



Stables Market, Chalk Farm Road - Triangle Site
Chalk Farm Building (Building A)

**DESIGN AND ACCESS
AND
HERITAGE STATEMENT**

FOR PROPOSED TENANT FITTING OUT WORKS TO UNITS 29 - 35

APRIL 2017

Prepared for
Stanley Sidings

by



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Stables Market: Chalk Farm Building for proposed tenant fitting out works to units 29-35 – Design and Access and Heritage Statement

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1 INTRODUCTION

1.1 Executive Summary

This Design & Access Statement and Heritage Statement has been prepared as supporting documentation for the application for planning permission and listed building consent for proposed fitting out works to the Chalk Farm Building (Building A) units 29 to 35. The building is Grade II listed and is located within The Stables Market, Chalk Farm Road, London NW1 8AH.

The proposed works comprise the reconfiguration and fitting out of the units 29 to 35 to facilitate the occupation of one retailer per unit.

The Chalk Farm Building is on the Heritage at Risk Register as it is a group listing for all stables (A, B, C and D). The stables are registered as Category F (Repair scheme in progress...) in the priority ranking, which is downgraded from the previous category C.

Priority for action is assessed on a scale of A to F, where 'A' is the highest priority for a site which is deteriorating rapidly with no solution to secure its future, and 'F' is the lowest priority. Buildings in category F are assessed as: *"Repair scheme in progress and (where applicable) end use or user identified; or functionally redundant buildings with new use agreed but not yet implemented."* (English Heritage, HAR 2016, p. XVIII).

The Design Documents have been prepared by and with the input of the Project Team who are:

Client: Stanley Sidings Limited

Structural Engineers: Walsh Group

Heritage Consultants: Stephen Levrant Heritage Architecture Ltd

1.2 Reference to other documentation

This document should be read in conjunction with:

Scheme drawings prepared by Stephen Levrant Heritage Architecture Ltd., September 2016:

- Location Plan
- N2241-29-35-000 Site Plan
- N2241-29-35-101 Existing Ground Floor Plan & Section (typical unit)
- N2241-29-35-102 Existing Plans & Long Section (all units)
- N2241-29-35-200 Proposed Plans & Long Section (all units)
- N2241-29-35-201 Unit 29 as Proposed
- N2241-29-35-202 Unit 30 as Proposed

- N2241-29-35-203 Unit 31 as Proposed
- N2241-29-35-204 Unit 32 as Proposed
- N2241-29-35-205 Unit 33 as Proposed
- N2241-29-35-206 Unit 34 as Proposed
- N2241-29-35-207 Unit 35 as Proposed
- N2241-29-35-300 Mezzanine Details as Proposed
- N2241-29-35-301 Floor Details as Proposed

And Structural Engineer's drawings:

- 3788 – SK/170222/MPC/CFB - MEZZANINE
- 3788–SK–170320-MPC-CFB-MEZZANINE-COMMENTS

- DCLG Online Planning Guidance to the NPPF (NPPG)
- Conservation principles, policies and guidance for the sustainable management of the historic environment, English Heritage (now Historic England), April 2008.
- Understanding a Place: Conservation Area Designation, Appraisal and Management, English Heritage Guidance (now Historic England), 2011.
- Historic England. Historic Environment Good Practice Advice in planning note 3 March 2015.
- Seeing the History in the View, English Heritage (now Historic England), May 2011.
- Historic England Good Practice Advice in Planning – Notes 1-3, 2015.
- BS 7913:1998 Guide to the Principles of the Conservation of Historic Buildings.
- Camden Development Policies 2010 – 2025, Local Development Framework
- Local Development Framework - Camden Core Strategy 2010 – 2025

1.3 Planning Policy Guidance and Legislation

The assessment of the proposals on the listed building and conservation area has been prepared taking into account the information contained in planning policy guidance and legislation:

- National Planning Policy Framework (NPPF), 27 March 2012.

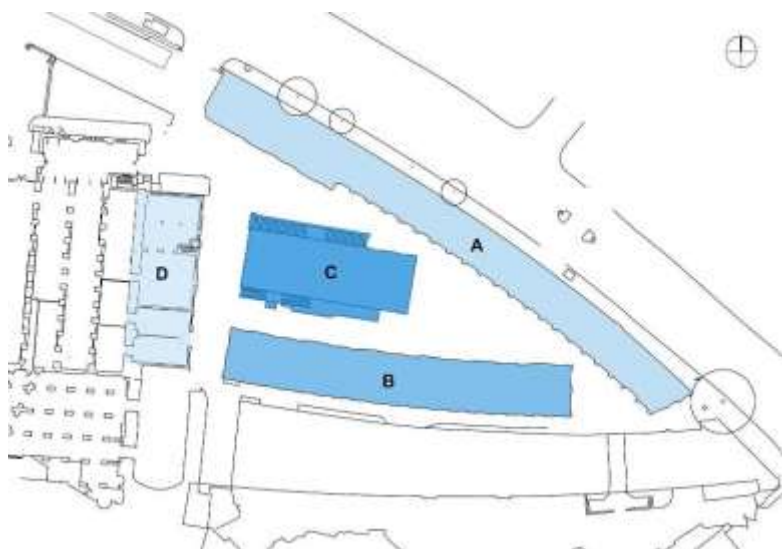


Figure 1: Stables Market -Listed group of buildings, subject site Building A.

Ref: A Chalk Farm Building, B Provender Store, C Long Stable and D Tack Room.

2 CONTEXT

This complex of multi-storey stables was developed by the London and North Western Railway Company (LNWR) from 1854. The horses stabled here supplied much of the power for the large LNWR goods yard at Chalk Farm.

'The heart of Stables Market was previously a part of the Camden Goods Yard and a large area was occupied by warehousing for

W. A. Gilbey's wines and spirits from the mid-19th century. The remaining buildings on the site comprised the stables for railway horses known as Stanley Sidings [...], a later block of 1883-85, and the surviving bonded warehouse, Gilbey's No.2 Bond, built c.1885' (Regent's Canal Conservation Area Appraisal and Management Strategy, adopted 11 September 2008, pp.17). The Chalk Farm Building, subject of this application, was built during the first phase of stabling. These four western ranges, which also include the Provender Store, the Long Stable and the Tack Room, form the triangular group A-D built between 1854 and 1856 as indicated on a site plan of 1856 (The National Archives, RAIL 410/2072).

Note: From Royal Commission on the Historical Monuments of England; Historic Building Report; Former LNWR Stables, Chalk Farm Road, Camden, London NW1; September 1995. Crown Copyright. Unless stated otherwise.

2.1 Location

The Chalk Farm Building (Building A) lies within the triangular site described above part of the internationally recognised Stables Market, in the northwest corner of Regents Canal Conservation Area. (Fig. 1). The area is bounded to the north by Chalk Farm Road (Hampstead Road as it was known until 1862), and is separated from the former lands of the goods yard to the south by the railway viaducts (Fig. 2).

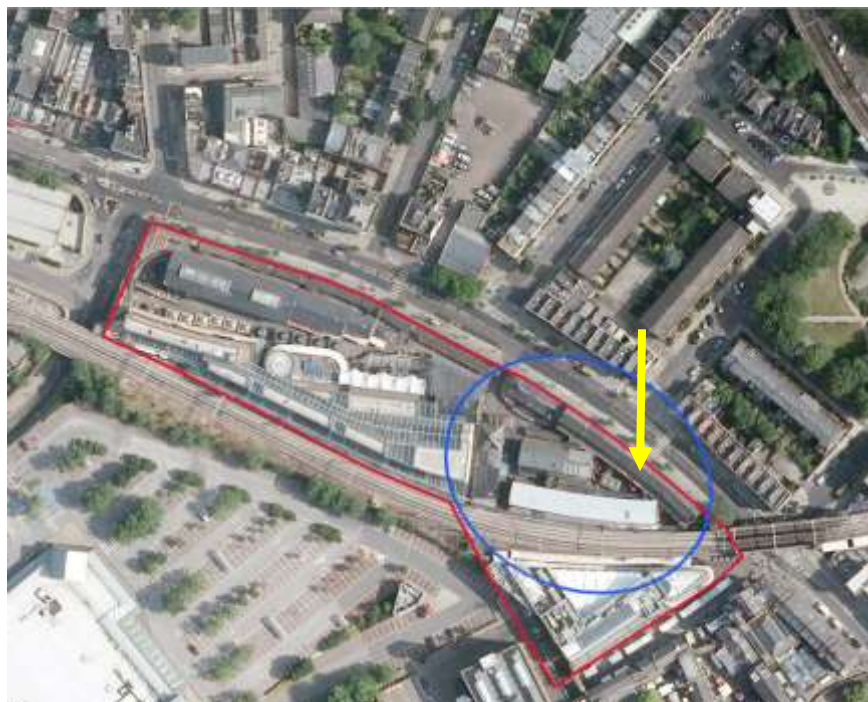


Figure 2 The Stables Market shown within red line; the stables range circled in blue. Location of the Chalk Farm Building units 29 to 35 marked with yellow arrow.

2.2 Regent's Canal Conservation Area

The Regent's Canal Conservation Area was originally designated in 1974 and subsequently extended in 1981 to include the Stanley Sidings and the Stable Buildings. The conservation area was

designated due to its unique character. "It is an important feature of historic and visual interest in the wider townscape and, following the decline of traditional canal-related commercial activities, has been increasingly recognized as a valuable resource for water-based leisure activities, for its tranquil seclusion, for its ecological value and its potential for transportation and informal recreation". (Regent's Canal Conservation Area Appraisal and Management Strategy, adopted 11 September 2008, pp.5).

Many of the industrial buildings and structures are fine examples of industrial brickwork, illustrating styles of engineering construction characteristics of the 19th and early 20th centuries and using various types of brick, some produced in London and others brought in by the railways from their respective regions. Cast iron and wrought iron are also represented on the site.

2.3 Setting

The National Planning Policy Framework (NPPF) defines 'setting of a heritage asset' as 'the surroundings in which a heritage asset is experienced'. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral' (NPPF, Annex 2: Glossary, p.52)

The Setting of Heritage Assets: English Heritage Guidance 2011, highlights para 114 of the NPPF: 'The extent and importance of setting is often expressed by reference to visual considerations. Although views of or from an asset will play an important part, the way in which we experience an asset in its setting is also influenced by other environmental factors such as noise, dust and vibration [...]' (NPPF, para 114).

