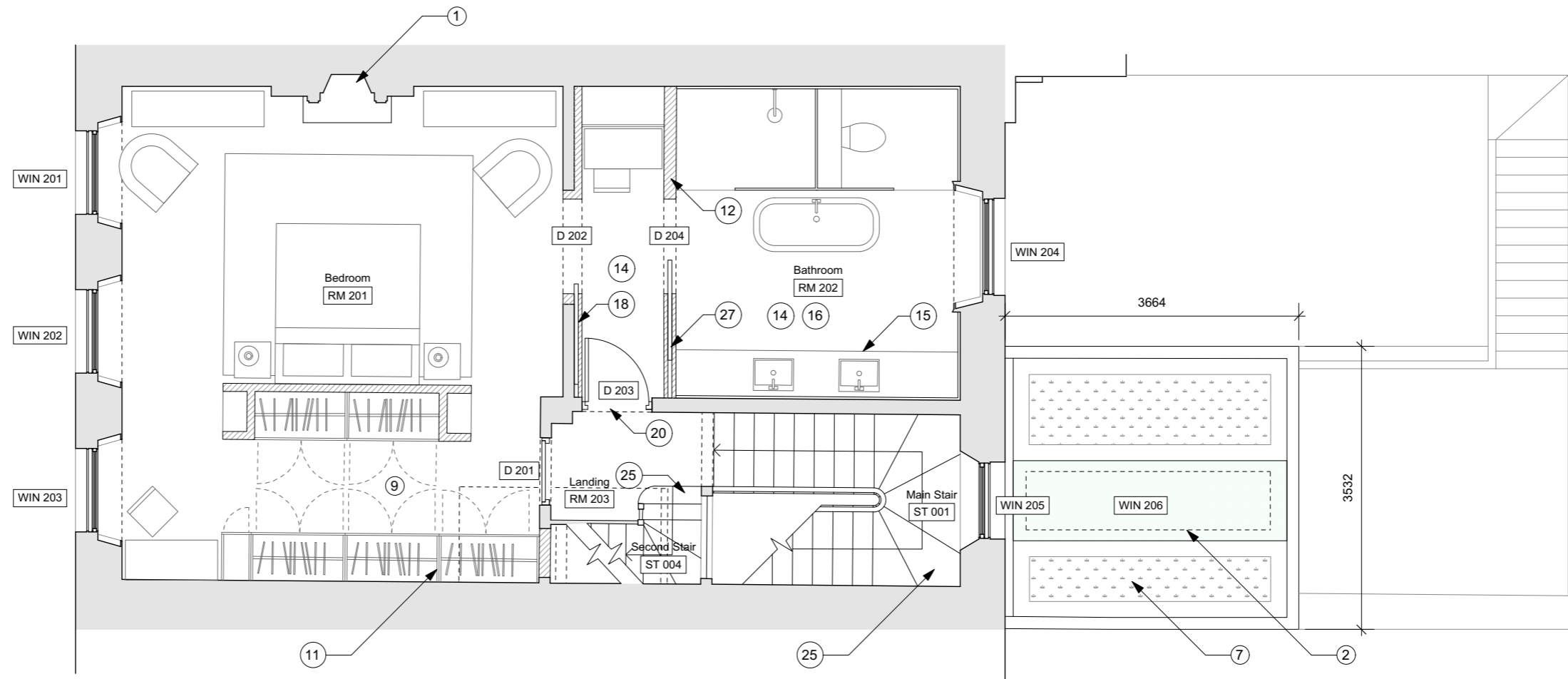
1. Chimney to be swept and lined, new working gas fire to be installed
2. Double glazed roof light to extension
3. First floor garden terrace with timber decking floor finish
4. Folded PPC metal 'bridge' with timber lining
5. Full height double glazed fixed windows
6. Garden wall lined now within new extension to be insulated and lined
7. Green roof
8. Hardwood boundary fence.
9. New engineered timber floor finish laid on top of existing floor boards
10. New external light by entrance
11. New fitted wardrobes
12. New internal partition: timber stud partition lined in plywood and plasterboard, with 2-3mm skim coat. Paint finish. New skirting to match existing.
13. New metal staircase and balustrade

