



**Arboricultural
Method Statement
in connection with redevelopment
at The Garden House,
Vale of Health
NW3 1AN**

Prepared by
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LPA Planning Reference: 2016/2600/P

Report Reference: D1430AMS

Report Date: 24th April 2017

Arboricultural Method Statement

This Arboricultural Method Statement (AMS) has been prepared as a means of compiling all the current information on tree issues into one document that will be available throughout the development process. This AMS directly refers to the relevant Planning Conditions, providing the local authority with an effective legal reference if problems arise during the implementation phase of the development. It will be supplemented by additional details as they become available.

Summary

This document is an Arboricultural Method Statement relating to the tree issues for the proposals at The Garden House, Vale of Health, London NW3 1AN .

The following table summarises the operations covered in this document and the scheduling that must be applied:-

Scheduling	Operation	Reference location
Before any construction equipment arrives on site	Tree works including tree removals	See Section 3.4
	Installation of protective fencing	See paragraph 3.2.1, Appendix 1 and plan AC2
During construction	Retention of protective fencing	See paragraphs 3.2.1 and 3.3.1
After all construction activity completed	Removal of protective fencing	See paragraph 3.2.1

IMPORTANT REMINDERS

- **Damage to the roots of protected trees is an offence and could lead to enforcement action**
- **There should be no disturbance at all within root protective zones**
- **Arboricultural supervision is essential**

1 INTRODUCTION

1.1 **Purpose of this Arboricultural Method Statement:** This is a reference document prepared to address the conditions applied by the planning permission dated 10th October 2016 (London Borough of Camden ref: 2016/2600/P) and to draw together the information relevant to managing the tree issues on the site. It sets out details where they are available, and establishes principles where details are to follow.

1.2 Details of Consent and description of development:

Location of Development	The Garden House, Vale of Health, London NW3 1AN
LA Reference	2016/2600/P
Description of Development	Various alterations and extensions to existing dwelling house (Class C3), including erection of a front roof dormer with 2 windows and a rear roof dormer extension; replacement and installation of new windows to all elevations, relocation of chimney to flank wall, re-cladding with slate on all elevations and roof; removal of part of eastern embankment and raised terrace to provide ground floor verandah with terrace above at first floor level; installation of timber cladding on outhouse.

1.3 Development contacts:

Architect/Agent	James Gorst Architects Ltd 16a Crane Grove London N7 8NN Contact: Steve Wilkinson Telephone: 020 7336 7140 E-mail: steve@jamesgorstarchitects.com
Arboricultural consultant	Alderwood Consulting Limited 1 Peartree Road SOUTHAMPTON SO19 7GU Contact: Jonathan Fulcher Telephone: 02380 444612 E-mail: jonathan@alder-wood.co.uk

1.4 Local authority contacts:

Local Authority	Regeneration and Planning Development Management London Borough of Camden Town Hall Judd Street London WC1H 9JE Planning Case Officer: Charles Thuaire Telephone: 020 7974 4444 E-mail: planning@camden.gov.uk
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1.5 Planning conditions relating to trees:

1.5.1 **Conditions 5, 6 and 7:** There is one condition relating specifically to trees. This is Condition 7 and it relates to the protection measures for retained trees. Conditions 5 and 6 of the planning consent relate to trees insofar as they refer to the submission of a landscape scheme and compliance with the approved landscape details; and the scheme assumes trees to be planted. The three conditions are given verbatim below for the avoidance of doubt:

