

3.2 STATEMENT OF SIGNIFICANCE

External features	Significance and heritage value
Front facade	<ul style="list-style-type: none"> - Significant examples of re-fronted Georgian townhouses within the Bloomsbury Conservation Area, Camden. - In good condition with original brickwork therefore of high historic value
Rear facade	<ul style="list-style-type: none"> - Along with the neighbouring properties, the rear elevations lack a uniformity and are characteristic of a run of buildings which have been altered many times without coherent planning. - No's 45 and 46 are poorly rendered and maintained. - Unsympathetic windows and an abundance of services (many redundant) detract significantly from the character of the properties. - The area has low historic value and would benefit from renovation and repairs.
No. 45 roof	<ul style="list-style-type: none"> - The roof has been independently evaluated and assessed as being a predominantly recent structure and lacking the coherence of a historic roof. - Roof coverings are recent and the dormers and windows are unsympathetic to the facades below and feature inappropriate materials which detract from the character of the property. - The existing roof is therefore deemed of low historic value.
No. 46 roof	<ul style="list-style-type: none"> - The flat roof to the rear is in a poor state of repair and is covered with an array of mechanical and electrical equipment and other services. This area has low historic value or significance and would benefit from renovation and repairs.
Windows	<ul style="list-style-type: none"> - Many windows are uPVC or insensitive additions which are of low historic significance and detract from the character of the buildings. - Timber sashes are modern (with exception of stair window discussed below). These do not have the original style of glazing bars and in a poor state of repair. - Replacement of these windows would greatly improve the perception of the historic significance of this buildings. - The large rear stair window (no. 46) is original and therefore of significant historic value. The full extent of this window should be revealed internally if possible.

Continued on next page...

Internal features	Significance and heritage value
Layout	<ul style="list-style-type: none"> - The historic layout of these properties has been considerably diminished over time. - A move to separate the two properties and reinstate their significance as individual buildings would be seen as an improvement to their overall historic value.
Walls + ceilings	<ul style="list-style-type: none"> - Historic plans suggest that most of the internal walls have been altered with the exception of a few sections of the central flanking walls. - Where the historic division of a central crosswall is still evident on individual floors (albeit created with a recent partition) this layout can be seen as having some historic value and if this could be retained and reinforced this would be seen as advantageous.
Joinery	<ul style="list-style-type: none"> -No original skirtings or cornices are evident. - Some panelling around windows remains and this is seen as having historic significance and should be retained and repaired where necessary.
Stairs	<ul style="list-style-type: none"> - Both staircases are in a poor state or repair and have been altered significantly over the years, in particular to meet fire regulations for the multiple occupancy dwellings. Furthermore, the stair to 45 has lost its ground floor section, making the whole stair feel displaced and unbalanced. Nevertheless there are a few short runs of balustrade that appear to be of historic value.
Other internal features	<ul style="list-style-type: none"> - The internal fabric of both buildings is generally of low historic significance and would benefit from extensive repair and renovations. - Inappropriate, and low-quality, fittings and finishes should be replaced with more consideration to compliment the historic character of the properties.

3.3 SCHEDULE OF EXTERNAL ALTERATIONS

3.3.1 Roof replacement (no.45)

Proposal

Demolition of the existing valley roof and its replacement with a mansard roof with high-quality welsh slate covering: 50x30cm Penrhyn heather blue, 7mm, by www.welshslate.com or equivalent. The front dormer will be replaced with two smaller lead-lined dormers, each with a conservation-style timber framed window. The rear dormer structure will remain similar to the existing, but again with new timber windows.

Impact

The proposals are in keeping with the guidance in Camden's CPG1 (chapter 5: Roofs, terraces and balconies) which states that roof alterations are likely to be acceptable where "there are a variety of additions or alterations to roofs which create an established pattern and where further development of a similar form would not cause additional harm."

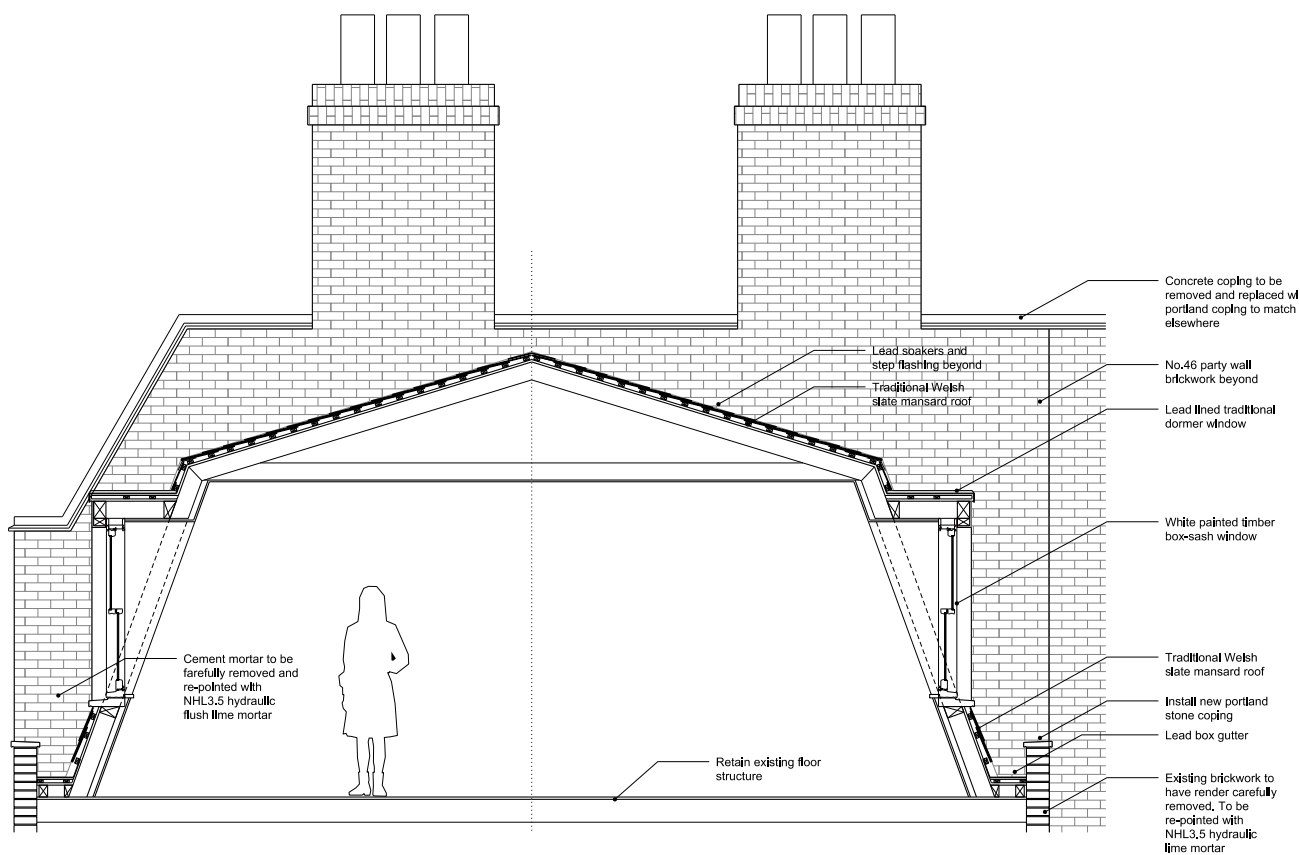
The appearance of the roof from seen from street level will be improved. The current large single dormer is unsympathetic to the facade in general and the two smaller dormer windows will appear more harmonious with the arrangement of the windows on lower levels.