14. New painted plaster ceiling to lobby and ensuite bathroom at original ceiling height (to replace existing non-original dropped ceiling)
15. New sanitary ware and fitted joinery to bathroom
16. New tiled floor finish
17. New timber parquet floor to living room and study to be laid on top of existing floor boards
18. New timber sliding doors (fitted against partition wall where existing)
19. New timber structure two storey rear extension
20. Original opening between landing and study re-opened, through removal of non-original fitted joinery in doorway. Existing original door renovated and decorated
21. Original opening between landing and study re-opened, through removal of non-original fitted joinery in doorway. New painted timber

- door to match existing original doors in house.
22. PPC metal balustrade
23. Repair crack to marble fireplace in living room
24. Replace missing plaster ceiling rose with suitably sized and period-appropriate plaster ceiling rose
25. Staircase including steps and balustrade to be redecorated. New carpet runner to staircase
26. Carefully repair and redecorate weathered front external balcony at first floor level (see image a) in dark grey suitable exterior finish to match existing.
27. New timber sliding doors

5.0 Proposal

5.5 Second Floor Plan as Proposed



Notes

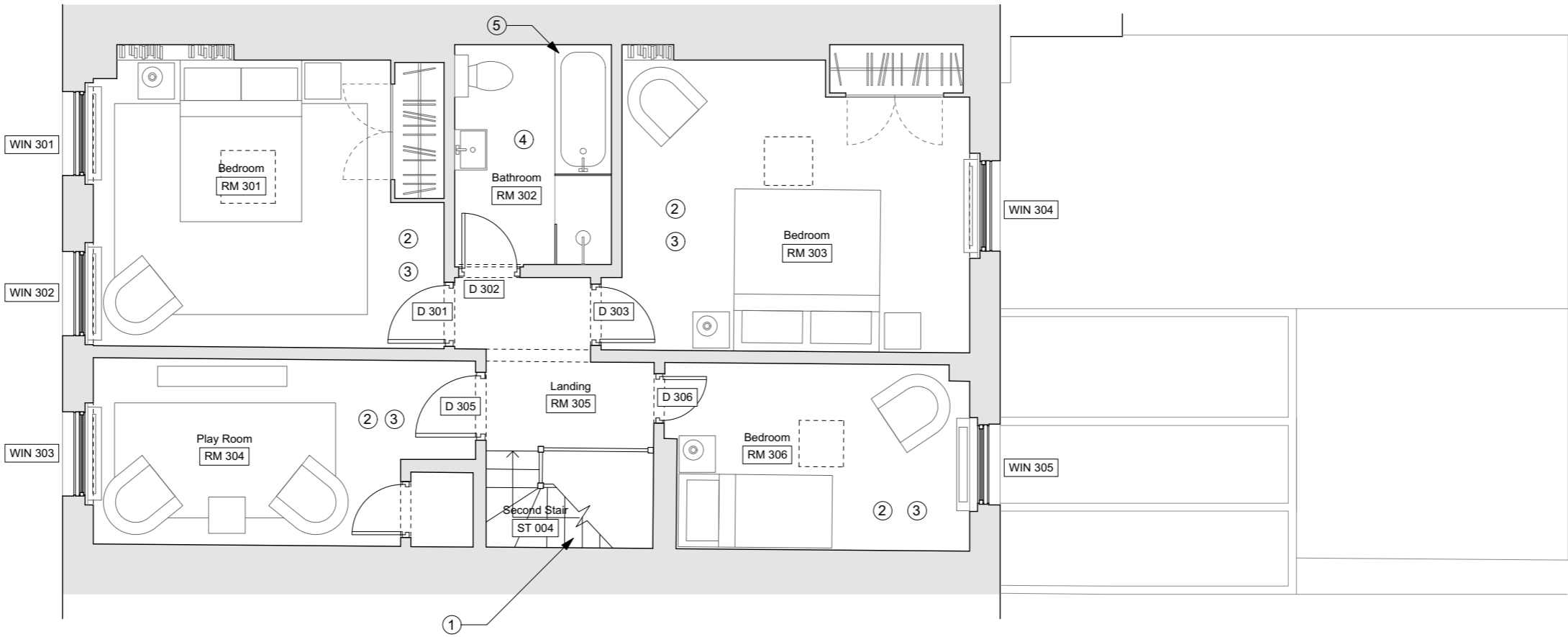
1. Chimney to be swept and lined, new working gas fire to be installed
2. Double glazed roof light to extension
3. First floor garden terrace with timber decking floor finish
4. Folded PPC metal 'bridge' with timber lining
5. Full height double glazed fixed windows
6. Garden wall lined now within new extension to be insulated and lined
7. Green roof
8. Hardwood boundary fence.
9. New engineered timber floor finish laid on top of existing floor boards
10. New external light by entrance
11. New fitted wardrobes
12. New internal partition: timber stud partition lined in plywood and plasterboard, with 2-3mm skim coat. Paint finish. New skirting to match existing.
13. New metal staircase and balustrade