Condition 5	No development shall take place until full details of hard and soft landscaping (including hard surfaced areas) of all un-built, open areas have been submitted to and approved by the local planning authority in writing. Such details shall include details of any proposed earthworks including grading, mounding and other changes in ground levels. The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved. Reason: To ensure that the development achieves a high quality of landscaping which contributes to the visual amenity and character of the area in accordance with the requirements of policies CS14 and CS15 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 of the London Borough of Camden Local Development Framework Development Policies.
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Condition 6	<p>All hard and soft landscaping works shall be carried out in accordance with the approved landscape details by not later than the end of the planting season following completion of the development or any phase of the development, whichever is the sooner. Any trees or areas of planting which, within a period of 5 years from the completion of the development, die, are removed or become seriously damaged or diseased, shall be replaced as soon as is reasonably possible and, in any case, by not later than the end of the following planting season, with others of similar size and species, unless the local planning authority gives written consent to any variation.</p> <p>Reason: To ensure that the landscaping is carried out within a reasonable period and to maintain a high quality of visual amenity in the scheme in accordance with the requirements of policies CS14 and CS15 of the London Borough of Camden Local Development Framework Core Strategy and policy DP24 of the London Borough of Camden Local Development Framework Development Policies.</p>
Condition 7	<p>Prior to the commencement of any works on site, details demonstrating how trees to be retained shall be protected during construction work shall be submitted to and approved by the Council in writing. Such details shall follow guidelines and standards set out in BS5837:2012 "Trees in Relation to Construction". All trees on the site, or parts of trees growing from adjoining sites, unless shown on the permitted drawings as being removed, shall be retained and protected from damage in accordance with the approved protection details.</p> <p>Reason: To ensure that the development will not have an adverse effect on existing trees and in order to maintain the character and amenity of the area in accordance with the requirements of policy CS15 of the London Borough of Camden Local Development Framework Core Strategy.</p>

2 CONDITIONS 5 and 6

- 2.1 **Condition 5:** The reference to this condition is included to demonstrate that the Council has recognised that landscaping in connection with the redevelopment is a strategic opportunity to improve the mix and condition of planting in the garden of The Garden House. Landscaping details will be submitted

separately. They will include details of proposed tree planting to include alders and red maples which will more than compensate for tree losses. The landscape scheme will show that there is scope for planting that will be of substantial amenity benefit in the longer term, and better than the trees indicated for replacement.

- 2.2 **Condition 6:** This condition follows on from the condition 5 and is the performance element of the approved scheme. It would be in the interests of the applicant in any event to ensure that the right plants were planted in the right ways to provide the landscape enhancement that will be of value to the applicant and to the local amenity in general.

3 **CONDITION 7**

3.1 **Preliminary matters**

- 3.1.1 **Trees and shrubs:** There are few trees of particular individual amenity merit on this site (and see 3.4 below). Much of the foliated character of the site comes from shrubs and small trees. The Conservation Area provides formal protection for trees with trunk diameter over 7.5cm at breast height. It does not provide formal protection for shrubs. Protection measures will comply with BS5837:2012, but will be proportionate, and will not be intentionally extended to include shrubs, e.g. the berberis T12 may not reasonably be protectable; although some shrubs will be enclosed by the fencing as proposed.

- 3.1.2 **Tree schedule:** A schedule of trees and shrubs on this site is attached at Appendix 3. The inclusion of shrubs is simply for clarity in identifying the sites vegetation. Shrubs typically do not come within the scope of the BS5837 assessments, would not normally be a constraint on development and are not usually significant considerations in a Conservation Area.

- 3.1.3 **Site access:** The constraints on site access limit the use of plant to a small and very narrow tracked excavator. The majority of materials movement will be by hand. There is space within the site outside tree protection measures for the temporary storage of materials. Again, protection measures will be proportionate, taking into account that the majority of access will be pedestrian, as at present.

3.2 **Condition 7 – Temporary tree protection**

- 3.2.1 **Specification for tree protective fencing:** The principle method for the protection of retained trees is temporary tree protective fencing. The location of the fencing is shown on the annotated site layout plan AC2 by a dashed red line. The fencing will be erected prior to any development activity including

demolition and retained in the positions shown until the completion of development. The fencing will be to the standard recommended in BS 5837:2012 i.e. a braced framework with plywood facings or preformed galvanised steel mesh panels ('Heras' or similar) of at least 2m in height securely attached to the braced framework. Details are attached to this AMS at Appendix 1. The position of the fencing shall be altered only with agreement from London Borough of Camden.

3.3 **Condition 7 - Temporary ground protection**

3.3.1 **Ground protection:** The existing pedestrian access from the street provides ground protection while it is retained. In addition, the temporary protective fencing as proposed will provide sufficient and reasonable protection for retained trees and no additional ground protection is required.

3.4 **Tree removals**

3.4.1 **Sycamore T1:** This tree has damage, cavities and decay in several places in its main stem (see photos 1 and 2 at Appendix 2). The crown has been lifted so that it is carried comparatively high on a bare trunk. This form tends to increase the wind force and leverage potentially affecting the weak points in the stem. The pruning history leaves little scope for managing this by crown reduction pruning which would in any event significantly reduce the small amenity value that this tree has at present. In strategic terms, it would be better to remove this tree now before it becomes a significant liability and replace it with a better tree sited to give a longer-term amenity benefit.