Justification

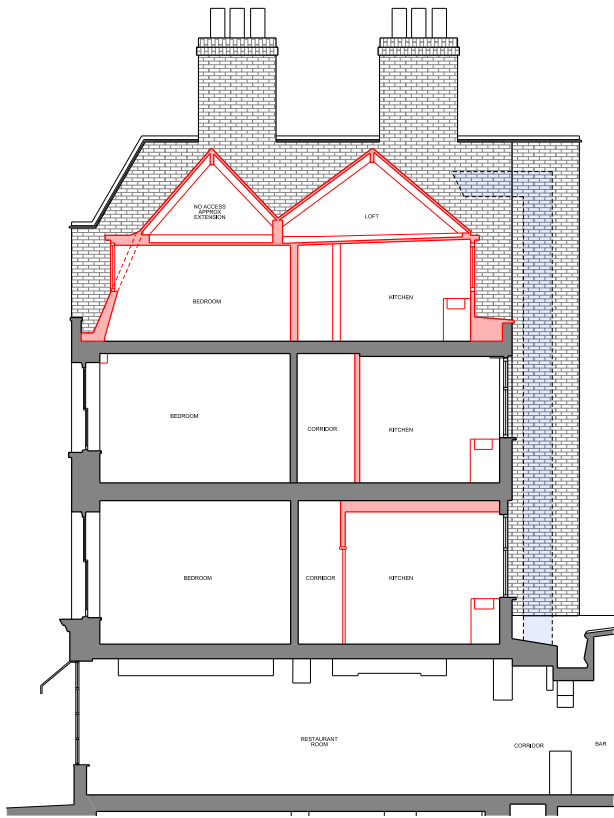
The current roof is of low historic value and these proposals provide the opportunity to improve the overall appearance of the property and the identity of the pair of former dwellings.



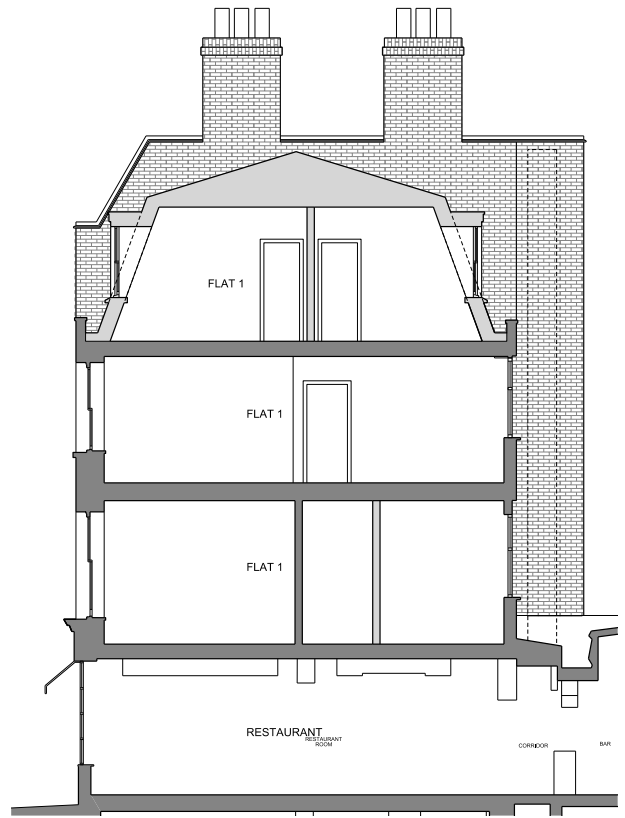
Penrhyn heather blue welsh slate



A traditional mansard roof structure is proposed. The ridge height will be maintained and poor quality roofing materials replaced.



Existing section



Proposed section



Existing elevation



Proposed elevation

3.3.2 Rear third floor extension (no.46)

Proposal

The erection of a third floor rear extension above the existing closet wing to no.46, clad in standing seam dark grey zinc: Anthra-zinc by ZM zinc or equivalent. The volume is set back within the existing parapet wall and the eaves are established below the level of the neighbouring railing (as recommended in the Pre-App Report). The roof slopes back reducing the visual impact of the addition. The structure will be light-weight timber frame which will require no additional support/foundations.