14. New painted plaster ceiling to lobby and ensuite bathroom at original ceiling height (to replace existing non-original dropped ceiling)
15. New sanitary ware and fitted joinery to bathroom
16. New tiled floor finish
17. New timber parquet floor to living room and study to be laid on top of existing floor boards
18. New timber sliding doors (fitted against partition wall where existing)
19. New timber structure two storey rear extension
20. Original opening between landing and study re-opened, through removal of non-original fitted joinery in doorway. Existing original door renovated and decorated
21. Original opening between landing and study re-opened, through removal of non-original fitted joinery in doorway. New painted timber

- door to match existing original doors in house.
22. PPC metal balustrade
23. Repair crack to marble fireplace in living room
24. Replace missing plaster ceiling rose with suitably sized and period-appropriate plaster ceiling rose
25. Staircase including steps and balustrade to be redecorated. New carpet runner to staircase
26. Carefully repair and redecorate weathered front external balcony at first floor level (see image a) in dark grey suitable exterior finish to match existing.
27. New timber sliding doors

5.0 Proposal

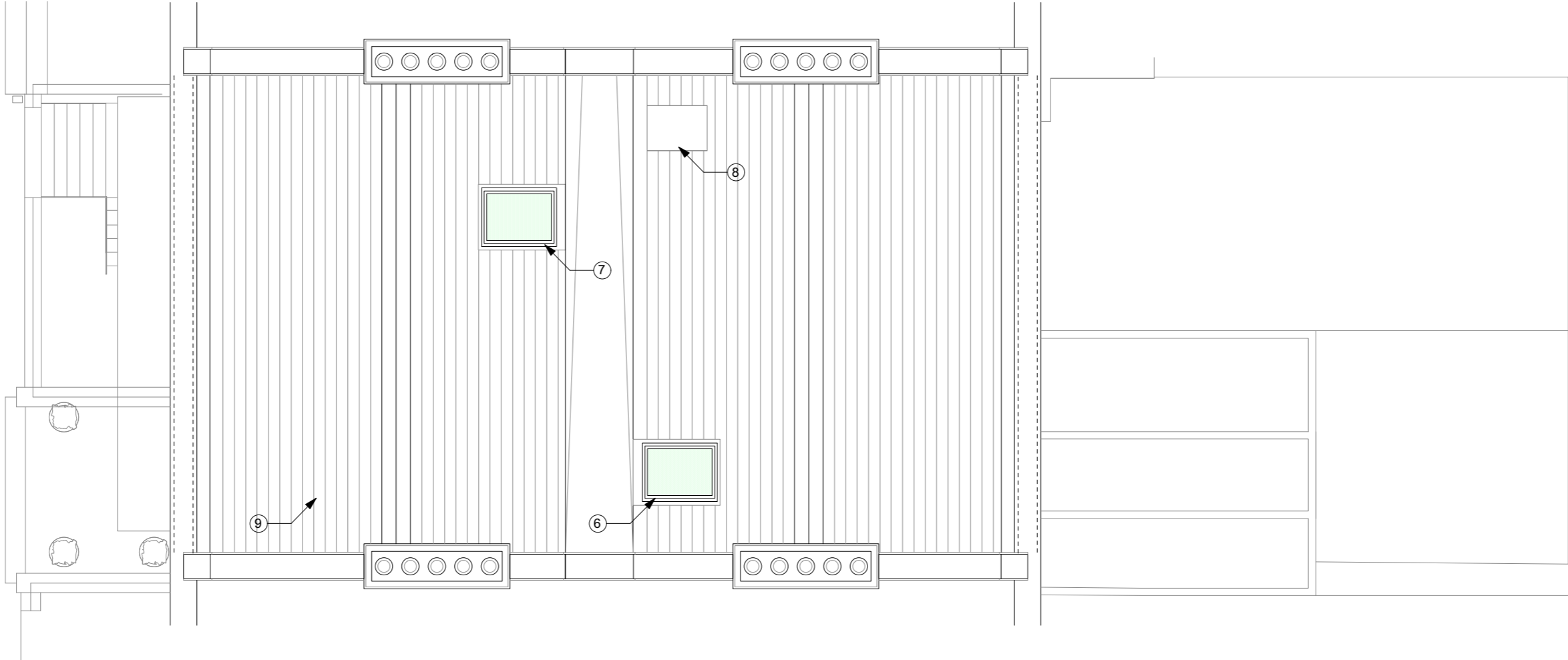
5.6 Third Floor Plan as Proposed



- Notes**
- 1. Staircase including steps and balustrade to be redecorated. New carpet runner to staircase
 - 2. Rooms to be redecorated
 - 3. New carpet floor finish
 - 4. New tiled floor finish
 - 5. New sanitary ware and fitted joinery to bathroom
 - 6. Existing rooflight above staircase
 - 7. New access hatch to roof
 - 8. New air-conditioning unit (not visible from streetscape or rear garden)
 - 9. Insulation between rafters below.