3.4.2 **Crab apple - T7:** This is a small ornamental species, of small amenity significance and readily replaced in the landscape scheme.

3.4.3 **Ash - T13:** These are self-seeded saplings not well sited for future growth. It would be prudent and reasonable for them to be removed now before they begin to cause problems for adjacent structures.

3.4.4 **Mulberry T15:** This tree has been pruned by heavy crown reduction overall (see photo 3 at Appendix 2). This adversely affects the form and long-term prospects of the tree, with decay likely to establish at the pruning points, with consequent cavities, and the poor attachment of regrowth from those pruning points. This tree has small amenity value and, as for the sycamore, it would be better strategically to remove it and replace it towards the southern end of the garden with a better tree sited to give a longer-term amenity benefit.

3.4.5 **Rowan T16:** This is a small ornamental tree of no significant amenity consequence and poorly sited for growth (see photo 3 at Appendix 2). Again, it would be better strategically to remove it and replace it towards the southern end of the garden with a better tree sited to give a longer-term amenity benefit.

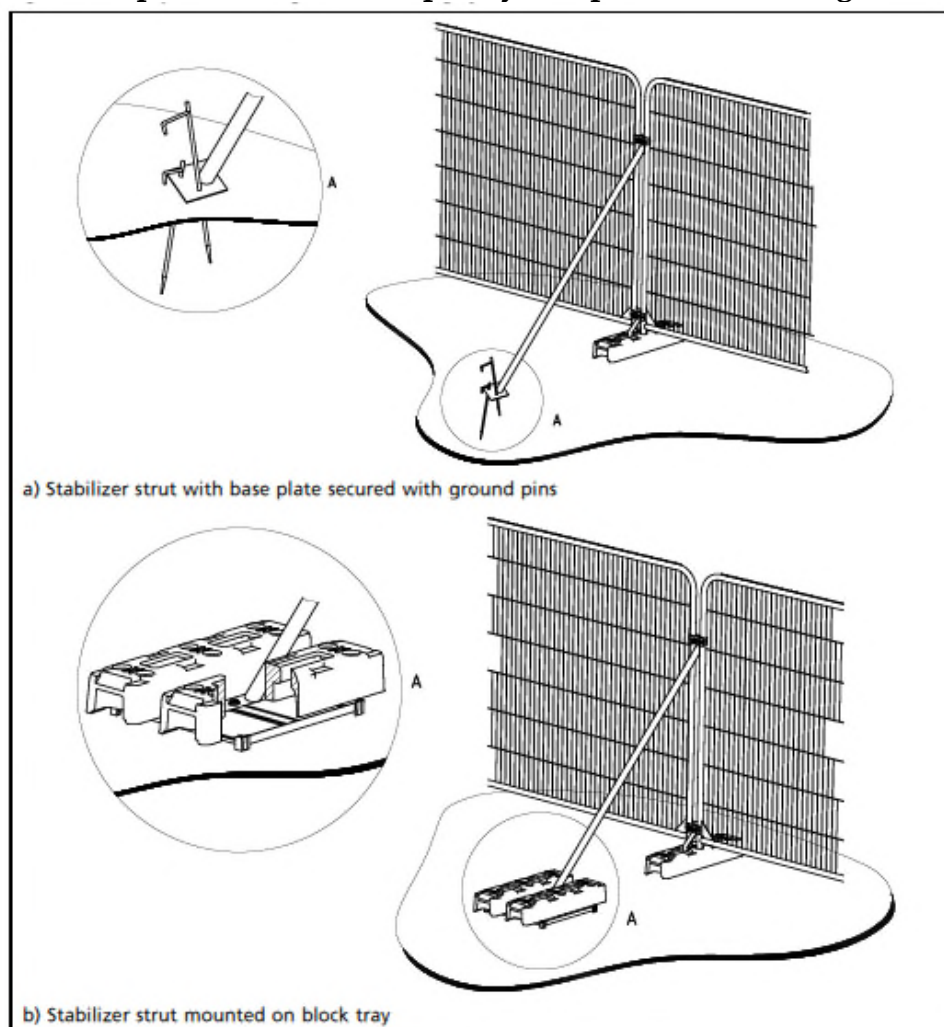
3.5 Details of general arboricultural matters

3.5.1 **Storage of materials, concrete mixing, use of fires:** The temporary fencing defines the areas available for site access and the storage of non-toxic materials. In addition, the following precautions will be taken:

- There will be no fires on the site without the express permission in writing of the Local Planning Authority
- There will be no storage or mixing of harmful materials e.g. DERV fuel, concrete within 10m of the trunk of any retained tree
- If concrete is to be mixed within 10m of any retained tree, it shall be in a watertight bund, with any outfall outside the 10m exclusion zone.