Impact

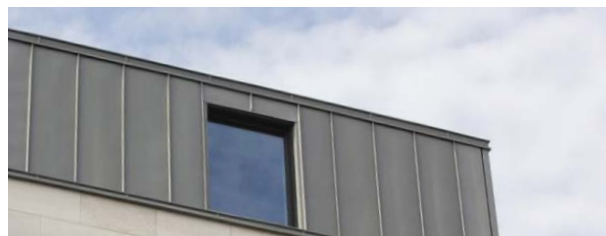
The rear volumes of the terrace of properties comprise a variety of volumes which lack a uniform coherence (see sketch overleaf). The rear of no. 45 and 46 are set back behind the courtyard wall and largely concealed behind two tall mature trees.

The proposed third floor extension has also been designed to appear subordinate to the existing building (as per the guidance in CPG1).

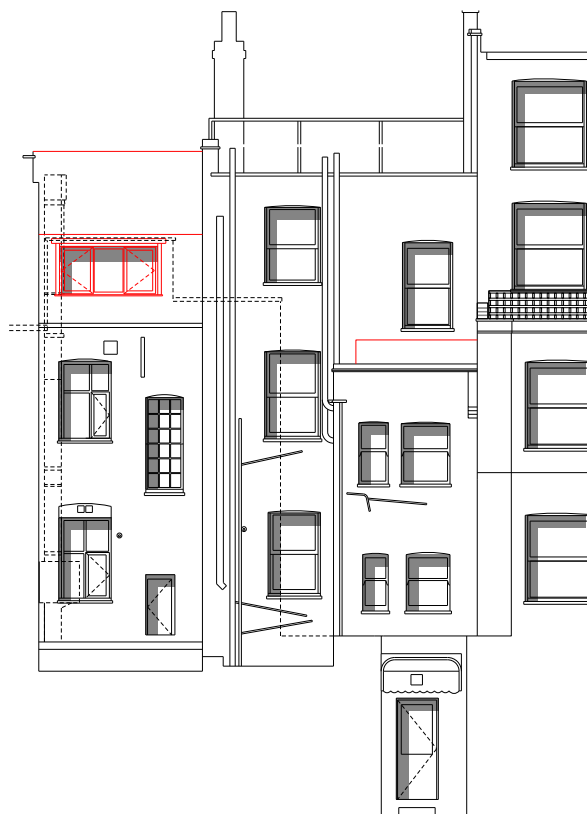
The sloped roof aids in reducing the perceived volume while enabling a usable internal volume to be created. The windows have been designed to be in keeping with the pattern and scale of the other rear windows. As the visualisation on page 36 shows, the volume is inconspicuous from street level.

Justification

The addition of this element is fundamental to the feasibility of the project as it enables the top floor apartment to meet housing design area standards. As the overall refurbishment of the properties will result in significant heritage benefits in terms of the enhancement of the listed buildings, we believe that this modest external addition can be justified as it enables these other works to take place.



Natural zinc cladding

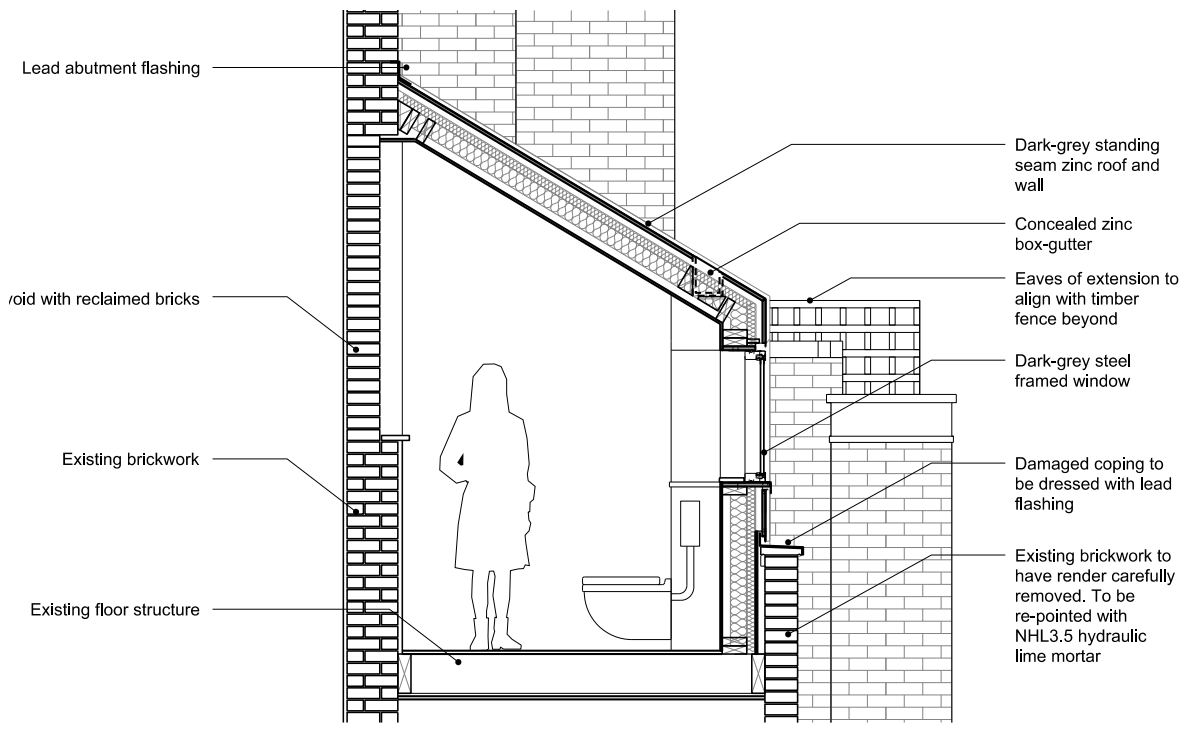


Existing rear elevation

Emil Eve Architects



Proposed rear elevation



Proposed section of new extension showing new structure set back behind existing parapet wall and sloped roof to minimise visual impact



The rear of the properties and their neighbours comprise a variety of volumes and extensions - the new proposal is in keeping with the scale and composition of the existing arrangement