The site as a whole falls within the Regent's Canal Conservation Area, a heritage corridor of unique character, but the elements which contribute towards the neighbourhood identity, are not necessarily confined to the conservation area or other boundaries.

The character of the environs developed over the years and, today largely derives from the presence of four distinct but interrelated elements: the Regent's Canal, Chalk Farm Road, the Railway viaduct and the market activities.

Chalk Farm Road is the principal thoroughfare of the area. The sequence of diverse views along Chalk Farm Road, defined by the built form and the curve of the road, prevents long distance views.

The built environment is defined on the east side by 19th century terraced buildings which have shops, café, and restaurants at the ground floor; and on the west side by predominant structures, such as the Roundhouse, the 'Camden Wall' and the railway bridge, which come into view on a northerly progression.

The Roundhouse is a major focus point, almost providing a gateway to the area from the north.

The 'Camden Wall' confers to Chalk Farm Road a sense of continuity and calmness with its regular progression of openings, but it is also a distinct barrier with its non-active frontage. A strong change of character occurs behind the Stables Market gate, where the original industrial stables subject of this application, still remain. The market is enclosed and separated from the public realm by the impenetrable wall.

The railway bridge, crossing diagonally across Chalk Farm Road, is not a simple barrier. It creates a visual break, emphasised by the traffic island and one-way traffic system. It also frames with its portal structure the view behind that change again in character. In fact, the buildings aligned on this stretch of the street have a narrow pavement establishing a different relationship with the street.

The immediate setting of the subject site is the larger Stables Market at the heart of the area widely known as Camden Market. The complex comprises the industrial horse stables and tightly enclosed courts leading off one another; their plan form being influenced by the horse towpath and stabling serving the vast railway goods yard and interchange traffic.

The redevelopment of the underused site after the decline of canal-related activities and the conversion of wharves for the craft markets in the 1970s, contributed greatly to the economic and

physical regeneration of Camden and to the present character of the area.

The markets developed into one of London's top tourist attractions giving a new iconography to Camden. Today the place is mostly known for its famous market, restaurants, café and entertainment facilities but this was never part of any planned development policies.

This market attracts large numbers of Londoners and tourists because of the character, the goods on sale and the uniqueness of the location. Boat trips, walks along the canal, and watching the barges pass through the lock gates from the Dingwall's beer garden are important parts of the attraction of the Camden Lock area. Sunday trading was permitted on this private site while disallowed in many places elsewhere, and this also contributed to its success.

2.4 Historical Background

This complex of multi-storey stables, also known as Stanley Sidings, was developed by the London and North Western Railway Company (LNWR) from 1854. The horses stabled here supplied much of the power for the large LNWR goods yard at Chalk Farm.

Bounded to the north by Chalk Farm Road (known as Hampstead Road before 1862), the triangular site was separated from the goods yard to the south by the viaducts of the North London Railway but was linked to it by underground tunnels.

A 22 acre site at Chalk Farm was acquired by the London and Birmingham Railway company soon after its formation, for a terminus and depot. When development began in 1835-37 it was as a goods depot, linked to the Thames by the Regent's Canal and subsequently to the docks by the North London Railway, built in 1850-1.

In the 1840s and 1850s substantial buildings were constructed around the edge of the site, including the Southern Goods Shed, built in 1845 and rebuilt after a fire in 1857, and a goods shed north of the canal, replaced by the Interchange Warehouse in 1900-5. The Chalk Farm stables were linked to both buildings by underground tunnels.

Horses were required for a wide range of haulage duties in the yard as well as for distributing goods outside; others were needed for shunting locomotives. Early provision for the horses was apparently in makeshift accommodation or below ground in the vaults of the goods station. By 1849 some horses were being stabled in the south-eastern corner of the goods yard, and it seems likely that the expansion of this part of the yard in 1855 led to the construction of the stables at the triangle site.

The first phase of stabling, the four western ranges forming the triangular group A-D in the modern site plan, was built between 1854 and 1856, as indicated on a site plan of 1856 (The National Archives, RAIL 410/2072). They were designed by the LNWR staff on the Stafford office and had a capacity of 148 horses. The ranges were mainly one and a half storeys, with ground floor stabling and haylofts above.

In the early 1880's the whole site underwent a phase of expansion and alteration with additional storeys added to the western ranges between 1880-3. During this period, a bridge connection between the Provender Store and the Tack Room was also created.

The site was vacated in 1973, and many of the buildings were demolished, tracks lifted, and various parcels of the land were sold into different ownerships. After 1973 the sidings and Camden Lock were used for various light industrial and storage uses including garaging. The market activities started at this time in a rather ad hoc fashion, commencing with small stalls located externally to the stable buildings. Gradually shop units and canopies were added to the buildings and by the 1980s it was a fully-fledged market place.

Note: From Royal Commission on the Historical Monuments of England; Historic Building Report; Former LNWR Stables, Chalk Farm Road, Camden, London NW1; September 1995. Crown Copyright.

2.5 The Chalk Farm Building

This is a plain yellow stock brick range with a slate roof. It is long, 28 bays in all, and curves slightly to follow the line of Chalk Farm Road. The western seven bays are the only surviving part of the site to retain the single-storey and loft arrangement that was originally general to the 1853-5 stabling. In this section there are two stabling units of three bays each, with flat-headed central projecting entrance and loophole or loft opening bays. Round-headed openings to the ground floor are like those used

throughout the 1850s stables, the windows with high sills so as to light the stalls from above. The western loophole bay retains the ends of timbers that formerly supported a stair to the pitching hole of the hay loft. Such stairs were formerly widespread on the site. The westernmost bay is two-storeys under a hip in the roof with a stack. This faced westwards onto the main site entrance and has every appearance of having been a small gatehouse. Its stairs are to the southeast. The southwest corner of the building has its corner cut at 45 degrees, presumably to provide better turning space for horses and vehicles moving to and from the site entrance. An early granite bollard stands next to the gate pier at the north-west corner of the building. The original gate appears to have been rolled into a recess in the gatehouse.

Further east the remaining 21 bays, which step back slightly to the south, were raised c.1895 to provide two tiers of stables. The ground floor is in seven 3-bay units as already described, though altered by the addition of piers to support a broad (10ft3in.) cantilevered iron and brick jack-arch cantilevered gallery from the concrete floor of which the upper stables were reached. Access to the gallery was by means of a ramp attached to the north side of Building C. The additional stables repeat the three-bay pattern with segmented-headed doors and windows; there are dentilled eaves. Along the gallery there are concrete drinking troughs.



Figure 3: 1975 photograph looking south west towards the Chalk Farm building.

Interior:

The stable units were each about 19f by 28f with three stalls on each side of a central passage. The unraised west section retains timber internal construction with the 1850s hay-loft roof of unusual king-post trusses incorporating raised 'tie beams' for clearance; these 'beams' clasp the lower purlins and are braced by diagonal struts. The former gatehouse has been much altered internally. Scant fittings survived in 1992, though there was evidence in the brickwork of the dividing walls of the added upper storey for the positions of mangers. It was also clear in these later stables that

the stall dividers were suspended from iron rings hung from the tie beams of conventional king-post roof trusses. The floor to the upper storey is of iron and brick jack arch construction comparable to that of the gallery.

Note: From Royal Commission on Historical Monuments of England, Former London & North Western Railway Stables, Report by Peter Guillery, September 1995. Crown Copyright.



Figure 4: 1975 photograph looking north towards the former gatehouse end of the Chalk Farm building.

3 ASSESSMENT OF SIGNIFICANCE

As recommended by NPPF (March 2012) proposals for the alteration or redevelopment of a listed building or buildings within a Conservation Area should be considered and be based on an understanding of the site's significance.

Paragraph 128 of NPPF states that 'In determining applications local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should also be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on that significance'.

The criteria for the assessment of significance according to English Heritage's 'Conservation Principles' consists primarily of:

- **Evidential Value** – relating to the potential of a place to yield primary evidence about past human activity;
- **Historical Value** – relating to ways in which the present can be connected through a place to past people, events and aspects of life;
- **Aesthetic Value** – relating to the ways in which people derive sensory and intellectual stimulation from a place;

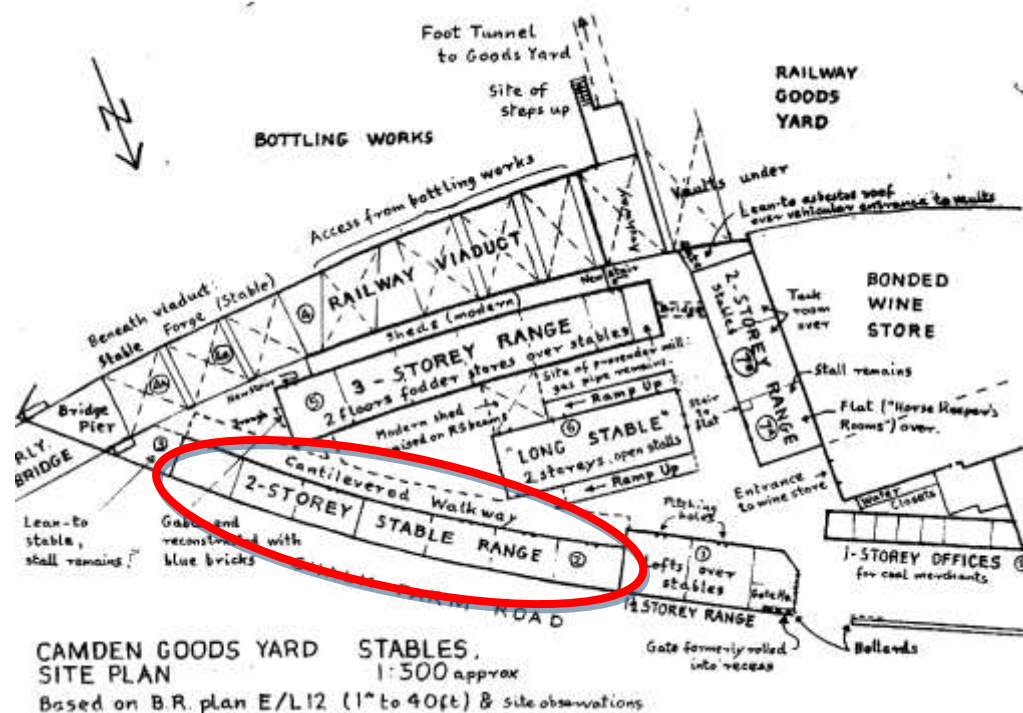


Figure 5: 1975 plan with 'site observations' noted. The west end of the Chalk Farm building (the subject site and highlighted in red) is noted as the Gate House and the site sliding entrance gate (which was housed within the building) is shown and noted.

