



55 Highgate West Hill

Design and Access and Heritage Statements

Addendum

RESPONSE TO CONSULTATION

Planning and Listed Building Consent Applications

March 2017

Nicola de Quincey architecture and conservation

Response to Consultation

Contents

Introduction

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Introduction

This Addendum to the Design and Access and Heritage Statement document has been prepared for Luce and Charles Julien for alterations to 55 Highgate West Hill.

A site meeting was held on Wednesday 22 March 2017 with Charles Rose, Principal Heritage and Conservation Officer of London Borough of Camden. The response to the queries is set out in this document.

Note the following proposals were acceptable in principle: proposed ground and first floor windows and new rear doors, reordering the 1930s extension, and removal of entrance canopy and canopy to the privy shed. Also the rooflights, if they were very small and the conservation type and traditional style.

Table of queries and information supplied

	Query raised by LB Camden	Proposal	Information
1.0	Archaeology		
1.1	Archaeological Priority Area:		CR/LBCamden/GLAAS confirmed that a watching brief will not be required
1.2	Confirmation of reduction of floor and ground levels in former bathroom and outside and of likely disruption and excavation	Retain the external ground levels except for falls for paving and restrict excavations to the interior. Retain step up from kitchen to garden, reduce bathroom floor level to kitchen level.	Drawings revised and reissued for approval. Elevations and sections drawings 15C,16C,17C,18C
2.0	Roof		
2.1	Clarification of works to the tiled roof and first floor ceiling	Retain tiled roof, renew flashings, remove ceiling on the first floor. CR feedback that this is not likely to gain consent unless a strong heritage argument to do so, and details of insulation to roof need to be resolved	Revised drawing. Further photographs following discovery of roof hatch above shelving. Example provided by Client of an open roof included. Request a condition to discharge the detail of the roof insulation details.

2.2	Rooflights	Very narrow inserted between the rafters. (Dependent on gaining approval for ceiling removal).	Conservation rooflight – traditional construction and flush flashings.
3.0	Internal walls		
3.1	Waterproofing walls proposal for the shower (concern about breathability of the fabric and ventilation)	Tadelakt hydraulic lime plaster proposed to minimise the reduction of the space and allow some flexibility and breathability	Trade literature for Tadelakt system and manufacturer's recommendation for new hydraulic lime plaster base for the Tadelakt
3.2	Extent and type of renewal of modern plaster with lime plaster	Replace areas of plaster damaged by damp	All external walls to ground and first floor main rooms to be re-rendered in lime plaster
4.0	Fireplaces		
4.1	Fireplace and joinery for the ground floor front room. Clarity on proposal and extent of work.	Retain north wall historic panels and restore missing elements. Insert new gas stove in the hearth.	Elevation revised and reissued in this document
4.2	Fireplace at first floor level	Retain historic timber panel, remove applied mouldings	Elevation revised and reissued in this document
5.0	External works		
5.1	Wooden boundary fence detail	Renew the fence in timber in the same vertical board form at the same height	Elevation drawings clarify the height is as existing. If required, request a condition to discharge
5.2	More detailed information on the proposed railings to front steps	Hand made iron railings	Request a condition to discharge detail

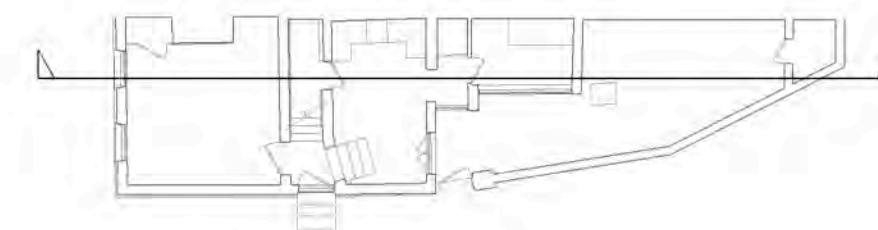
1.0 Proposed drawings inserted here

All the proposed drawings have been revised and annotated.