View from Lamb's Conduit Passage - existing



View from Lamb's Conduit Passage - proposed

3.3.3 Replacement windows: no.45

Proposal

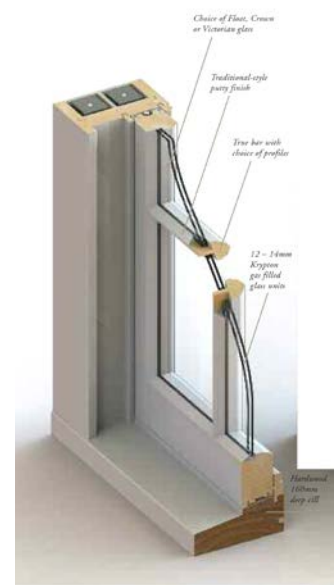
Replacement of all uPVC sash windows with Mumford and Wood Classic range box-sash window with 14mm heritage slimline double glazing with integral 22mm lambs-tongue glazing bars. Glazing bar arrangement to be 6-over-6 pane in keeping with the retained original window on the rear facade. Trickle vents to be avoided. All ironmongery to be made from solid brass and in a Victorian period style. Also refer to window survey in appendix 5.4, window schedule and drawings.

Impact

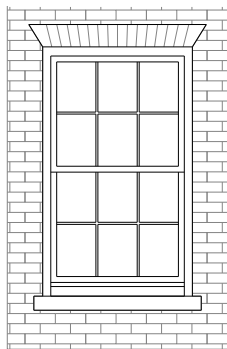
The replacement of insensitive and inappropriate windows will have a positive impact on the character of the property.

Justification

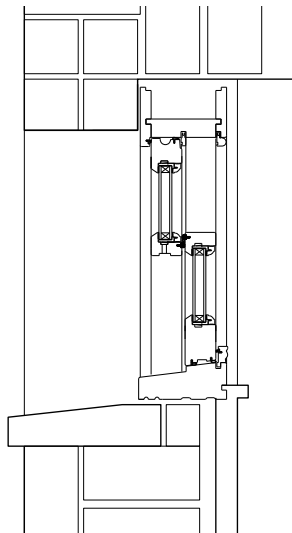
The replacement of these windows will greatly improve the perception of the historic significance and thermal performance of this building.



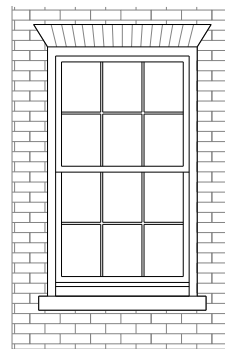
Mumford and Wood Classic range box-sash window



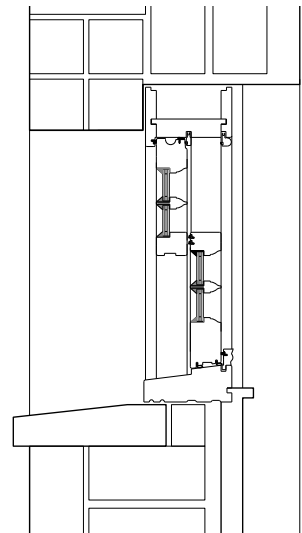
01 Existing elevation
Scale 1:20 at A2, 1:40 at A4



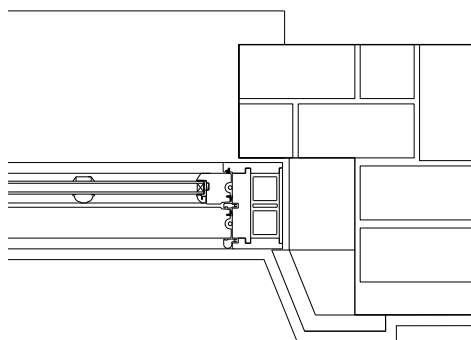
02 Existing section
Scale 1:5 at A2, 1:10 at A4



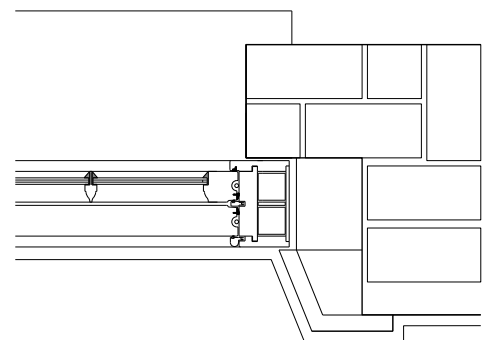
10 Proposed elevation
Scale 1:20 at A2, 1:40 at A4



11 Proposed section
Scale 1:5 at A2, 1:10 at A4



03 Existing plan
Scale 1:5 at A2, 1:10 at A4



12 Proposed plan
Scale 1:5 at A2, 1:10 at A4

3.3.4 Replacement windows: no.46

Proposal

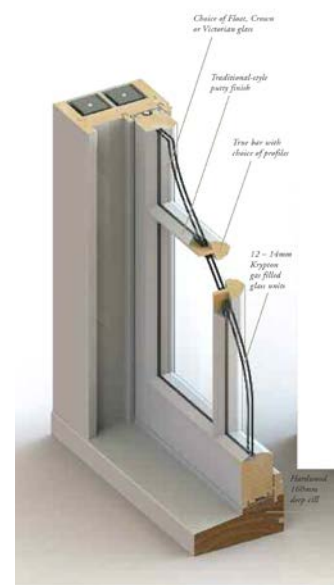
Replacement of modern timber sash windows with Mumford and Wood Classic range box-sash window with 14mm heritage slimline double glazing with integral 22mm lambs-tongue glazing bars. Glazing bar arrangement to be 2-over-2 pane in keeping with the neighbouring historic window pattern. Trickle vents to be avoided. All ironmongery to be made from solid brass and in a Victorian period style. Also refer to window survey in appendix 5.4, window schedule and drawings

Impact

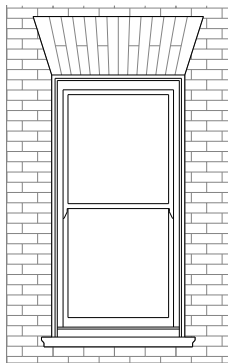
The replacement of insensitive and inappropriate windows will have a positive impact on the character of the property.