5.0 Proposal

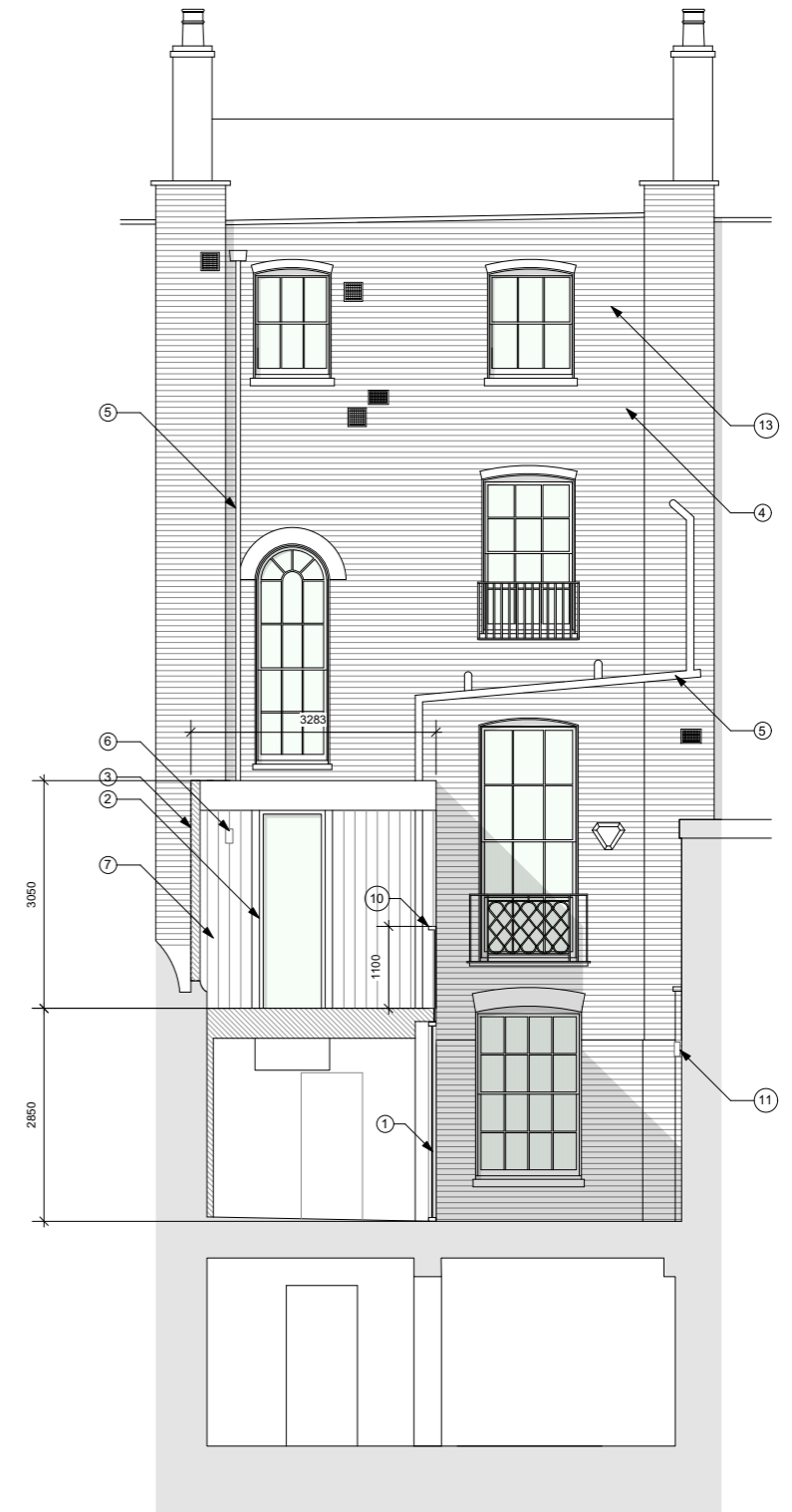
5.7 Roof Plan as Proposed



- Notes**
- 1. Staircase including steps and balustrade to be redecorated. New carpet runner to staircase
 - 2. Rooms to be redecorated
 - 3. New carpet floor finish
 - 4. New tiled floor finish
 - 5. New sanitary ware and fitted joinery to bathroom
 - 6. Existing rooflight above staircase
 - 7. New access hatch to roof
 - 8. New air-conditioning unit (not visible from streetscape or rear garden)
 - 9. Insulation between rafters below.

