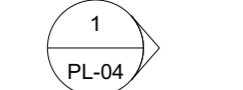
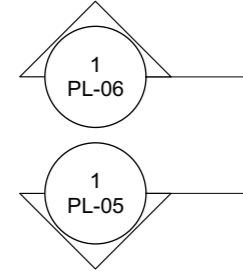
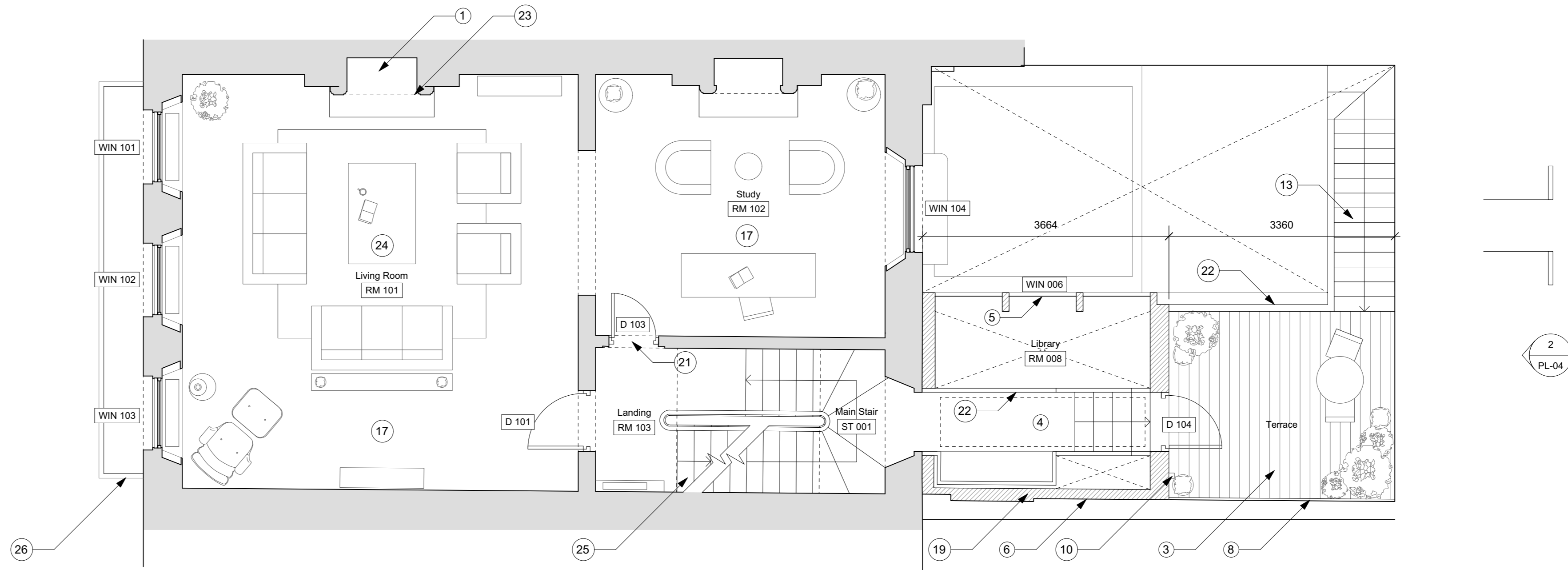


Notes

1. Chimney to be swept and lined, new working gas fire to be installed
2. Double glazed roof light to extension
3. First floor garden terrace with timber decking floor finish
4. Folded PPC metal 'bridge' with timber lining
5. Full height double glazed fixed windows
6. Garden wall lined now within new extension to be insulated and lined
7. Green roof
8. Hardwood boundary fence.
9. New engineered timber floor finish laid on top of existing floor boards
10. New external light by entrance
11. New fitted wardrobes
12. New internal partition: timber stud partition lined in plywood and plasterboard, with 2-3mm skim coat. Paint finish. New skirting to match existing.
13. New metal staircase and balustrade
14. New painted plaster ceiling to lobby and ensuite bathroom at original ceiling height (to replace existing non-original dropped ceiling)
15. New sanitary ware and fitted joinery to bathroom
16. New tiled floor finish
17. New timber parquet floor to living room and study to be laid on top of existing floor boards
18. New timber sliding doors (fitted against partition wall where existing)
19. New timber structure two storey rear extension
20. Original opening between landing and study re-opened, through removal of non-original fitted joinery in doorway. Existing original door renovated and decorated
21. Original opening between landing and study re-opened, through removal of non-original fitted joinery in doorway. New painted timber door to match existing original doors in house.
22. PPC metal balustrade
23. Repair crack to marble fireplace in living room
24. Replace missing plaster ceiling rose with suitably sized and period-appropriate plaster ceiling rose
25. Staircase including steps and balustrade to be redecorated. New carpet runner to staircase
26. Carefully repair and redecorate weathered front external balcony at first floor level (see image a) in dark grey suitable exterior finish to match existing.
27. New timber sliding doors

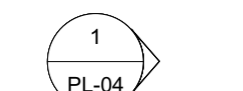
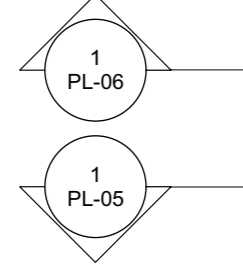