- **Communal Value** – relating to the meanings of place for the people who relate to it, and whose collective experience or memory it holds.

Evidential Value

There are numerous surviving features throughout the building providing evidence of its original function and its subsequent alteration; the legibility of the original use is clear.

The extent of historic fabric preserved contributes greatly to the understanding and special interest and character of the Chalk Farm building and to that of the group in general. In particular, the first floor stables and walkway, constructed circa 1895, represent the significant primary historic alteration. The original hay lofts remain to the unaltered bays and the Gate house, the subject of this application, has been altered internally many times and is today little more than a shell.

Evidential value is therefore considered **medium**.

Historical Value

The historical value of the Chalk Farm Building is recognised by its statutory Grade II listing, as part of a distinctive group of former stables.

In this case the historic value is closely associated with the evidential value, providing a significant example of stable

construction of the period - beyond the numerous alterations suffered through the years. The former Gate House had an altogether different character to the stables as evidenced by the fragmentary internal fireplaces, timber rafter roof structure with evidence of former plastered ceiling and mostly likely the original single panelled entrance door - extant in the 1975 photograph (Fig.4).

Historical value is therefore considered **medium to high**.

Aesthetic Value

The Chalk Farm Building, as well as the other historic stable buildings, is purpose-made and utilitarian. There is no artistic 'design ethos' in these buildings; utilitarian buildings are economical: there are no added embellishments, wasted space, nor selection of materials but those easily sourced.

Although the Chalk Farm Building is an exemplary Mid-Victorian stable building, it has little artistic or architectural merit as such.

Aesthetic value is therefore **low**.

Communal Value

The Stables Market and its listed buildings have a high communal value as there is a strong sense of identity with the place, nurtured by the historical former industrial use.

The original purpose of the stables has been superseded. There are no possible horse-related activities that may be carried out

within the site, and there have not been since the 1950's/60's. The market use, established since the late 1970's/80's, is the reason why this area of Camden achieved worldwide recognition and attracts over 100.000 visitors per week. Furthermore, a poll carried out by NOP World in late 2003, shows that 95% of visitors agreed that the Camden markets are a valuable tourist attraction and 89% agreed the markets are a valuable amenity to the local community as well as visitors (London Borough of Camden, the role the markets play in the vitality & viability of Camden Town, 2006.). The communal values of the site can be associated to the later but firmly established market function, and as proved by the studies and polls carried out since its inception. The fact that the building is still in use brings together past and present common uses by the community, reaffirming the communal value as **high**.

4 PROPOSED WORKS

4.1 Description

The proposals have been designed to allow units 29 to 35 to accommodate the requirements of one retailer per unit over the ground floor and mezzanine level, and using the building's current configuration of spaces to minimize any potential impact on the fabric of the listed building (Fig. 6).

Each of the seven units is currently subdivided by a thin partition wall into two 'sub-units', each occupied by one retailer, therefore accommodating fourteen retailers in total (Fig. 7). Mezzanine levels have been inserted across all units (Fig. 8). The interior of each 'sub-unit' is currently little more than a shell, with exposed brick walls in some units and areas covered with plasterboard in others (Fig. 9). Modern timber staircases in each sub-unit lead to the mezzanine level (Fig.10). Access to the sub-units is achieved using a shared doorway which consists of timber bi-fold doors behind which each sub-unit utilises a sliding door. Permission to replace the pre-existing doors with the present bi-fold doors was granted in March 2016 in a listed building consent application (ref: 2015/3658/L, see Appendix II). These were installed in 2016 and are being retained (Fig. 11). The sliding doors which sit behind the bi-fold doors will be removed.

The current proposals retain the existing entrance openings and consented bi-folds. Following recent talks with the RCCAAC, it is however intended to revisit the possibilities of reinstating the engineer brick piers at a later date.

Prior to the installation of the bi-fold doors, permission was granted for several other works to the Chalk Farm Building. These include:

- Alterations in connection with the removal of existing building services and installation of new services (2015/5481/L and 2015/3772/P, dated 08.12.2015)

- 1 x board sign to west elevation (2015/4302/L, dated 10.11.2015)
- Refurbishment of Long Stables building staircase and Chalk Farm building walkway (2015/5825/L and 2015/4960/P, dated 06.11.2015)
- The replacement of non-original first floor windows and doors on the south elevation (2015/0941/L and 2015/2446/P, dated 03.07.2015)
- Replacement and repair of slate roof covering together with replacement and upgrading of rainwater goods (2015/0209/L, dated 28.04.2015)

The proposed fitting-out works respect the cellular form of the seven units with the proposed removal of the thin subdividing walls and existing mezzanines, reducing the fourteen sub-units into seven units as per the original plan form. It is proposed to insert new mezzanines within each of the seven units with one associated staircase in each unit. The mezzanines will cover half the width of each unit. These are to be steel framed, free-standing structures with handrails, fixed to the walls (mortar joints only) where necessary, with timber floorboards as a floor finish. The stair to the mezzanine will also be constructed of a simple steel L-shaped frame, with closed timber treads. It is proposed to instate an area beneath the stair side of the mezzanine to house two fitting rooms or storage areas. With the exception of the new fixtures and fittings, the interior walls will remain as existing – exposed brickwork defining the overall interior character.

Internal fixtures and fittings will be essentially free standing within the units - any fixings required into the historic walls will be limited and to the mortar joints only. Internally, the base of the interior brick walls will be protected by the fitting of timber skirting boards. At mezzanine level, a small timber or steel upstand from the finished floor level will protect the brick walls. Existing modern ceiling/plasterboard (Fig. 12) will be removed and replaced to fit the new stair and ceiling layout.

Currently, each unit is accessed via a makeshift timber step from the existing level of the passageway up to the floor level of the unit (Fig. 13). For units 29-33 it is proposed to remove these existing steps and to instate one step of blue brick that will reach the height of the threshold of the new timber doors. The second step reaching the internal finished floor level of each unit will be timber. Both steps will be of equal height, therefore the finished floor level will be ultimately determined by the height of the first step. In units 34 and 35, only one step is required, and this will be set behind the bi-fold doors and will be timber.

Opening-up works carried out in each of the seven units (see Appendix III) have concluded that substrates beneath the current floorboards vary from unit to unit, as do their heights (Fig. 14). Therefore, the application of the floor in each unit is to be treated differently (please refer to architectural drawings N2241-29-35-000 to N2241-29-35-301 for further details). In some units, boards have been applied directly over concrete, whereas in others, timber boards have been laid on battens of different heights which in turn rest on a layer of brick (Fig. 15). It is proposed that existing

timber boards will be removed and replaced with new boards on battens, enabling the floor to be level with the bottom of the existing bi-fold doors. Where concrete is the only substrate, boards will be laid on battens on top of this.

The door jambs to the bi-fold are in poor repair, with cementitious render applied in some places. It is therefore proposed to make good the walls in these locations and to apply an external render with a simple bead stopping.

The proposals within this application represent the continuation of a programme of works to the Chalk Farm Building, the objective being to conserve and modernise the building in line with contemporary principles and user expectations.

The proposed reinstatement of the seven individual units is intended to reinforce the original character of this part of the building, reinstating the original plan form and configuration of bays and enhancing the building's appearance and its historic significance as a result.



Figure 6: Chalk Farm Building facing east, units 29-35 on the left (January 2017).



Figure 7: Chalk Farm Building, unit 33: view showing the subdivision of units (January 2017).



Figure 8: Chalk Farm Building, unit 31: inserted mezzanine level and stair (January 2017).



Figure 9: Chalk Farm Building, unit 32: walls in some units have been left exposed (January 2017).



Figure 10: Chalk Farm Building, unit 35: inserted timber stair (January 2017).



Figure 11: Chalk Farm Building, unit 32: individual sliding doors lie behind recently installed bi-fold timber doors which carry across both sub-units (January 2017).



Figure 12: Chalk Farm Building, unit 31: view of the current wall linings existing in some of the units (January 2017).



Figure 13: Chalk Farm Building, unit 29: makeshift timber steps currently serve each unit (February 2017).



Figure 14: Chalk Farm Building, unit 34: In some units, floor finishes have been applied directly on top of a sloping concrete base (February 2017).



Figure 15: Chalk Farm Building, unit 31: In other units, the floor level is raised, with floor boards on battens with a brick substrate below.

5 IMPACT ASSESSMENT

5.1 Introduction

This report aims to appraise the impact of the proposal on the special interest of the heritage asset at the Chalk Farm Building. Furthermore, the assessment considers the impact of the proposed works on the Grade II* listed building and The Regent's Canal Conservation Area; and on the setting of the designated and non-designated heritage assets within and surrounding the site.

The impact assessment on the special interest of the heritage asset and the conservation area also takes into account whether the proposal causes substantial or less than substantial harm by altering or eroding the authenticity and the heritage values identified on the assets.

5.2 Impact Assessment Criteria

For the purpose of assessing the likely impact of the proposed development on the heritage assets, established criteria have been employed.

The impact of the proposals can be grouped into three categories: **neutral**, **beneficial** or **adverse**.

Within the three categories there are four different levels that can be given to identify the intensity of impact:

- "negligible" - impacts considered to cause no material

change;

- "minor" - impacts considered to make a small difference to one's ability to understand and appreciate the heritage value of an asset.
- "moderate" - impacts considered to make an appreciable difference to the ability to understand or appreciate the heritage value of an asset.
- "substantial" - impacts considered to cause a fundamental change in the appreciation of the asset.

5.3 Impact Assessment on the Heritage Asset

As essentially shop fitting out works, impacts would be limited to the fixings at the point of interface between the old and new building fabric. Moreover, the majority of fit out fixtures and fittings will be free standing.

In some units, it will be possible to install the new timber floor over the existing substrate without disturbing any historic fabric below. All of the non-historic boards will be removed and replaced.

It is considered that the scale of the impact of the works on the heritage asset is **minor** and the resultant effect **beneficial**.

Impacts stated previously will be balanced by the public and heritage benefits of the proposals, particularly with regard to the overall resultant improvement to the building's interior and exterior character and appearance, and the reconfiguration of bays to their original pattern; all thus having a highly positive effect overall.