5.0 Proposal

5.8 Front and Rear Elevations as Proposed

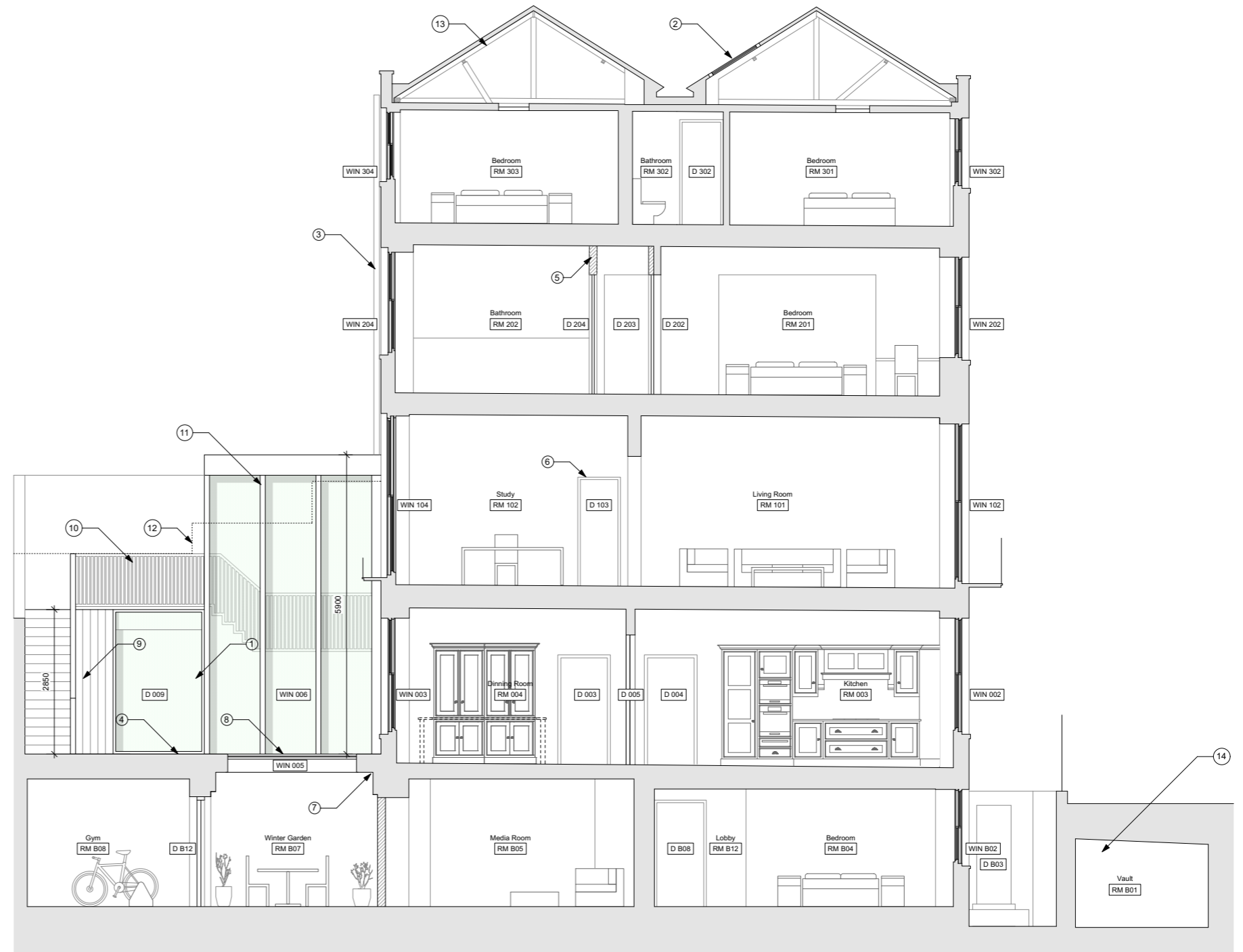


Notes

1. Double glazed sliding door
2. Double glazed, timber framed door
3. Hardwood boundary fence
4. London stock brick elevation
5. New black metal RWP and SVP downpipes
6. New external lighting to entrance
7. Oak cladding
8. Repair and redecorate existing staircase in front lightwell, and railings in paint to match existing.
9. Carefully repair and redecorate weathered front external balcony at first floor level (see image a) in dark grey suitable exterior finish to match existing.
10. PPC metal balustrade
11. Replace existing lighting
12. Painted stucco
13. Existing london stock brickwork to be carefully cleaned and restored with localised pointing where required (like for like)

5.0 Proposal

5.9 Section as Proposed



Notes

1. Double glazed sliding door
2. New access hatch to roof (conservation style)
3. New black metal RWP and SVP downpipes
4. New hardwood timber decking
5. New internal partition: timber stud partition lined in plywood and plasterboard, with 2-3mm skim coat. Paint finish.
6. New painted timber door to match existing original doors in house
7. New plaster soffit around rooflight
8. New walk on roof light glass
9. Oak cladding
10. PPC metal balustrade
11. Timber structure
12. Dotted line denotes line height of solid brick garden wall behind section line (i.e. NE garden wall)
13. Insulate between existign rafters
14. Vaults tanked for plant

6.0 Design and Access

6.1 Use

The existing building is a residential building, and the proposed works will not alter the use class.

6.2 Size/Impact

The proposed extension will increase the Gross Internal Area (GIA) as follows:

Existing GF Closet Wing (to be demolished)	5.0m ²
Proposed GF Extension	18.4m ²
Existing 1F Closet Wing (to be demolished)	3.6m ²
Proposed 1F Extension	8.9m ²

Therefore the total increase Gross Internal Area (GIA) is 18.7m².

The rear ground floor terrace is rarely used and benefits from little natural light due to solar orientation, as well as due to neighbouring extensions. Creation of a small terrace at first floor level will create a lighter terrace (level with neighbouring terraces) and create quality outdoor space for this family home.