Appendix 1

A specification for temporary tree protective fencing



Purpose: Fencing will be installed to protect trees during the development process. Fencing should:

- Exclude construction activity
- Be appropriate to the degree and proximity of work taking place around the retained tree(s)
- Be installed in a fashion that makes it difficult to move easily
- Be maintained to ensure that they remain rigid and complete
- Be installed in the positions agreed with the Local Planning Authority and shown on the fencing plan

Specification: Fencing should satisfy the above criteria. A typical construction is indicated in BS 5837:2012 and illustrated above. The fencing on this site will be to the standard recommended in BS 5837:2012 i.e. a scaffold framework comprising a vertical and horizontal framework, well braced to resist impacts.

Location: The location of the fencing is shown on the annotated site layout plan. The fencing will be erected prior to any demolition or development activity and retained in the positions shown until the completion of development or as required for landscaping and path installation. The position of the fencing shall be altered only with agreement from the Local Planning Authority.

Appendix 2
The Garden House, Vale of Health, London
Photographs



Photo 1: Sycamore T1 from garden of The Garden House looking north west

Appendix 2
The Garden House, Vale of Health, London
Photographs

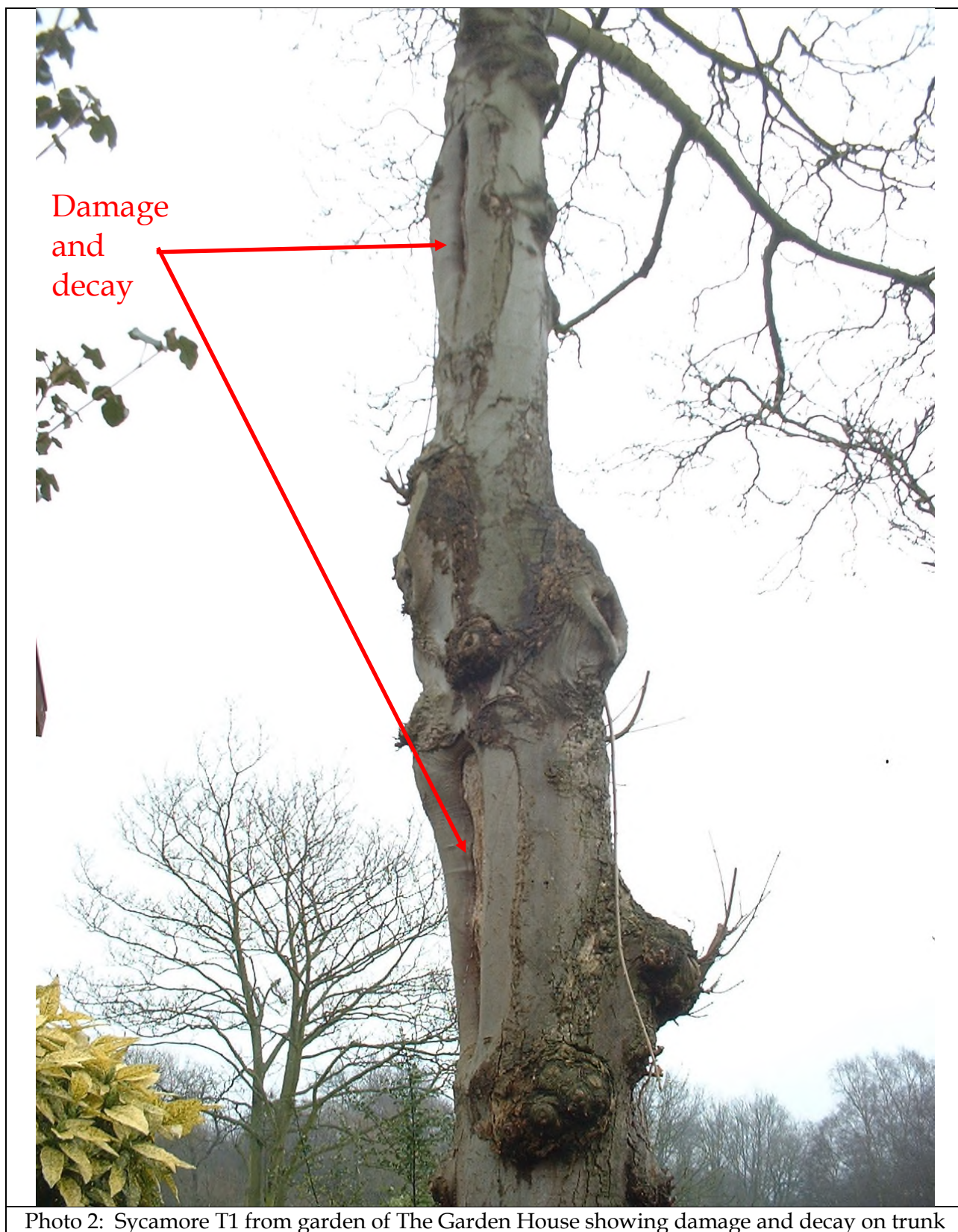


Photo 2: Sycamore T1 from garden of The Garden House showing damage and decay on trunk