Repair works will be carried out using traditional materials and techniques to match those existing in order to maintain the integrity of the listed building's character and appearance.

There will, therefore, be public benefit accruing from the proposal not only in the greatly improved functionality and use of available internal space within the building but also in the provision of a sustainable solution for future market needs and expectations.

The impact of proposals on units 29 to 35 can thus be summarised as **minor** and **beneficial**.

6 NPPF CONSIDERATIONS

The National Planning Policy Framework (NPPF) considerations provide supplementary information which will enable the planning authority to assess the likely impact of the proposed works on the Chalk Farm Building.

All policies in the NPPF adopted 27th March 2012 constitute the government's view of what sustainable development means in practice. The NPPF contains an express presumption in favour of sustainable development which should be taken into account when making planning decisions.

Paragraph 6 of the NPPF states: "The purpose of the planning system is to contribute to the achievement of sustainable

development. The policies in paragraphs 18 to 219, taken as a whole, constitute the Government's view of what sustainable development in England means in practice for the planning system." The entire Framework constitutes a definition of "sustainable development" with no one part assuming greater weight than any other.

Change is at the heart of sustainable development. The three dimensions of sustainability: economic, social and environmental, are not static; neither is the built environment. Buildings need to change in order to adapt to climate change and move towards a low carbon economy (NPPF Paragraph 7).

This statement deals principally with Section 12 of the NPPF, "Conserving and enhancing the historic environment", however Heritage considerations and issues are prevalent throughout the framework.

Paragraph 128 states that "In determining applications local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contributions made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on that significance".

Furthermore, **NPPF Paragraph 129** states that 'Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking

account of the available evidence and any necessary expertise. They should take this assessment into account when considering the impact of a proposal on a heritage asset, to avoid or minimise conflict between the heritage asset's conservation and any aspect of the proposal'.

As recommended in Paragraphs 128 and 129, an assessment of the significance of the heritage asset has been provided earlier in this report.

This report aims at fulfilling the National Policy requirement for provision of proportionate information which will enable the assessment of the likely impacts of proposed development on the special historic and architectural interest of the Chalk Farm Building by the Local Planning Authority. The significance assessment was based on historic research and consultation of relevant historic records and was examined according to the criteria set out in English Heritage's 'Conservation Principles'.

The research and assessments that have been carried out are believed to be "sufficient to understand the potential impact of the proposal on the significance of the heritage asset."

Paragraph 131 states that 'In determining applications, local planning authorities should take account of:

- The desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;

- The positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and
- The desire of new development making a positive contribution to local character and distinctiveness'.

'Conservation' is defined in the NPPF only for heritage policy as: 'the process of maintaining and managing change to a heritage asset in a way that sustains and, where appropriate, enhances its significance'.

Paragraph 134 states that 'Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including its optimum viable use'.

It is considered that these minor alterations to existing fabric cause no harm to the special interest of the heritage assets. There is negligible impact on historic building fabric as well as the visual impact and the proposed works enable the optimised use of the building.

As set out in Section 5 of this report, it is contended the proposed works to units 29-35 of the Chalk Farm Building will enhance the listed building significance and that of the stables complex at large and provide public and heritage benefit.

The established market use of the former stables is not challenged by the proposals; the works will improve not only the

general appearance of the building but its use and circulation thus providing a sustainable solution.

The public benefit the proposal provides is in preserving and improving not only the listed building but also the already established "optimum viable use" for the site, and therefore, the enhancement of the wider historic environment in general.

The proposal will aid in safeguarding the continued use and long term preservation of the building. It is therefore concluded that the significance of the heritage asset will be preserved and enhanced in compliance with the NPPF requirements.

7 LOCAL PLANNING POLICY

Camden Local Development Framework, Camden Core Strategy, 2010 -2025, Adopted Version, November 2010.

The Camden Core Strategy Policy CS14 – ‘Promoting high quality places and conserving our heritage’, sets out the requirements to safeguard Camden’s heritage. The overall strategy is to sustainably manage growth in Camden in a way that conserves and enhances the heritage and valued places that give the borough its unique character.

Camden Planning Guidance provides advice and information on how the Local Authority applies its planning policies. The

guidance is consistent with the Core Strategy and the Development Policies, and forms a Supplementary Planning Document (SPD) which is an additional “material consideration” in planning decisions.

CPG 1- ‘Design’; deals with heritage issues in Section 3. This section sets out further guidance on Core Strategy Policy CS14- ‘Promoting high quality places and conserving our heritage’, and Development Policy DP25- ‘Conserving Camden’s Heritage’.

Paragraph 3.22 refers to the statutory requirement, when assessing applications for listed building consent, to have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

It is considered that the proposal not only preserves but enhances the character of the historic environment through the improvement of circulation and use of available space within units 29 to 35 of the Chalk Farm Building and the associated upgrading of building fabric and services.

Paragraph 3.23 expands on the desirability to retain original or historic features and to carry out repairs in matching materials. The proposals should seek to respond to the special historic and architectural constraints of the listed building, rather than significantly change them.

The proposals are considered to achieve this requirement by both the proposed layout and the associated fabric repairs in matching materials.

The works, which are both internal and external, are considered to preserve and enhance the essential character and appearance of the Chalk Farm Building and the surrounding conservation area.

Development Policy DP25 – ‘Conserving Camden’s Heritage’.

The proposals are considered to preserve and enhance the character and appearance of the conservation area. There is no harm to the special interest of the building or the setting, indeed the heritage assets significance will be better revealed on account of the works.

Development Policy DP12 – ‘Supporting strong centres and managing the impact of food, drink, entertainment and other town centre uses’.

The proposal complements the existing market and town centre by introducing compatible uses and flexible spaces to the ground floor bays as workshops/cafes. The proposal seeks to introduce a new drainage and water provision for each unit to run below the floor level thus complying with Policy DP12.

8 CONCLUSION

The Chalk Farm Building is listed Grade II and is included in the Heritage at Risk Register. The building is open to the public and in continuous use. The building has been subject to change and alteration previously and in order to remain relevant and sustainable will continue to adapt and evolve. The proposed scheme is driven by a need to not only conserve and enhance the building, but also to ensure a sustainable solution that safeguards the current and future use of the market.

The proposed reinstatement of the historic plan form will allow an internal layout that will facilitate the optimum viable use of the building for a single retailer per unit, while improving the historic character, appearance and architectural importance of the heritage asset, in turn, safeguarding its long-term conservation.

The proposal, therefore, complies with policy at the heart of the NPPF in respect of sustaining and enhancing not just the building itself but the significance of the Regent’s Canal Conservation Area and the heritage assets within and in the vicinity of the site.

The NPPF contains an express presumption in favour of sustainable development which should be taken into account when making planning decisions. Change is at the heart of sustainable development. The three dimensions of sustainability: economic, social and environmental, are not static; neither is the built environment. Buildings need to change in order to adapt to

climate change and move towards a low carbon economy (NPPF Para 7).

For the above reasons, it is considered that the proposal would be acceptable given the listed building and the wider setting of the heritage assets in the conservation area. It is therefore concluded that the proposed works satisfy the relevant clauses of the NPPF as detailed above and is consistent with the spirit of local policies and national conservation principles.

9 APPENDIX I: LISTING DESCRIPTION

List entry Number: 1258101

Grade: II

Four blocks of industrial stabling, now workshops and warehousing. c1855-1870, with later Victorian additions. For the London and North-Western Railway Company's Camden Goods Yard. Stock brick, with hipped slate roofs, some stone lintels. Some iron columns internally, but floors and roofs generally of timber. EXTERIOR: mostly of 2 storeys.

Northernmost block (A) abutting on Chalk Farm Road, c1855, with upper storey of c1895. Long curved front road, mostly of 2 storeys with eaves cornice but western end of one and a half storeys, somewhat altered, with chimney on roof. Round-headed half windows for stabling on ground storey, segment-headed industrial windows in upper storey (eastern end only). Elevation towards yard irregular. Eastern portion has cantilevered open balcony at first-floor level retaining some concrete horse troughs and connected by bridge to Block B and separately to ramp on Block C. Ceilings of ground storey have jack-arch iron and brick construction. INTERIOR of upper storey has separate compartments and paving for horses but no stalls.

Block B immediately to north of North London railway line. 3 storeys. Ground storey c1868, originally provender store, with round-headed half-windows for stabling on long elevations; upper storeys c1881, with round-headed windows at first-floor level and segment-headed windows above. Tiers of loft openings for hoists, much altered and renewed. Connected by narrow bridge at east end to Block A.

Block C between Blocks A and B and parallel to Block B. 2 storeys. Ground storey c1868, upper provender store, with round-headed half-windows for stabling on long elevations; upper storeys c1881, with round-headed windows at first-floor level and segment-headed windows above. Tiers of loft openings for hoists, much altered and renewed. Connected by narrow bridge at east end to Block A. Block C between Blocks A and B and parallel to Block B. 2 storeys. Ground storey c1868, upper storey 1881; horse ramp on north side of block c1895, connected with balcony on Block A. Round-headed windows on ground storey, segment-headed industrial windows above on both north and south sides. South side formerly had another horse ramp, of 1881, and covered bridge connecting with Block B, demolished in 1980s. Ground storey has iron and brick jack-arch construction and iron stanchions against walls stamped 'Norton and Son Darlaston'.

Block D at right-angles and to west of Blocks B and C. 2 storeys. Ground storey c1868, upper storey c1881. Main elevation faces eastwards, with return northwards. Round-headed half-windows for stabling at ground level, some segment-headed sash windows above. Tall brick chimneys. INTERIOR with original timber benching, one timber partition and some harness hooks. Said to have been formerly the Tack Room for the stabling. Formerly connected by a bridge at south end to Block B. Included as a rare example of substantial industrial stabling and a major surviving portion of the former Camden Goods Yard.

Forms a group with the 'Horse Hospital' to north-west (qv) and with further remnants of stabling and warehouses west of Block D (qv). A tunnel (now blocked) south of the North London line connects the complex with further LNWR buildings and the Regent's Canal south of the North London Line.