There will be minimal visual impact to the neighbouring properties as the two storey extension replaces an existing two structure - projecting only 2.3m further than the existing closet wing at first floor level. Due to the massing and orientation of the extension - it will not impinge on daylight or be physically overbearing. The garden wall sitting opposite the glazed section of the extension (shown on drawings) is two storeys high and thus prevents any possible overlooking.

6.3 Layout

The proposal includes alterations to the layout on lower ground and second floors, as well as in relation to the new extension. All alterations are designed to be in keeping with the existing building and no original period features will be removed as a result of the proposed works. Please refer to Section 5.0 for more details regarding the proposed works and to the Section 7.0 (Heritage Statement) for justification of alterations to the listed building.

6.4 Landscape

The proposed renovation includes a replacement decking to rear terrace. The existing decking is non original and the proposed works will significantly improve the rear garden as it stands. Please refer to Section 5.0 for more details regarding the proposed works and to the Section 7.0 (Heritage Statement) for justification of alterations to the listed building.

6.5 Appearance

Notes relating to changes in the appearance of the building are found in section 5 of this report. Please refer to Section 5.0 for more details regarding the proposed works and to the Section 7.0 (Heritage Statement) for justification of alterations to the listed building.

Any new external materials are designed to compliment and enhance the character of the existing building.

6.6 Access

Access to 17 John Street remains unchanged.

7.0 Heritage Assessment

7.1 Heritage response

The owners of the property wish to make 17 John Street their long-term family home. Though works have been carried out prior to their ownership, further work is necessary to ensure that the house provides sufficient and up-to-date family accommodation. The proposed scheme will help secure this property for the long term in its optimum viable use as a family home.