Appendix 2
The Garden House, Vale of Health, London
Photographs

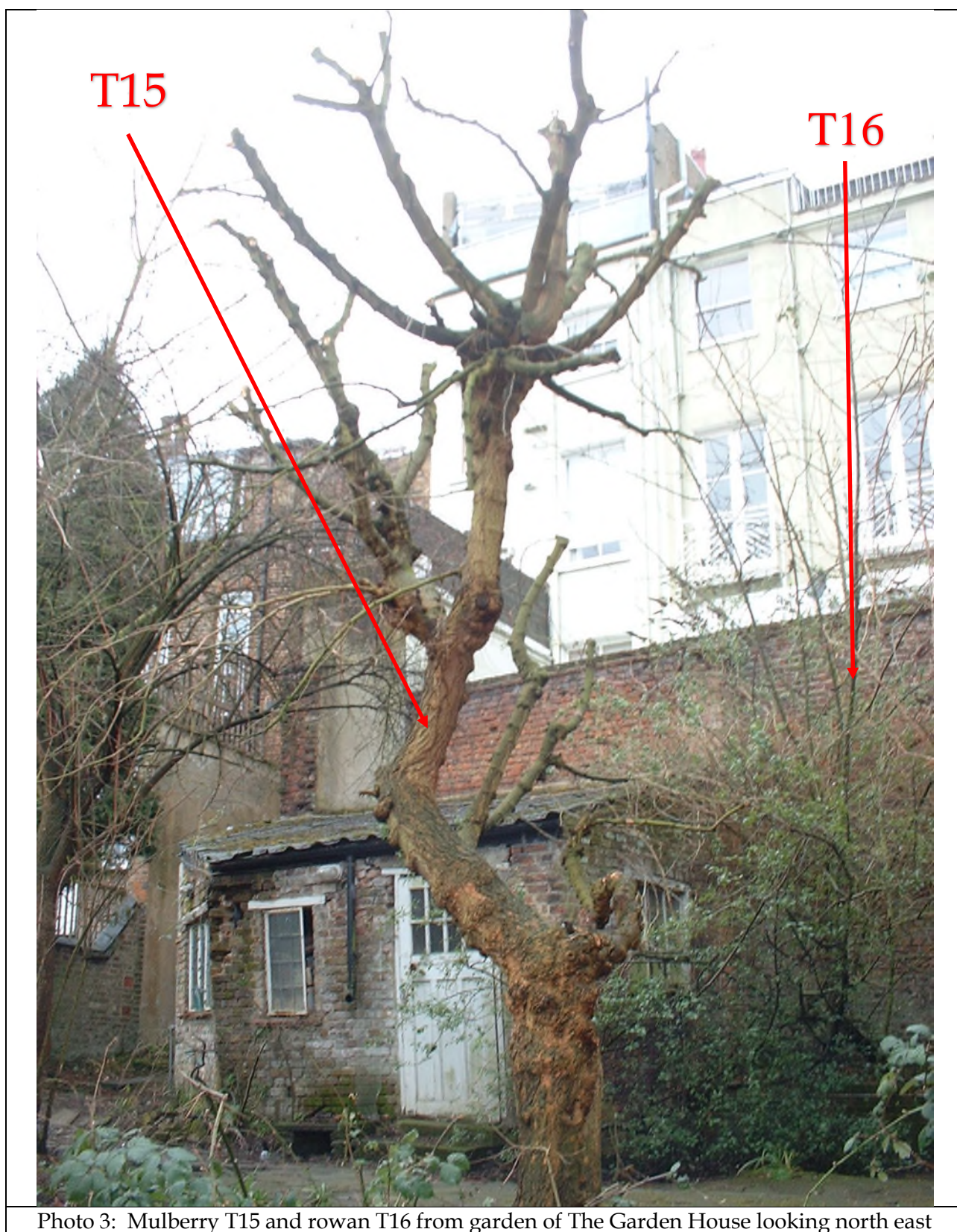


Photo 3: Mulberry T15 and rowan T16 from garden of The Garden House looking north east

Appendix 3
The Garden House, Vale of Health, London
Tree Schedule and Explanatory Notes

Tree No	Species	Height (m)	Trunk Diameter (cm)	Life stage	General observations	Estimated contribution in years	B.S. 5837 Cat	Root protection distance (m)
T1	Sycamore	11	57	Maturing	Damage and cavities on trunk, poor crown form	<10	U	- (6.0)
T2	Magnolia	6	20?	Maturing	Shrub	n/a	n/a	n/a
T3	Ash	7	M<20	Young	Self-seeded saplings	10+	C	2.4
T4	Weeping willow	9	75?	Mature	Recumbent in pond	C	C	9.0
T5	Yew	9	69	Maturing	Thin in crown - waterlogged?	10+	C	8.4
T6	Laurel	-	-	-	Dead	n/a	n/a	n/a
T7	Crab apple	8	25	Maturing	Poor form	10+	C	-
T8	Laurel	7	19+19	Maturing	Shrub	n/a	n/a	n/a
T9	Cypress	9	37	Young		20+	B	4.5
T10	Elder	5	M	Maturing	Shrub	n/a	n/a	n/a
T11	Berberis	5	M	Maturing	Shrub	n/a	n/a	n/a
T12	Berberis	6	M	Maturing	Shrub	n/a	n/a	n/a
T13	Ash	10	16+18	Young	Self-seeded saplings inappropriately sited	10+	C	n/a
T14	Cypress	9	24	Young	Inappropriately sited for future growth	10+	C	n/a
T15	Mulberry	6	34	Maturing	Decay in lower limbs, poor crown form	<10	U	n/a
T16	Rowan	6	20	Young	Semi-recumbent	<10	U	n/a

Appendix 3
The Garden House, Vale of Health, London
Tree Schedule and Explanatory Notes

Explanatory Notes

Abbreviations:

m	: Metre
nm	: Not measured
>	: Greater than
<	: Less than

Botanical tree names:

Ash	: <i>Fraxinus excelsior</i>
Berberis	: <i>Berberis</i> sp
Crab apple	: <i>Malus</i> sp
Cypress	: <i>Cupressus</i> sp
Elder	: <i>Sambucus nigra</i>