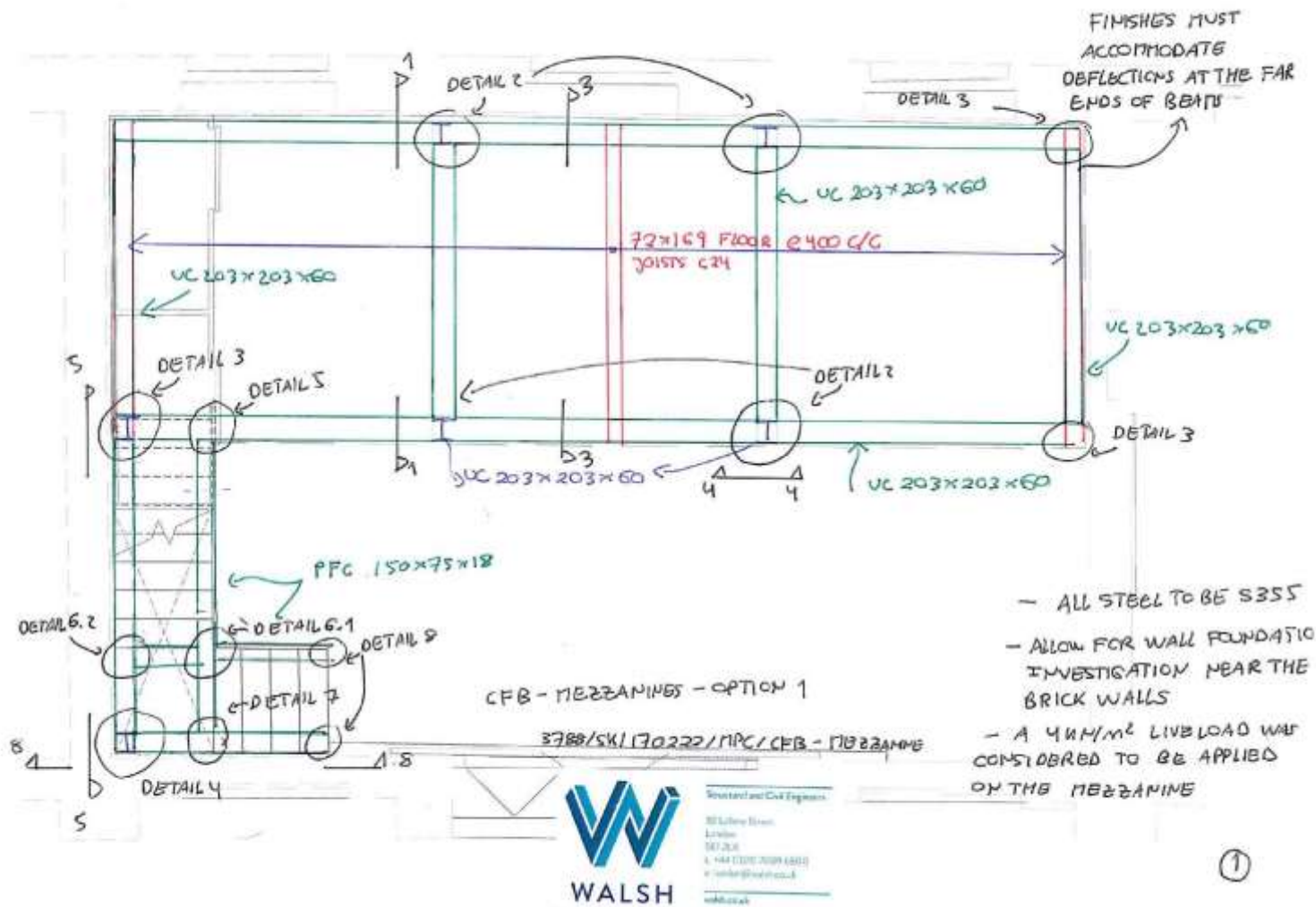
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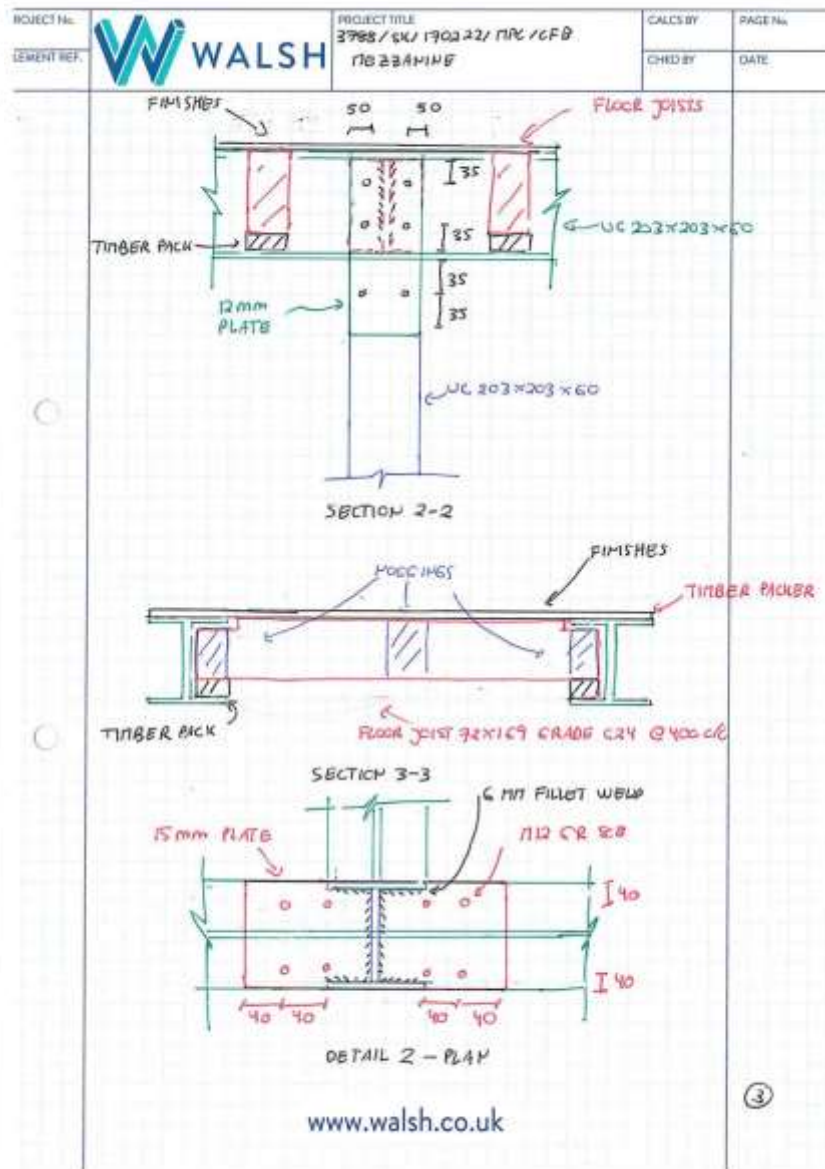
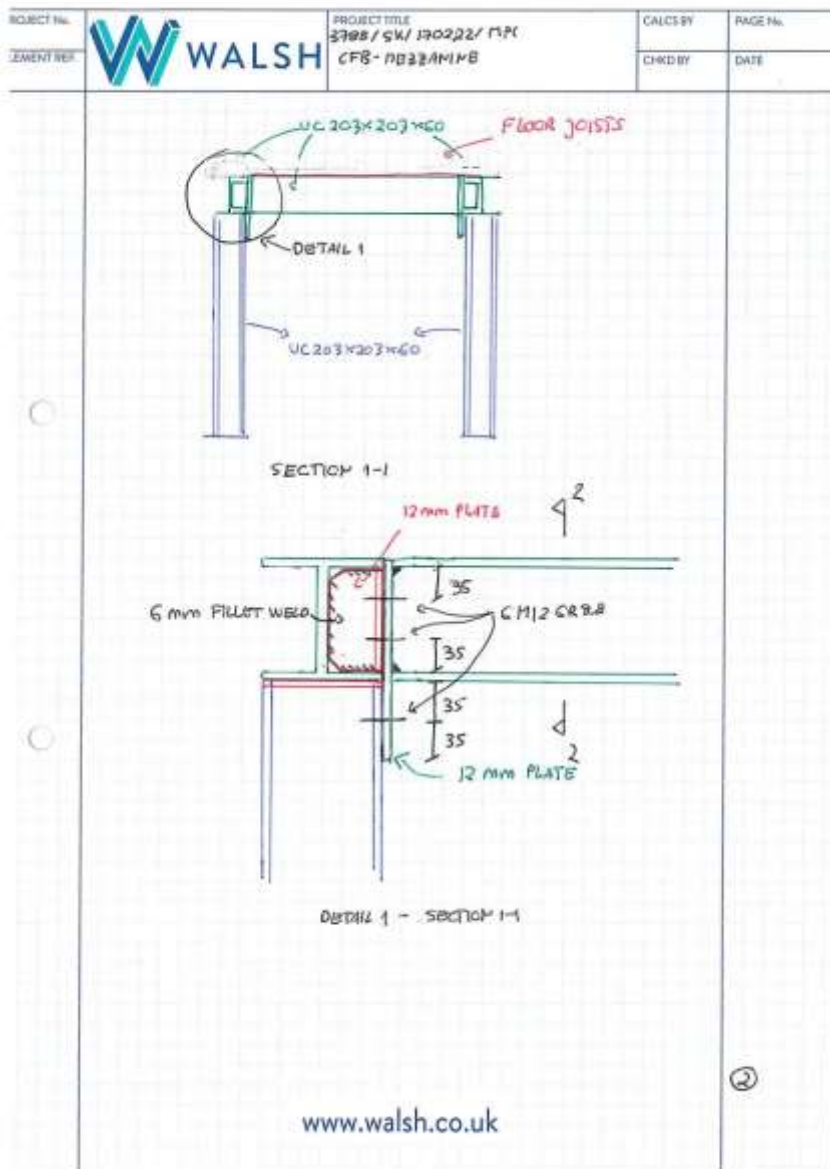
10 APPENDIX II: PLANNING HISTORY