Justification

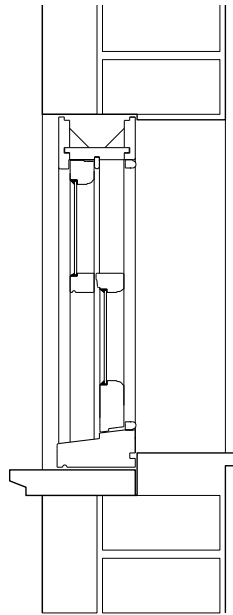
The replacement of these windows will greatly improve the perception of the historic significance and thermal performance of this building.



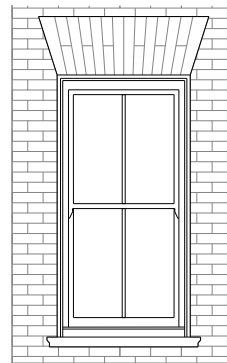
Mumford and Wood Classic range box-sash window



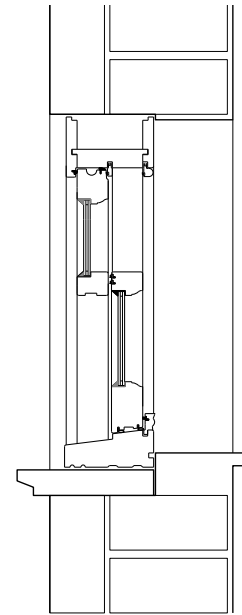
01 Existing elevation
Scale 1:20 at A2, 1:40 at A4



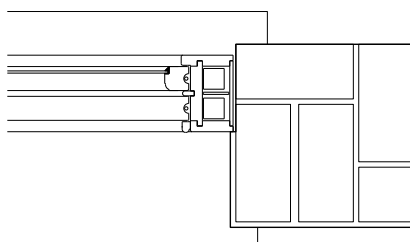
02 Existing section
Scale 1:5 at A2, 1:10 at A4



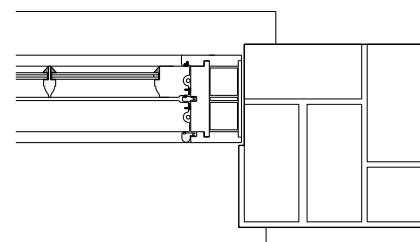
10 Proposed elevation
Scale 1:20 at A2, 1:40 at A4



11 Proposed section
Scale 1:5 at A2, 1:10 at A4



03 Existing plan
Scale 1:5 at A2, 1:10 at A4



12 Proposed plan
Scale 1:5 at A2, 1:10 at A4

3.3.5 External walls: repairs and repointing

Proposal

Front facade brickwork to no. 45 and 46: No works proposed.

Rear facade to no.45 and 46: Carefully remove all cement render. Use of power-tools not permitted. Brickwork to be re-pointed flush to 30mm depth with soft NHL 2.5 hydraulic lime mortar. Flush pointing to be brushed back with a stiff wire brush to expose stone dust in the mortar.

Specification: HLM 2.5 EcoRight 350 Moderately Hydraulic Lime Mortar. Colour: Vintage White.

Redundant services will be removed, and remaining services will generally be replaced with higher quality materials and consolidated routes. The extract duct will be extended to 1m above the eaves and the termination will be angled upwards to avoid damaging the roof slates (refer to section BB)

Impact

The appearance of the rear of the properties will be greatly improved .

Justification

The state of the existing rear facade is detrimental to the character of the properties and the proposed works are seen as highly beneficial to their heritage value.



Poorly repaired and maintained render, untidy services and large extract duct



Trial exposing original brickwork which appears of high-quality and in good condition

3.3.6 Repairs to no. 46 roof

Proposal

Cleaning of tiled front slope (removal of organic growth) and replacement of broken tiles (with plain clay tiles to match existing). Repair and insulate bitumen felt flat roof area.

Cement rendered copings to be replaced with Portland stone copings (once-weathered). Redundant services to be removed and new soil vent and extract terminations to be installed to the central area of roof as per roof plan (not visible from street level).

Impact

The proposed repairs are appropriate to the property and will have a positive overall impact. The repaired bitumen felt roof will minimise the risk of water damage to the property and is therefore beneficial to the dwelling.

Justification

New service terminations will not be visible from street level and will allow many of the inappropriate services on the rear facade to be removed. Cleaning and maintenance of the front roof slope will enhance the appearance and character of the building.



Cracked roof membrane to be replaced and coping repaired



Tiles to be sensitively cleaned and vegetation removed

3.4 SCHEDULE OF INTERNAL ALTERATIONS

3.4.1 Internal reconfigurations

Proposal

Reconfiguration of the first, second and third floors to convert no. 45 into 1 no. 3 bed apartment and no. 46 into 3 no. 1 bed apartments. These works involve:

- blocking up the current opening between the two properties at first floor level with London stock brick in order to reinstate the historic identities of the two properties (in line with Pre-App advice)
- the removal of modern internal partitions and fire lobbies as shown on submitted plans and sections.
- the creation of new internal partitions and the installation of new kitchen and bathrooms and associated service routes (see section 3.4.2 for more details).
- the preservation of a downstand in place of the existing crosswall on the second floor of no. 45 to enable these spaces to be read independently (in line with Pre-App advice).
- the preservation and reinstatement of the lateral partition within each apartment at no. 46 to retain the historic plan form (in line with Pre-App advice).