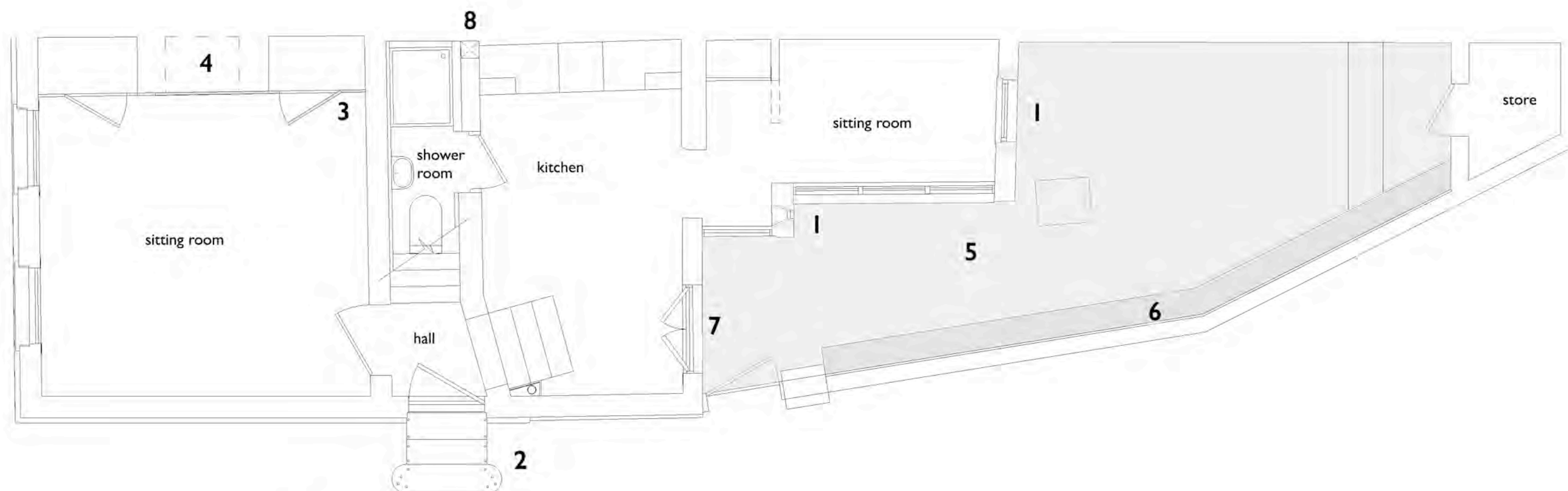
55 Highgate West Hill
Drawing Register

Nicola de Quincey architecture and conservation
info@nicoladequincey.co.uk

[illegible]



key plan existing ground floor



key

- | | |
|---------------------------------------|--|
| 1 proposed window | 5 York stone paving |
| 2 proposed railing | 6 earth margin (replacing raised planters) |
| 3 restored panelling | 7 renewed timber double doors |
| 4 restored hearth and gas-fired stove | 8 vent shower to adjacent chimneystack (arrangement tbc on site) |
| | 9 renew external modern plaster in lime plaster |



date	revision	notes
18/01/2017	A	add key
23/03/2017	B	clarify that hearth restored
28/03/2017	C	clarify paving area, vent, north point