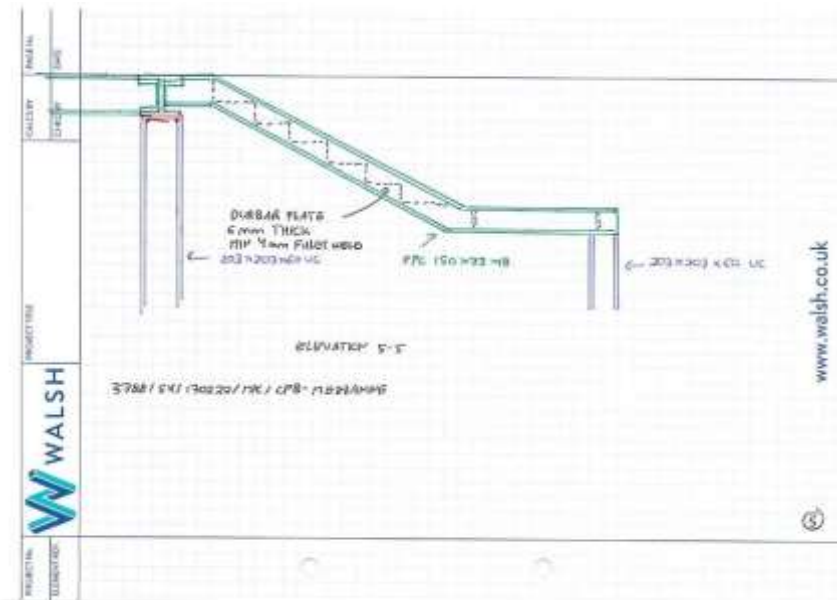
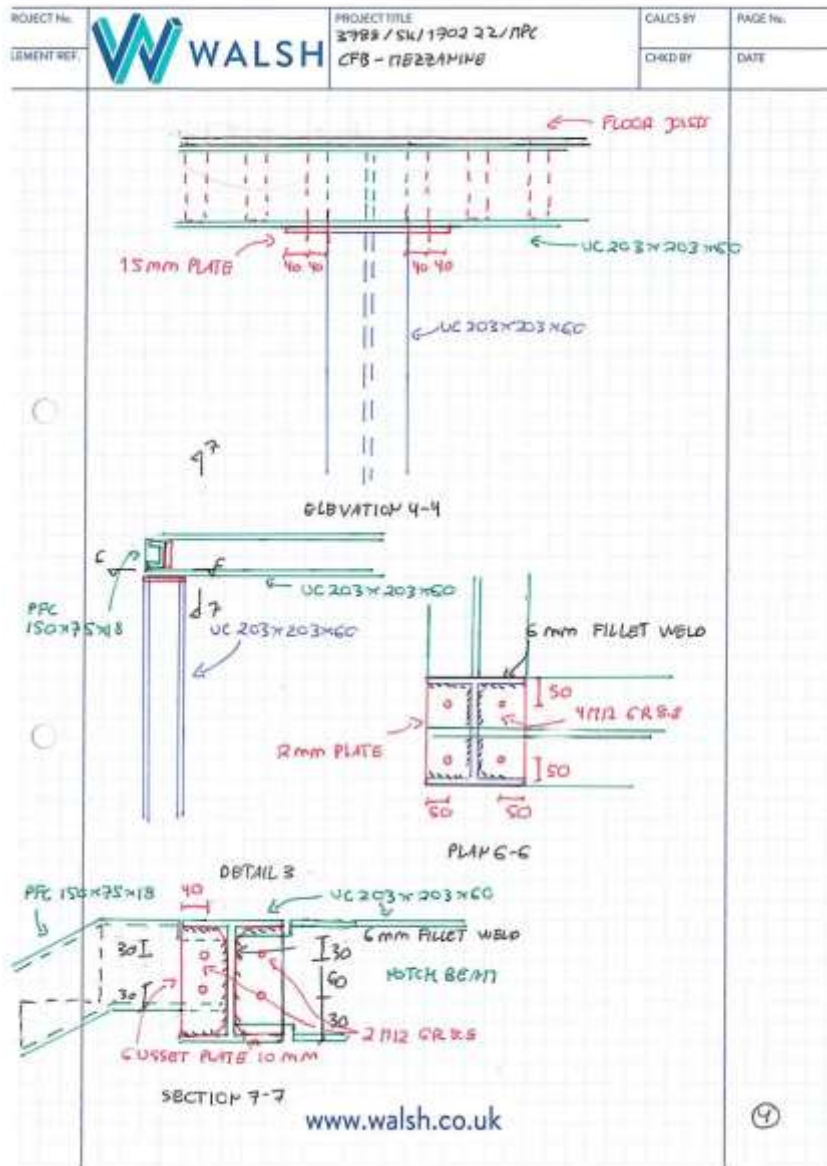
| Development Description | Date Granted | Date Registered | | |
|---|-------------------------|----------------------------|-------------|-------------|
| Replacement external doors to Chalk Farm Building and associated works. | 10.03.2016 | 05.02.2016 | | 2015/3658/L |
| Refurbishment of Long Stables building staircase and Chalk Farm building walkway. | 06.11.2015 | 15.10.2015 | 2015/4960/P | 2015/5825/L |
| Alterations in connection with the removal of existing building services and installation of new services to the Chalk Farm Stable. | 08.12.2015 | 28.09.2015 | 2015/3772/P | 2015/5481/L |
| Installation of 5 x projecting signs at fascia level and 2 x lettering signs to upper level to east elevation (Tack Room); 5 x projecting signs at fascia level, 3 x board signs to ground floor level and 4 x lettering signs to upper level to north elevation, 5 x projecting signs at fascia level, 5 x board signs to ground floor level and 6 x lettering signs to upper level to south elevation, and 1 x board sign to ground floor level to west and east elevations (Lanverder Store); 1 x board sign to ground floor level to south and east elevations, 1 x projecting sign at fascia level and 1 x lettering sign to upper level, and 2 x board signs to ground floor level to north elevation, 1 x lettering sign to upper level, and 1 x board sign to ground floor level to west elevation (Long Stable); 10 x display boards to outer walls (Horse Hospital); 7 x projecting signs at fascia | 10.11.2015 | 11.09.2015 | | 2015/4302/L |

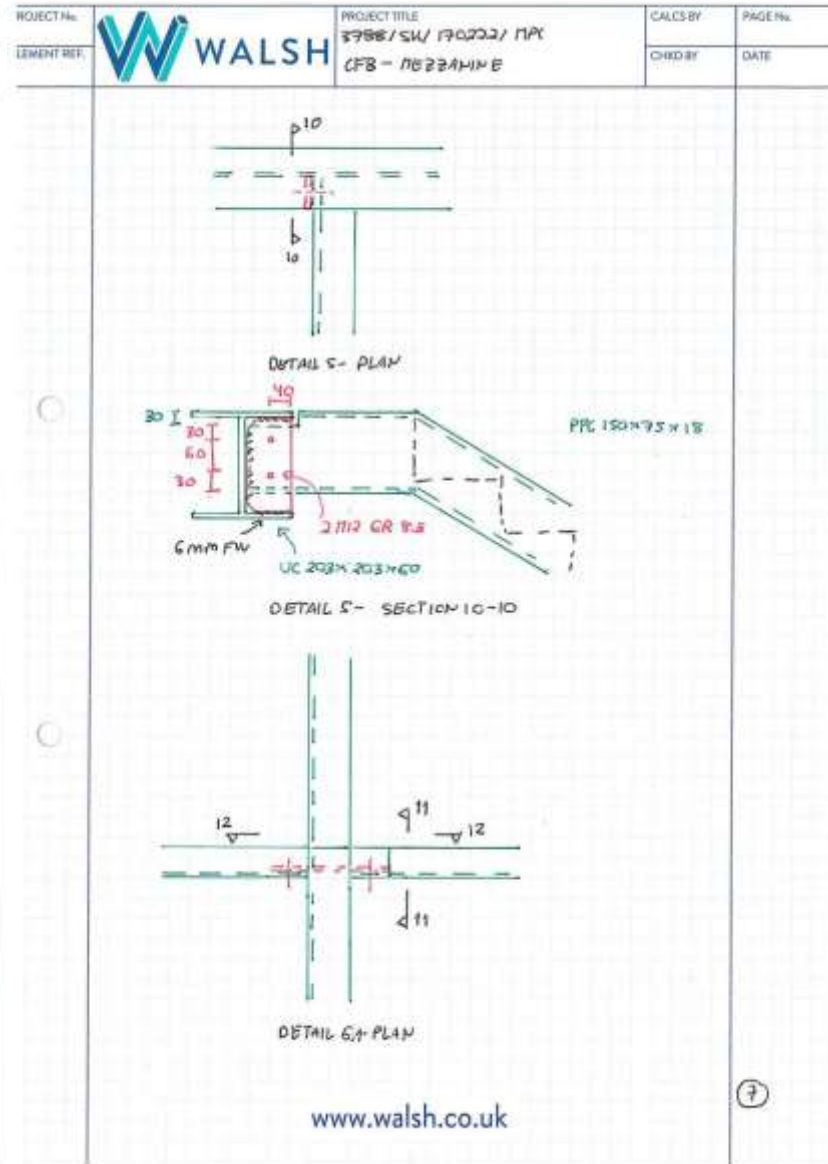
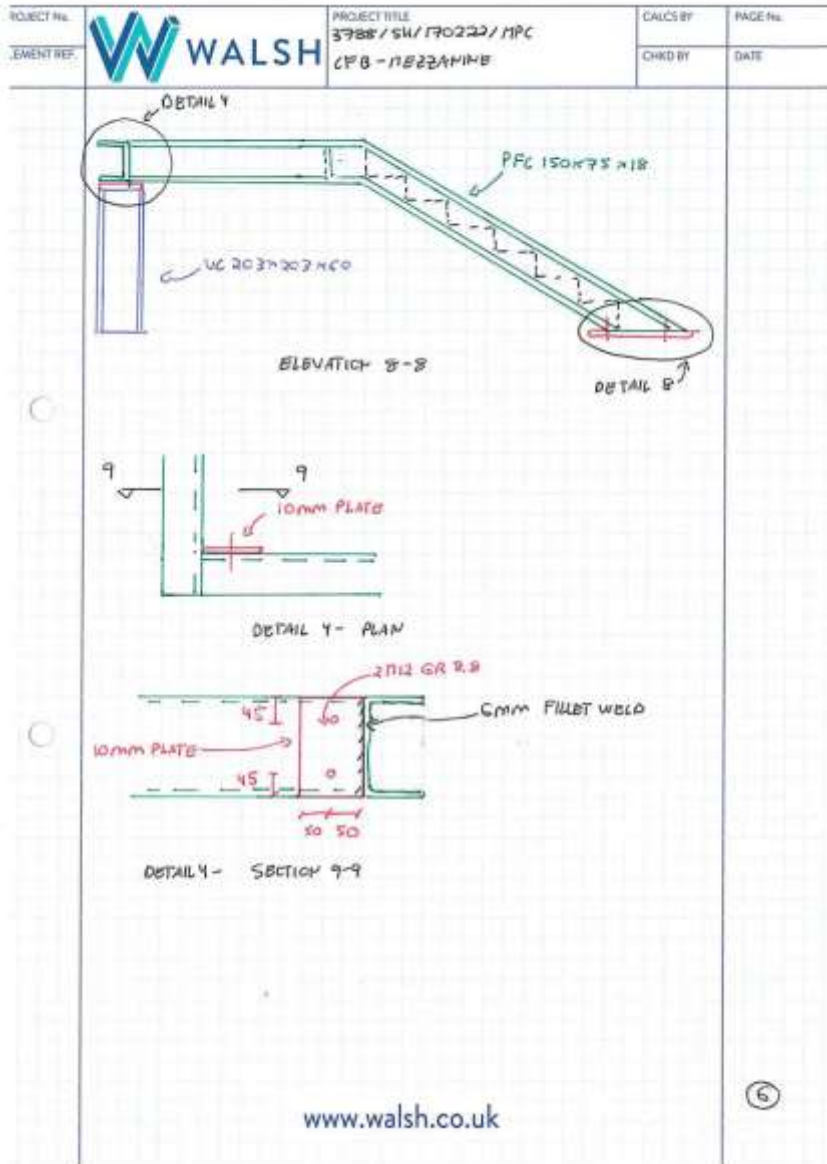
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| level to upper floor and 8 x board signs at ground floor level to south elevation, 1 x board sign to west elevation (Chalk Farm). | | | | |
| Replacement and repair of slate roof covering of the Chalk Farm Stable (Building A), together with replacement and upgrading of rainwater goods. | 28.04.2015 | 26.01.2015 | | 2015/0209/L |
| Replacement of non-original first-floor windows and doors in south elevation of Chalk Farm Stable (Block A). | 03.07.2015 | 05.06.2015 | 2015/2446/P | 2015/0941/L |