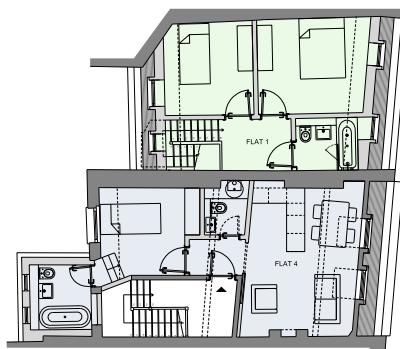
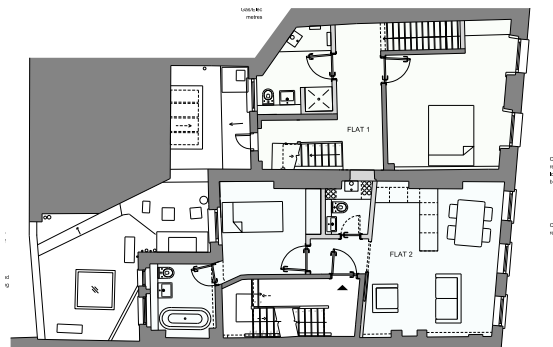
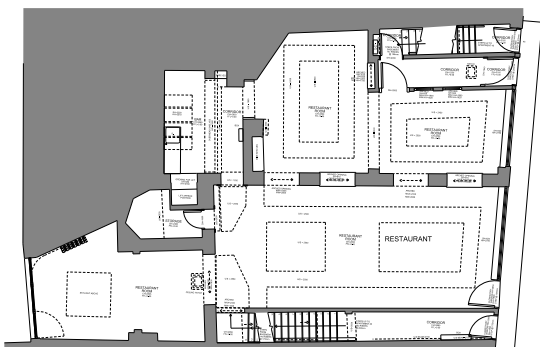
Impact

Reinstating the division between no. 45 and 46 at first floor level reinstates the property's historic status as individual houses.

As most internal partitions are not original (refer to section 3.16) the removal of these where proposed is not seen as detrimental. The advice of the Pre-App Report regarding lateral partitions in both no. 45 and 46 has been taken on board in the submitted proposals. The retention of these walls (and downstand) enable the proportions and principle rooms of the historic plan to be reinstated. This also helps to minimise the overall impact of the proposed alterations.

Justification

The proposed internal works are considered justifiable as they enable comfortable dual-aspect apartments to be created in line with the London Housing Design Guide. Intervention into original partitions are minimal and consideration has been taken to maintain partitions which maintain the historic plan (for details of new service routes see section 3.4.2).



Proposed plans

3.4.2 Services

Proposal

Consolidation, removal and reuse of existing services and new service routes where required. Please refer to Services Engineers survey report of the existing services submitted as part of this application. Please also refer to the GA plans for details of the proposed ventilation and drainage routes. In order to minimise any impact on the restaurant, no works are proposed to services at ground floor and basement level.

Impact

The proposed works to 45 and 46 Red Lion Street will reduce the number of residential units from five to four which will reduce the services loading on the buildings.

The service provision is currently disorganised and inefficient, having been added to and altered many times over the building's lifetime. By reducing the number of units and stacking serviced areas (bathrooms and kitchens) the proposals enable the removal of redundant services (for example two gas metres) and the efficient reuse of existing services. Some new drainage and ventilation routes are proposed within the bathroom in no.46.

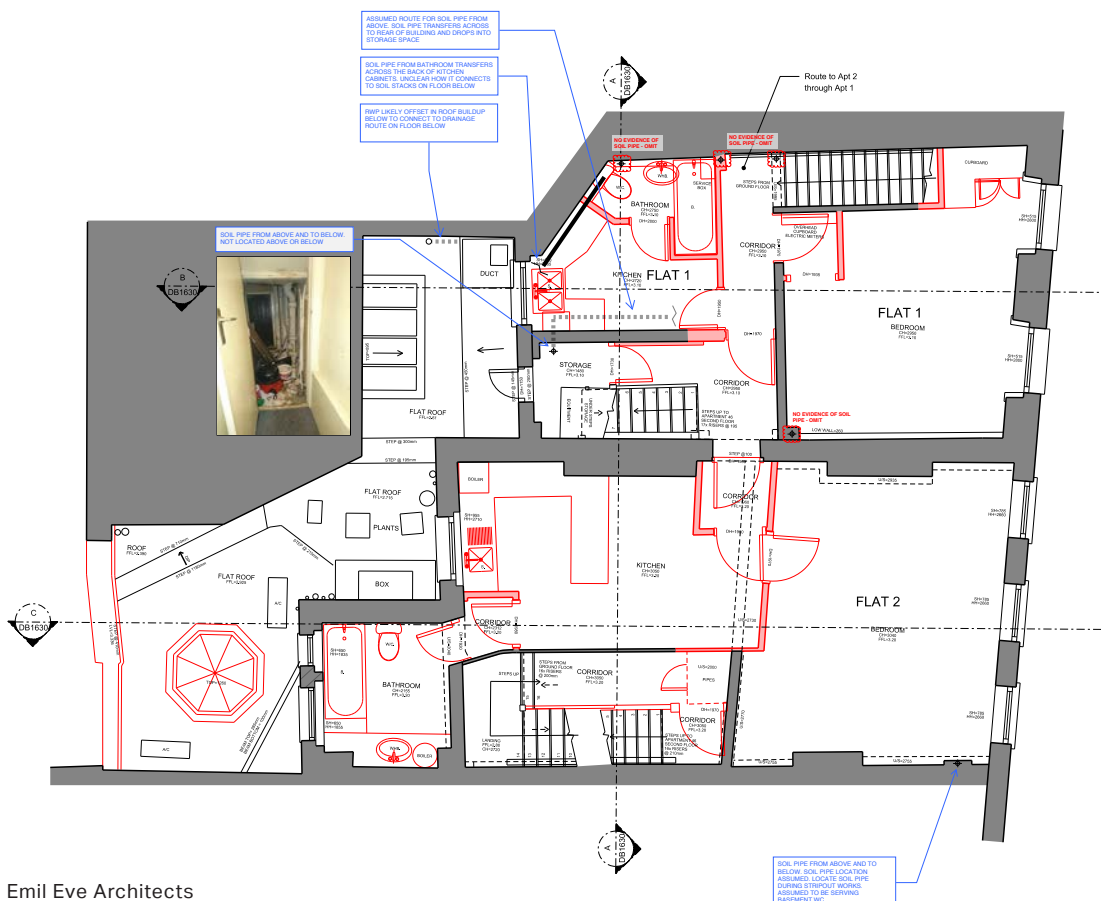
These run vertically to roof level and within existing structure as indicated on plans. This enables services to run discreetly through the property with minimal disruption to the building fabric and rear elevation.