1 First Floor Plan As Proposed
Scale 1:50 @ A1 / 1:100 @ A3

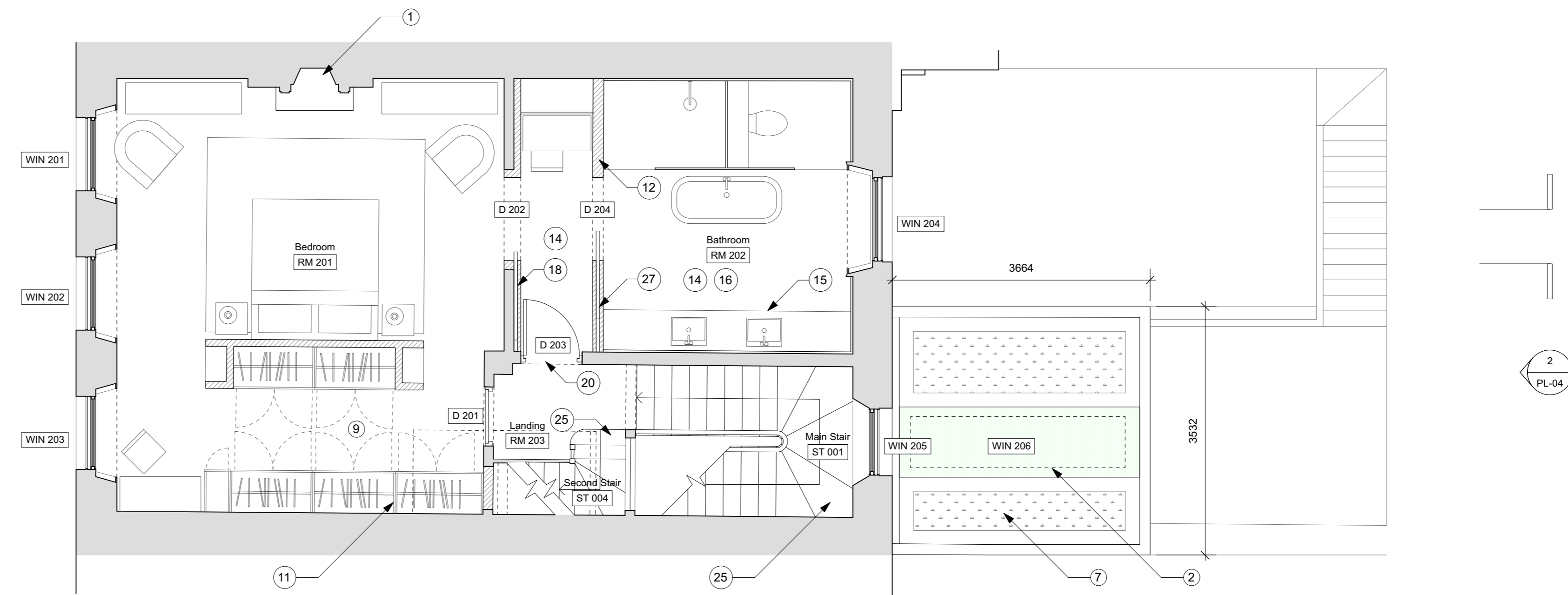


General Notes

- A. New openings to be created in line with Structural Engineer's design and specification
- B. Allow for new connections to below ground drainage
- C. Heating and cooling
Existing poor quality visible external condenser units associated with redundant air conditioning units to be carefully removed from rear elevation.
Air conditioning to be installed to all bedrooms, with external condenser units positioned discretely in valley of roof, not visible from street level or front the rear of the property
Air conditioning to be installed to LGF gym, with external condenser unit positioned discretely within external joinery item beneath external stair.
Existing radiators and heating systems to be retained. Master bedroom and bathrooms to be supplied with new wet underfloor heating system installed between existing floor joists. New rooms to basement to be fitted with new flat panel radiators connected to existing hot water heating system.
- D. Fire Alarm
Existing commercial Chubb fire alarm system including 'break glass' panels to be carefully removed and replaced with discrete domestic fire and smoke alarm system.



2 Second Floor Plan As Proposed
Scale 1:50 @ A1 / 1:100 @ A3



Notes
Use figured dimensions only. Do not scale from this drawing. Issued for purpose indicated only. All dimensions to be checked on site. Architect to be notified of any discrepancies before construction commences. Structural and services information is indicative only - refer to consultants' drawings and specification for details and setting out. All work and materials to be in accordance with current applicable statutory legislation and to comply with all relevant codes of practice and British and European standards. Information contained within this drawing is the sole copyright of IF_DO (IF Design Office Ltd) and not to be reproduced without expressed wishes.

Revisions

-	Issued for ---	---/---/---
A	Issued for planning	04/05/17

Consultants

Key Plan

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Project
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Client
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Drawing Title
Proposed First + Second Floor Plans

Scale 1:50 @ A1 / H100 @ A3		Drawn WG	
Date February 2017		Check SC	
Issued for	Proj. No.	Dwg. No.	Rev
Planning	1601	PL-02	A