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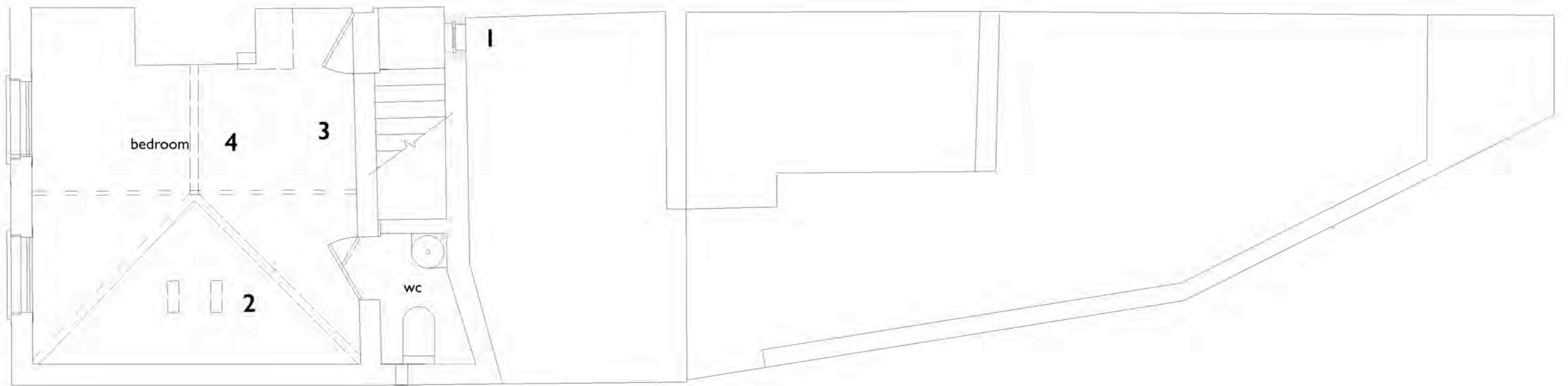
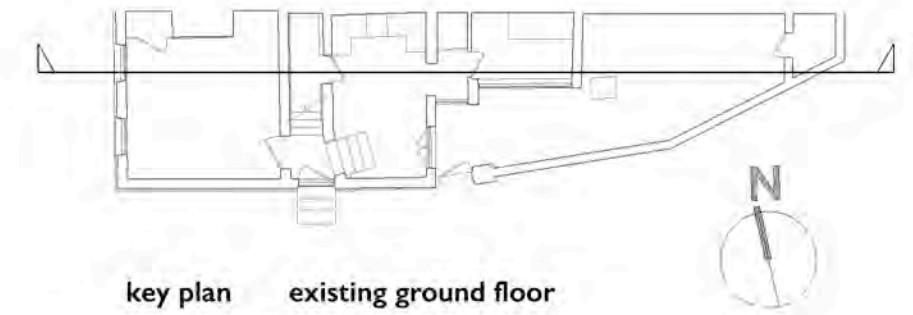
client **Mr and Mrs Julien**

architect **Nicola de Quincey** architecture and conservation
 43 New Road London E1 1HE
 nicola@nicoladequincey.co.uk 07802536990

project **55 Highgate West Hill**

drawing title **proposed ground floor** scale **1:50**

date **4 Jan 2017** drawing no. **12 rev C**



key

- 1 proposed window
- 2 proposed rooflights
- 3 open ceiling to underside of roof
- 4 replace chipboard with solid timber boards
- 5 renew modern external plaster with lime plaster



date revision

18/01/2017 A
28/03/2017 B

add key
clarify north point, plaster and floor,

client Mr and Mrs Julien

architect **Nicola de Quincey** architecture and conservation
43 New Road London E1 1HE
nicola@nicoladequincey.co.uk 07802536990

project

drawing title
date

55 Highgate West Hill

proposed first floor

4 Jan 2017

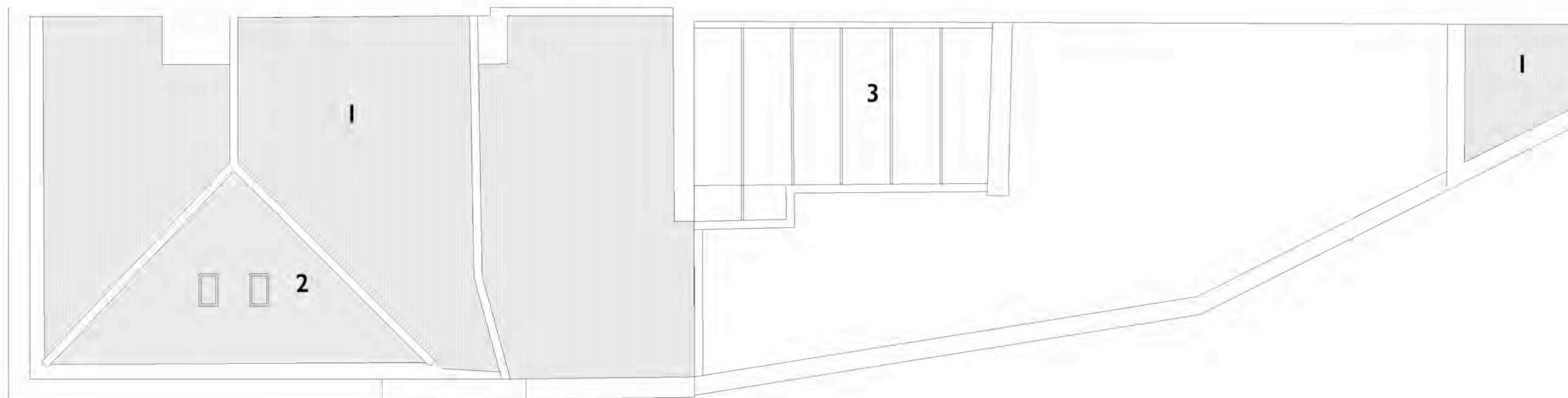
scale

drawing no.