No service routes or penetrations are proposed to the front facade and redundant pipes and stacks on the rear facade will be removed which will improve the appearance from Lamb's Conduit Passage.

Due to the historic nature of the properties, a minimal service provision is proposed: ie no air conditioning or other high-impact technologies are proposed.

Justification

Proposed internal layouts have been carefully considered in order to enable existing service routes to be reused and new service routes to be installed with minimum disruption to the building fabric. Consolidation and removal of redundant services is seen as a benefit to the character of the building. Where new routes are required these have been given particular attention to avoid impact on existing fabric.



Please refer to the full survey report of existing services submitted as part of this application.

3.4.3 Revealing historic features: decorative ceramic tiles

Proposal

We propose to reveal the original tiling in the entrance hallway of no. 46. The tiles have been painted over and are currently only visible in the high-level meter cupboard.

Impact

Revealing the historic tiles will reinstate the character of the original ground floor shop.

Justification

Beneficial impact on historic character of property.



Tiles visible within meter cupboard



Outline of tiles can be seen beneath paint

3.4.4 Repairs to historic stairs

Proposal

No. 45:

- To repair balustrade where necessary (to match existing)
- To remove modern linings and repair and protect existing floorboards.
- To remove inappropriate boxing and services in stairwell (see lower photograph).
- To bring back landing at second floor to expose extend of original window.

No. 46:

- To restore the integrity of the staircase by removing partitions which have been installed in place of balustrades.
- To repair balustrade where necessary (to match existing)
- To remove inappropriate boxing and services in stairwell

Impact

The opening up and repair of the staircases, along with the removal of inappropriate boxing and services, will do much to restore the arrangement of the staircases and reinstate its historic significance.

Justification

The proposed works are seen as beneficial to the character of the listed buildings.



Run of historic balustrade at no. 46



Large service boxing at no. 45 - to be removed.

3.4.5 Structure

Proposal

Internal: BTA Structural Engineers have undertaken a survey and report of the existing building. All proposed works to internal partitions are non-loadbearing. All partitions that are to be removed are understood to be lightweight modern interventions and fire lobbies.

External: As discussed in section 3.3.2 the proposed rear extension will be a lightweight timber frame and will not add significant loading to the existing property.

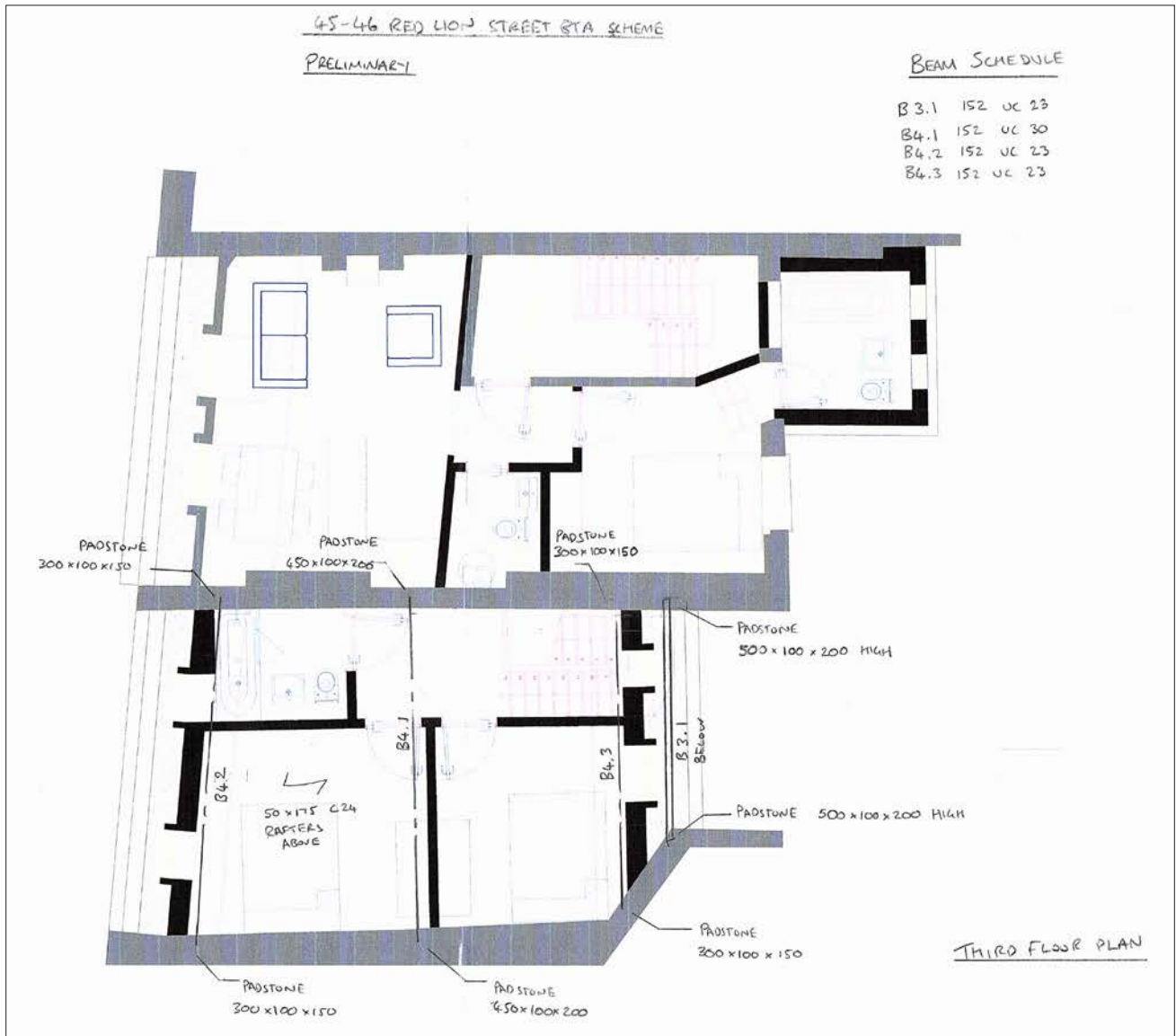
The replacement roof at no.45 will be a traditional mansard roof with timber and steel structure (see below). Also refer to section 3.3.1.