Laurel	: <i>Prunus laurocerasus</i>
Magnolia	: <i>Magnolia</i> sp
Mulberry	: <i>Morus nigra</i>
Rowan	: <i>Sorbus aucuparia</i>
Sycamore	: <i>Acer pseudoplatanus</i>
Weeping willow	: <i>Salix x sepulcralis</i> 'Chrysocoma'
Yew	: <i>Taxus baccata</i>

- **Proposed removals:** Trees and shrubs entered in **red** are proposed for removal, usually on the basis of poor condition, poor location and/or poor prospects for growth.
- **Species:** Species identification is based on visual observations.
- **Height:** Height is estimated to the nearest metre.
- **Trunk diameter:** Trunk diameter for accessible trees has been measured with a diameter tape and recorded in centimetres.
- **Life stage:** The life stage categories correspond to the classes given in BS 5837:2012, which are Young (Y), Semi-mature (SM), Early Mature (EM), Mature (M) and Over-mature (OM). There are no over mature or veteran trees included in the schedule.
- **General observations:** These comment on the health and physiological and structural condition of the tree, with management recommendations where appropriate.
- **Estimated contribution in years:** <10, 10+, 20+, 40+, as advised in BS 5837:2012.
- **BS 5837 category:** As advised in BS 5837:2012. This grading is based on the estimated remaining contribution in years i.e. A - more than 40; B - 20-40; C - 10-20; U - less than 10.
- **Root protection area:** The area of root protection should be equivalent to the area of a circle centred on the tree with a radius of least 12 times the trunk diameter. This column gives the radius of such a circle; the distance may not be the same as the distance for protective fencing.