The proposed development preserves the special architectural and historic interest of the designated heritage assets (the conservation area and the setting of listed buildings), thus satisfying Sections 66(1) and 72(1) the Planning (Listed Buildings and Conservation Areas) Act 1990.

The proposed renovations and alterations to no.17 John Street will have a positive impact upon the architectural quality and integrity of the house, with all interventions being designed to compliment the original features of the house and in doing so improving its value as an historic asset.

The proposed external works will improve the existing rear elevation of the Property, which is currently made unattractive by the numerous uPVC soil pipes and low-quality timber clad extension.

Structural alterations required as part of the proposed scheme have been minimised, with very few amendments made to the existing built fabric. The support for the proposed extension has been designed to mitigate any impact on the historic vaults at the rear LGF level, and instead the extension is supported in the location of recent structural alterations. The outline structural sketch scheme is appended to this document.

The internal alterations proposed update the property for family living without the loss of original fabric. The proposals are modest and unobtrusive. The works to the lower ground floor particularly will transform the house into a practical family home for future occupiers.

The alterations are to be sympathetic to the historic nature of the building at the request of the new owners who are keen to retain and enhance the Georgian features of their home. The light-touch alterations proposed will not detract from any key features, nor will they result in the removal of any historic fabric, with the exception of the new opening at lower ground floor level and the installation of the roof access to the main roof which however, will be located

discretely in the valley, to allow access to the roof for maintenance purposes.

The most significant alteration proposed is to the rear of the property. The existing brick closet wing is likely to have been part of the original house, built between 1799 and 1824. The original character of this wing has been severely compromised by later additions and modifications, including a timber clad extension at ground floor level in 1994, ill-proportioned French doors to rear, windows fitted with unattractive security railings and mirrored mosaic clad toilet at first floor level. External finishes to the two storey extension are weathering and the overall architectural appearance is unsatisfactory.

The proposed scheme is for a two storey extension which relates and responds to the scale and massing of the existing building, whilst also increasing the amount and improving the quality of space within the property. The scheme seeks to replace the existing extension with a high quality structure that relates to the host building in a clearer way that privileges the house as the primary feature of the site and makes explicit the age and status of the extension – to provide an extension that is clearly of the present period and a distinctly later phase of the house's history by using a contemporary architectural language.

The key point is that, though the proposed scheme proposes a larger extension than exists at present, the architectural approach adopted permits this greater scale because it preserves and enhances the legibility of the house and makes clear what is old and new. Of itself it will be an attractive and high quality piece of contemporary architecture, and it will provide a satisfying counterpoint to the character and appearance of the house. The scale of the proposal remains considerably less than that of the house, and the extension will reach a level approximately equivalent to the existing rear lean to extension.

7.2 Conclusion

The proposed scheme will both preserve and enhance the listed building at 17 John Street, and the setting of heritage assets nearby.

The proposed scheme is demonstrably respectful of both the special architectural and historic interest of 17 John Street as a listed building and the character and appearance of the conservation area. We believe it would enhance both designated heritage assets. It is important to note, however, that the legal requirement regarding satisfying Section 72(1) of the Act, established by *South Lakeland District Council v Secretary of State for the Environment and another* [1992] 1 ALL ER 573, is met if the proposed development leaves the Bloomsbury Conservation Area unharmed. The proposed scheme clearly goes far beyond this, and will positively enhance the conservation area.

The proposals will provide 17 John Street with a future in its optimum viable use, given the present circumstances of the area in which it is located and the nature of the listed building. To achieve this the scheme does not harm the listed building's significance, but intervenes in the building in a manner that is commensurate with its heritage significance. The scheme will provide the singular heritage benefit of providing 17 John Street with a long-term, sustainable future, as well as restoring parts of the building fabric and detail.

The proposed scheme therefore complies with Paragraph 133 of the NPPF – it certainly does not lead to 'substantial harm to or total loss of significance of a designated heritage asset'. It also complies with Paragraph 134 for the reasons given in detail earlier – the scheme cannot be considered to harm the 17 John Street, other listed buildings or the conservation area, but rather alters 17 John Street in a fashion that has a positive overall effect on heritage significance. Any 'less than substantial harm to the significance of a designated heritage asset' (Paragraph 134) - if any - that might be ascribed to the scheme is outweighed by the benefits outlined above.

Appendix I -
Outline Structural Sketch Scheme