Impact

The proposed structural works are minimal and relate predominantly to the proposed rear extension and replacement roof. Neither of these alterations adds significant loading so there will be no requirement to strengthen foundations or other existing external walls.

Justification

Please refer to sections 3.3.1 and 3.3.2 for consideration of the proposed roof replacement and rear extension. The structural designs for these will be lightweight and appropriate to the building. Furthermore these will not result in the need for structural alterations/strengthening to the existing fabric elsewhere.



Sketch proposal for new mansard structure (By BTA structural engineers)

4.0 SUMMARY

45 and 46 Red Lion Street are important examples of re-fronted Georgian townhouses within the Bloomsbury Conservation Area.

The proposed internal works will lead to significant benefits in terms of the restoration of historic form and character to the buildings while creating bright and comfortable 1 and 3 bed apartments which exceed the minimum space standards.

External alterations are seen as justifiable as they enable the proposal to be viable and these have been carefully considered and detailed to minimise impact on the buildings and the streetscape.

Repair and restoration of the historic building fabric (including the replacement of inappropriate windows) will do much to preserve and enhance the established character and appearance of the properties and the surrounding area.



5.0 APPENDIX

5.1 APPENDIX 1: LISTING ENTRY



Historic England

45 AND 46, RED LION STREET

List Entry Summary

This building is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest.

Name: 45 AND 46, RED LION STREET

List entry Number: 1245494

Location

45 AND 46, RED LION STREET

The building may lie within the boundary of more than one authority.

County: Greater London Authority

District: Camden

District Type: London Borough

Parish:

National Park: Not applicable to this List entry.

Grade: II

Date first listed: 12-Nov-1990

Date of most recent amendment: Not applicable to this List entry.

Legacy System Information

The contents of this record have been generated from a legacy data system.

Legacy System: LBS

UID: 477835

Asset Groupings

This list entry does not comprise part of an Asset Grouping. Asset Groupings are not part of the official record but are added later for information.

List entry Description

Summary of Building

Legacy Record - This information may be included in the List Entry Details.

Reasons for Designation

Legacy Record - This information may be included in the List Entry Details.

History

Legacy Record - This information may be included in the List Entry Details.

Details

CAMDEN

TQ3081NE RED LION STREET 798-1/101/1373 (West side) 12/11/90 Nos.45 AND 46

Pair of terraced houses with ground floors now converted to a restaurant. Probably mid C18, refronted C19. No.45: yellow stock brick. Slated mansard roof with dormer. 3 storeys and attic. 2 windows. C20 restaurant ground floor; upper floors have gauged brick flat arches to recessed sashes. Parapet. No.46: grey brick with red brick dressings. Tiled roof with dormers. 3 storeys and attic. 3 windows. C20 restaurant ground floor; upper floors have gauged red brick flat arches to flush framed sashes with exposed boxing. Plain red brick band at 1st floor level. Projecting red brick cornice. INTERIORS: not inspected.

Listing NGR: TQ3069881805

Selected Sources

Legacy Record - This information may be included in the List Entry Details

National Grid Reference: TQ 30700 81803

Map



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5.2 APPENDIX 2: PLANNING HISTORY

Planning Ref: TP/83837/NW/22440
Date: 7 March 1960
Description: The erection of additions to the ground floor of No. 45 Red Lion Street, Holborn, for use as lavatories and W.Cs.
Status: Approved

Planning Ref: N15/13/G/32118
Client Ref: JC/MM/B/421
Date: 16 Oct 1980
Description: The use of the first, second and third floors for office purposes is unauthorised and you are therefore requested to arrange for their reversion to the lawful use for residential purposes. If no action has been taken within a period of four months, the Council intends to serve an enforcement notice in respect of this unauthorised use.
Status: Refusal

Planning Ref: N15/13/G/32118
Client Ref: JC/MM/B/421
Date: 28 May 1981
Description: 1st floor of 45/46 Red Lion Street as an office ancillary to the use of the ground floor for retail and wholesale purposes
Status: Approved

Planning Ref: N15/13/G/34024
Date: 19 July 1982
Description: Change of use of the ground floor and basement from shop to restaurant or the wine bar, the change of use of the 1st, 2nd, and 3rd floors of No. 45 to offices and the conversion of the 1st floor of No. 46 to a self-contained flat.
Status: Refusal

Planning Ref: N15/13/G/34686(R1)
Client Ref: MJT/118
Date: 18 Oct 1982
Description: Change of basement and ground floor from fish merchants to restaurant or wine bar.
Status: Approved

Planning Ref: N15/13/G/36896(R1)
Date: 21 March 1984
Description: Retention of a new shopfront including 2 canopies
Status: Approved

Planning Ref: PL/8800214/
Case File No.: N15/13/G
Date: 5 May 1888
Description: Formation of fire escape door on rear elevation
Status: Approved

Planning Ref: PL/9200249/R1
Case File No.: N15/13/G
Date: 15 Jan 1993
Description: The erection of a single storey extension to the existing restaurant
Status: Refusal
Reasons: 1) Loss of open space, detriment to visual and general amenity of area. 2) Neither preserve or enhance character of conservation area, uncharacteristic bulk and detailed design.

Planning Inspectorate (Appeal)
Appeal Ref: T/APP/X5210/A/93/223727/P8
Client Ref: BVM/bmm
Date: 26 August
Description: The erection of a single storey extension to the existing restaurant
Status: Appeal successful