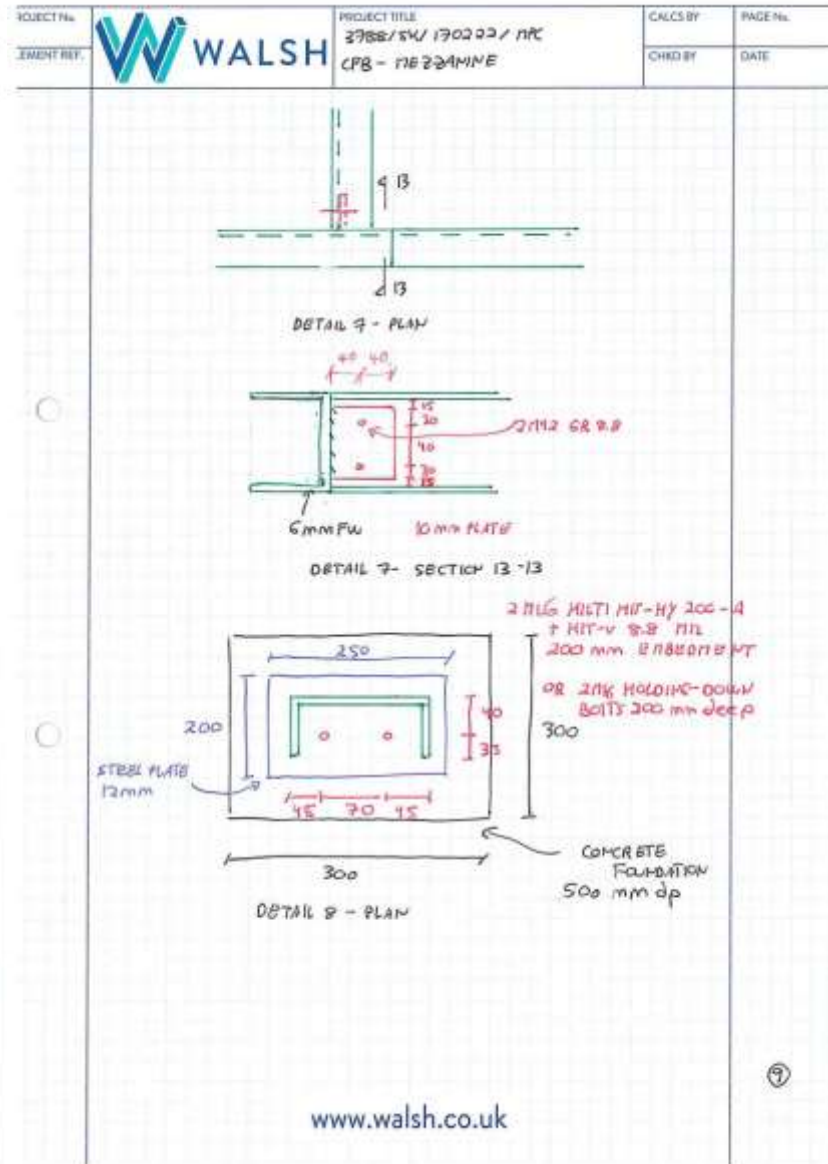
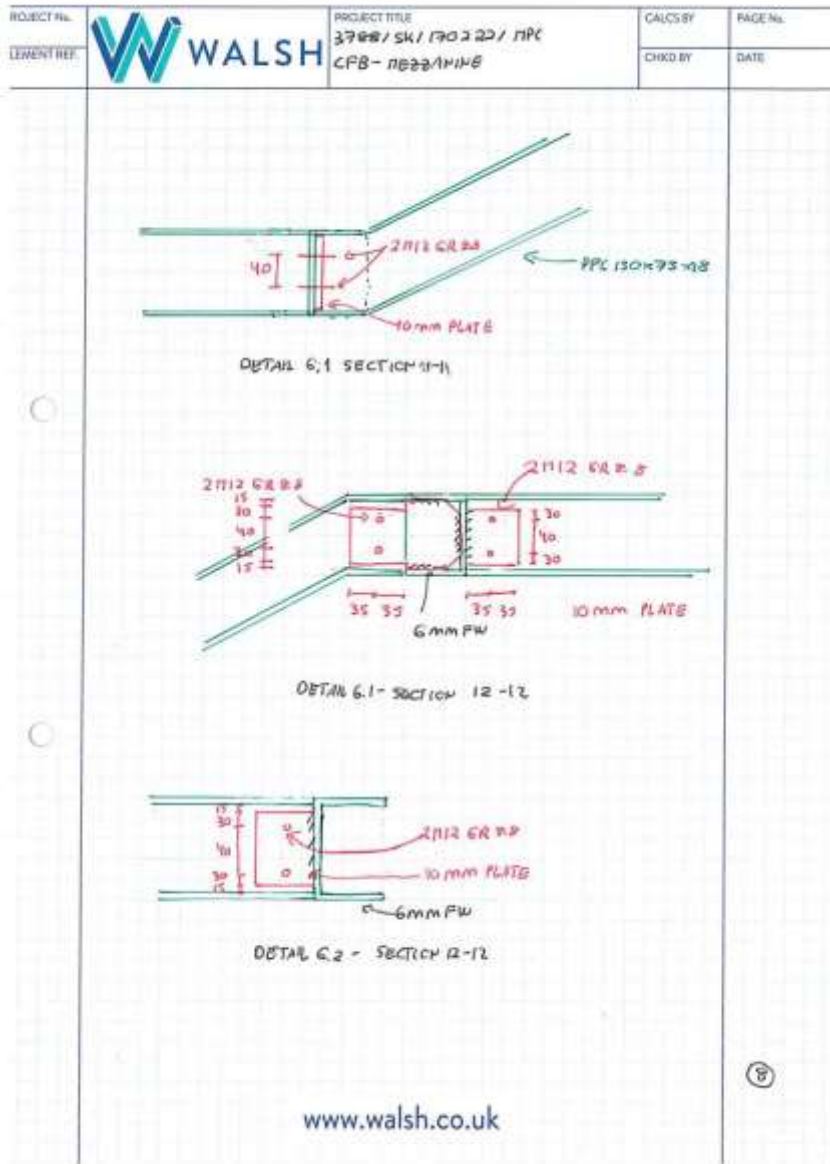
11 APPENDIX III: STRUCTURAL ENGINEERS DETAILS