Alderwood Consulting Limited

Plan AC2

Tree Protection Plan for Arboricultural Method Statement

Proposed redevelopments at The Garden House, Vale of Health, NW3 1AN

Report Ref: D1653AMS

Location of trees with tree schedule numbering indicating location of BS 5837:2012 section 6.2 tree protective fencing

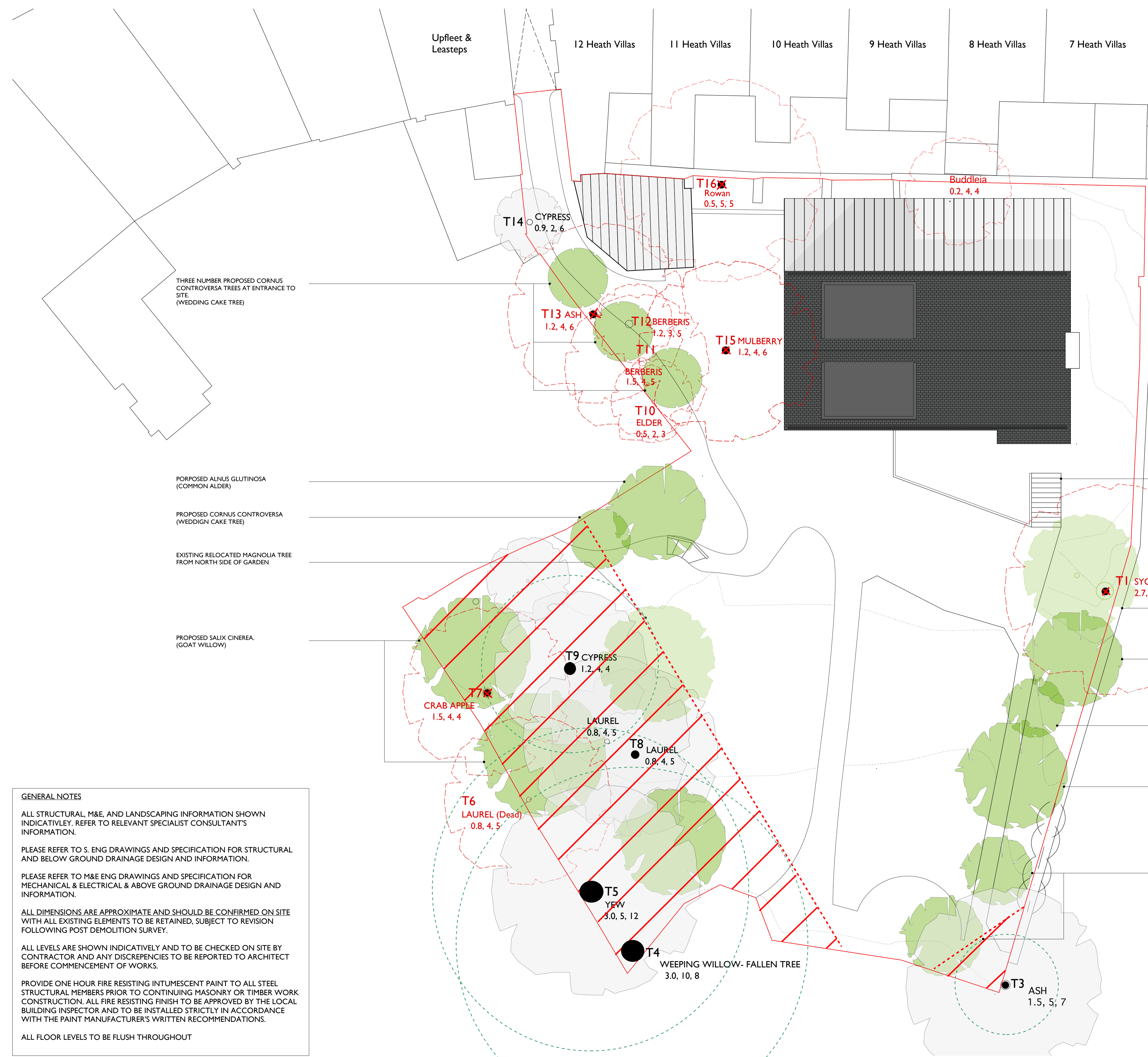
Key

- T1 Lime ● Location of trees
- T1 ✕ Location of trees proposed for removal
- Location of temporary fencing and protected areas

