

**Proposed Brick Facing of the Party Wall Between 47 and 49 Fitzjohn's
Avenue London NW3 6PH
(following the demolition of the single storey ground floor link between
the two properties.)**

Design and Access Statement

Introduction:

Location:

49 Fitzjohn's Avenue being situated within the Fitzjohn's Netherhall Conservation Area, is located on a sloping site where the adjoining properties are considerably larger and tend to dominate the street scene. 47 Fitzjohn's Avenue is a Grade 2 Listed building housing St Marys School, Hampstead.

The Building:

49 Fitzjohn's Avenue was originally designed as a single red brick detached house consisting of a lower ground floor, a ground floor, two upper floors and roof space. The house is constructed of solid brick walls with timber floors with a main pitched tiled roof with various flat roof areas built to provide the required headroom within the roof space for various accommodations. At one time during its life, it formed part of St Marys School Hampstead, 47 Fitzjohn's Avenue when it was connected to the school at both basement and ground floor levels by a single storey flat roof ground floor extension. Later, 49 Fitzjohn's broke away from the school and was used as a convent (The Congregation of Jesus) and a wall was constructed along the boundary line to separate the two properties.



Front Elevation of 49 Fitzjohn's Avenue

The Proposal:

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Under Camden Borough Council Planning Approval 2015/5379/P dated 1st August 2016, 49 Fitzjohn's Avenue now has approval for the conversion of this single dwelling house into 6 self-contained apartments. Included within the approval is the demolition of the single storey ground floor link within 49 Fitzjohn's Avenue so that the visual appearance of the front elevation of 49 Fitzjohn's Avenue is returned to its original detached form. In demolishing part of this single storey link the existing Party Wall will be exposed to the elements. Under the Party Wall Agreement with the owners of 47 Fitzjohn's Avenue it has been agreed that the retained Party Wall will be faced with a single skin of brickwork to match the existing using selected bricks taken from the demolition of part of the link and other demolished parts of 49 Fitzjohn's Avenue. A cavity will be left between the existing Party Wall and the new brick skin which will be partly filled with insulation. The new wall will be extended upwards to form a low parapet wall to match in design and height the retained parapet wall at the front of the retained link within 47 Fitzjohn's Avenue. The existing asphalt roof will be cut back as necessary for the construction of this parapet wall and then redressed up the new party parapet wall.

All the proposed works to the Party Wall will be carried out from 47 Fitzjohn's Avenue. However, as the School within 47 Fitzjohn's Avenue is a Listed Building, we formally apply for Listed Building Consent for the facing of the existing Party Wall in brickwork as previously described.

The photographs that follow show the size and configuration of the link between 47 and 49 Fitzjohn's Avenue



Photograph of the single storey link to be removed from 49 Fitzjohn's Avenue.



Photograph of the single storey link to be retained from 47 Fitzjohn's Avenue.



Photograph showing both 47 and 49 Fitzjohn's Avenue and the link between both buildings.



Photograph of the flat roof of the link between both building that will be split along the line of the Party Wall