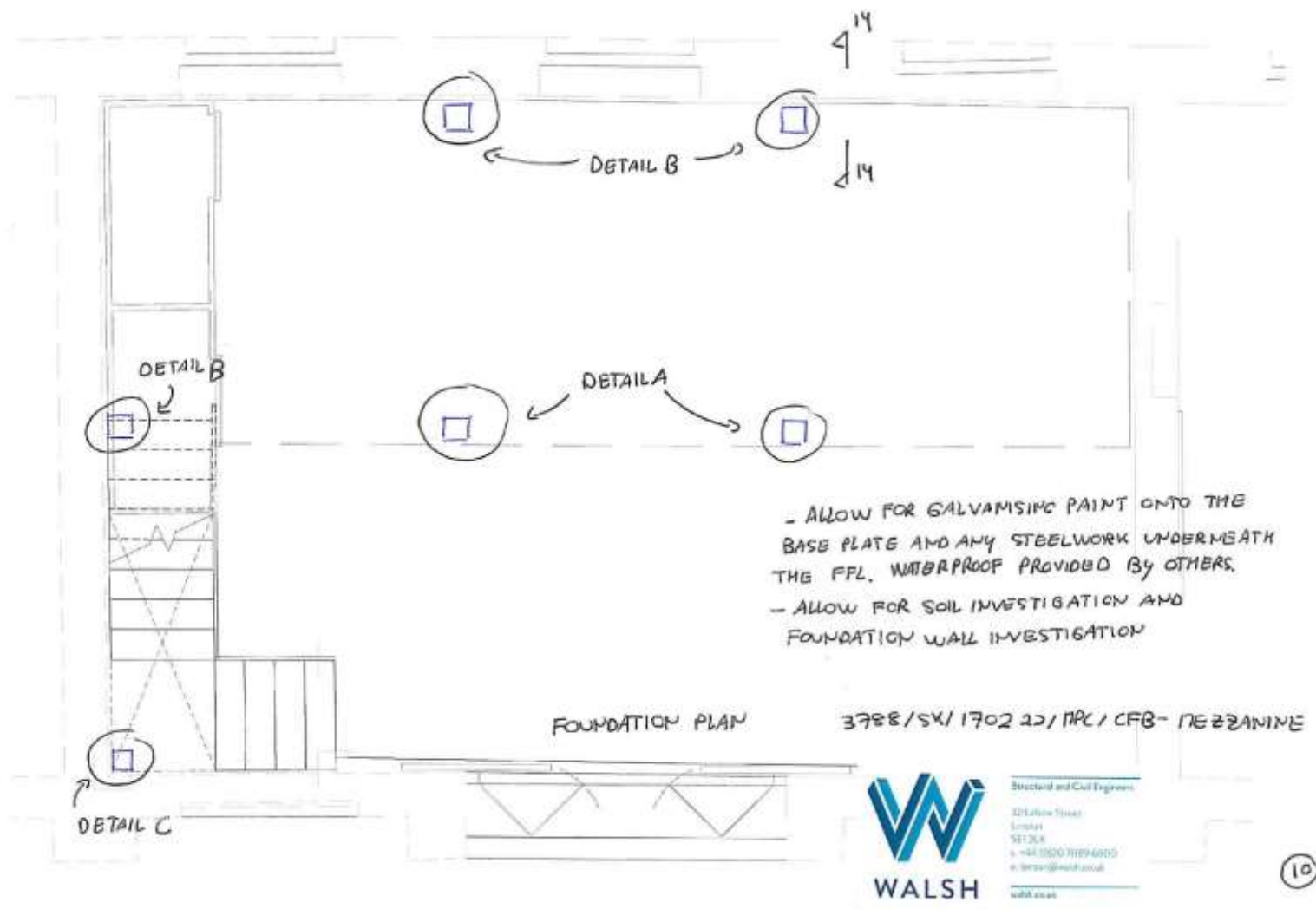


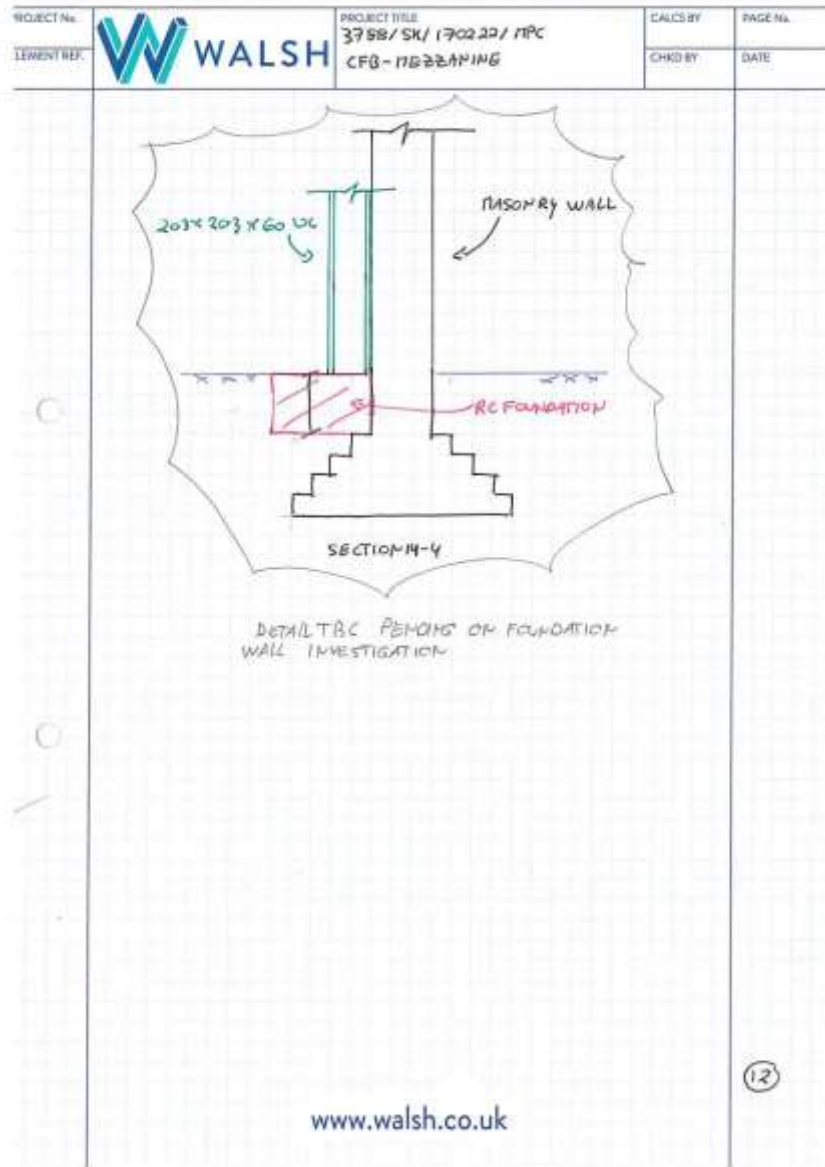
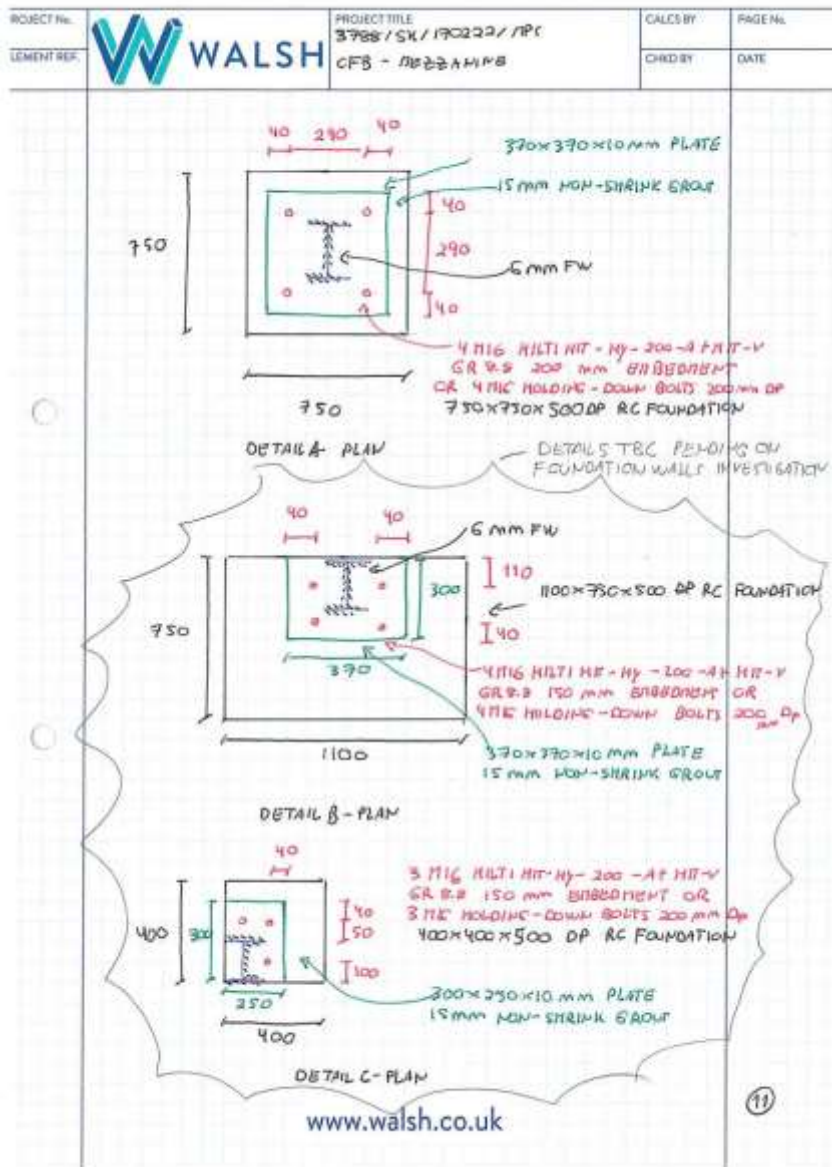


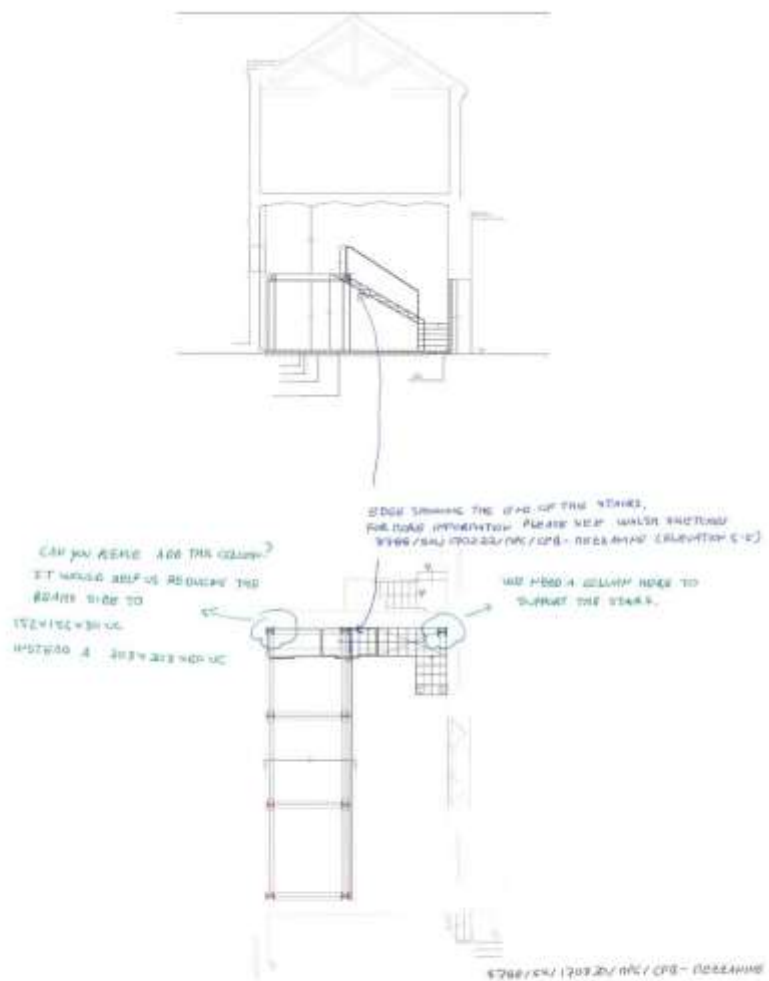












UNIT 35



12 APPENDIX III: TRIAL HOLE SCHEDULE