The original of this drawing was produced in colour. A monochrome copy should not be relied upon.

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REVISIONS:
 - 17.10.04 ISSUED FOR INFORMATION
 PI 17.10.04 LEGEND UPDATED



THREE NUMBER PROPOSED CORNUS CONTROVERSA TREES AT ENTRANCE TO SITE. (WEDDING CAKE TREE)

PROPOSED ALNUS GLUTINOSA (COMMON ALDER)
 PROPOSED CORNUS CONTROVERSA (WEDDIGN CAKE TREE)
 EXISTING RELOCATED MAGNOLIA TREE FROM NORTH SIDE OF GARDEN
 PROPOSED SALIX CINEREA (GOAT WILLOW)

PROPOSED RETAINING WALL. SEE STRUCTURAL ENGINEER'S DRAWINGS FOR FURTHER INFORMATION.
 MAGNOLIA TREE TO BE RELOCATED
 REPLACEMENT TREE- ALNUS GLUTINOSA (COMMON ALDER)
 REPLACEMENT TREE- SALIX CAPREA (WILLOW)
 REPLACEMENT TREE- ACER RUBRUM (RED MAPLE)
 REPLACEMENT SHRUBS- SALIX CINEREA (COMMON SALLOW)

GENERAL NOTES

ALL STRUCTURAL, M&E, AND LANDSCAPING INFORMATION SHOWN INDICATIVELY. REFER TO RELEVANT SPECIALIST CONSULTANT'S INFORMATION.

PLEASE REFER TO S. ENG DRAWINGS AND SPECIFICATION FOR STRUCTURAL AND BELOW GROUND DRAINAGE DESIGN AND INFORMATION.

PLEASE REFER TO M&E ENG DRAWINGS AND SPECIFICATION FOR MECHANICAL & ELECTRICAL & ABOVE GROUND DRAINAGE DESIGN AND INFORMATION.

ALL DIMENSIONS ARE APPROXIMATE AND SHOULD BE CONFIRMED ON SITE WITH ALL EXISTING ELEMENTS TO BE RETAINED, SUBJECT TO REVISION FOLLOWING POST DEMOLITION SURVEY.

ALL LEVELS ARE SHOWN INDICATIVELY AND TO BE CHECKED ON SITE BY CONTRACTOR AND ANY DISCREPANCIES TO BE REPORTED TO ARCHITECT BEFORE COMMENCEMENT OF WORKS.

PROVIDE ONE HOUR FIRE RESISTING INTUMESCENT PAINT TO ALL STEEL STRUCTURAL MEMBERS PRIOR TO CONTINUING MASONRY OR TIMBER WORK CONSTRUCTION. ALL FIRE RESISTING FINISH TO BE APPROVED BY THE LOCAL BUILDING INSPECTOR AND TO BE INSTALLED STRICTLY IN ACCORDANCE WITH THE PAINT MANUFACTURER'S WRITTEN RECOMMENDATIONS.

ALL FLOOR LEVELS TO BE FLUSH THROUGHOUT

NOTES:

- INDICATES EXTENT OF EXISTING PROPERTY
- DENOTES SITE BOUNDARY
- PROPOSED NEW TREES
- EXISTING MAGNOLIA TREE TO BE RELOCATED
- EXISTING TREES RETAINED
- EXISTING TREES REMOVED

PROJECT:
THE GARDEN HOUSE

DRAWING TITLE:
PROPOSED TREE PLAN

STATUS:
INFORMATION

NOTE:
 Do not scale from the drawing. Any discrepancies to be reported to the architect. All dimensions will be taken on site prior to ordering and construction. Copyright remains with the architect. This drawing is to be read in conjunction with the specification and all other relevant drawings.

JAMES GORST ARCHITECTS L t d

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