1:50

13 rev. B

no access to roof

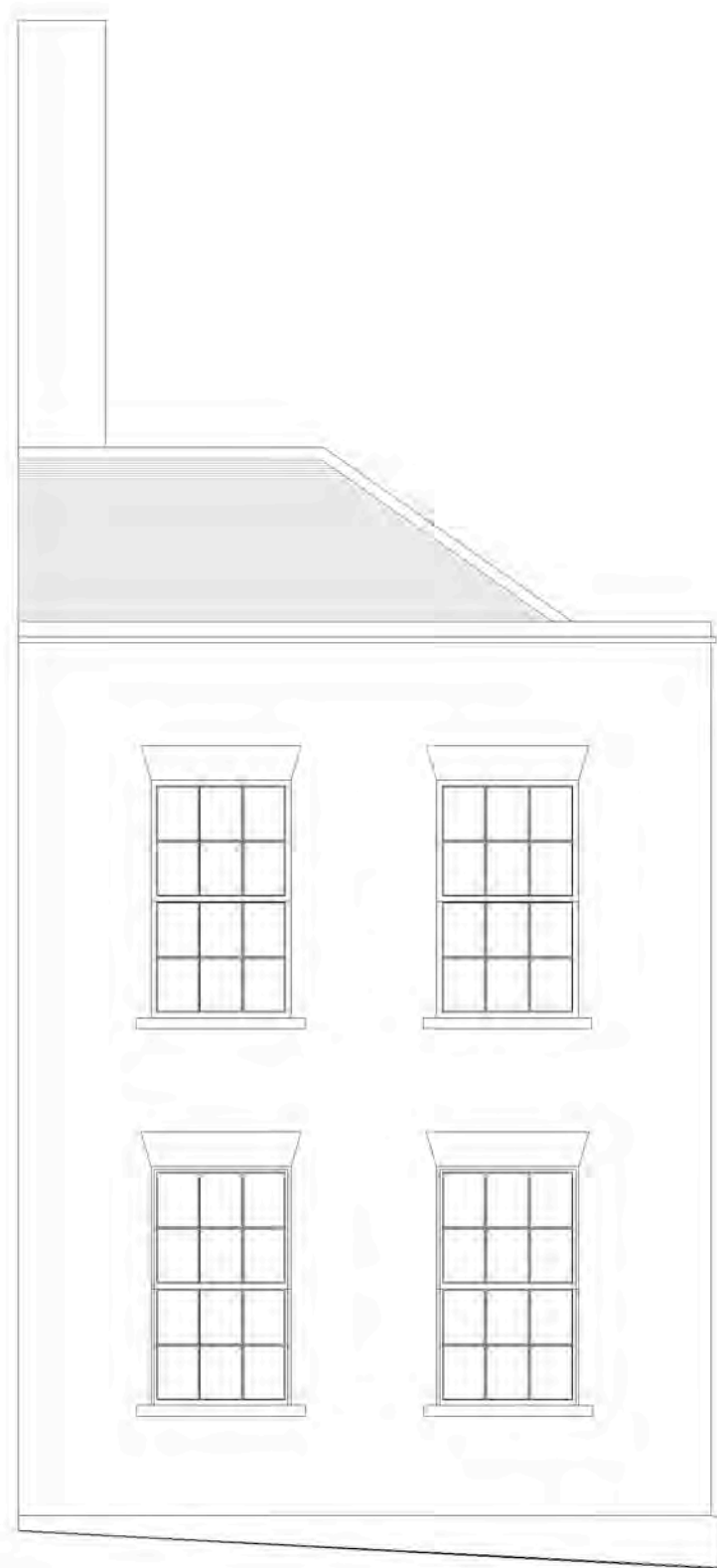


key

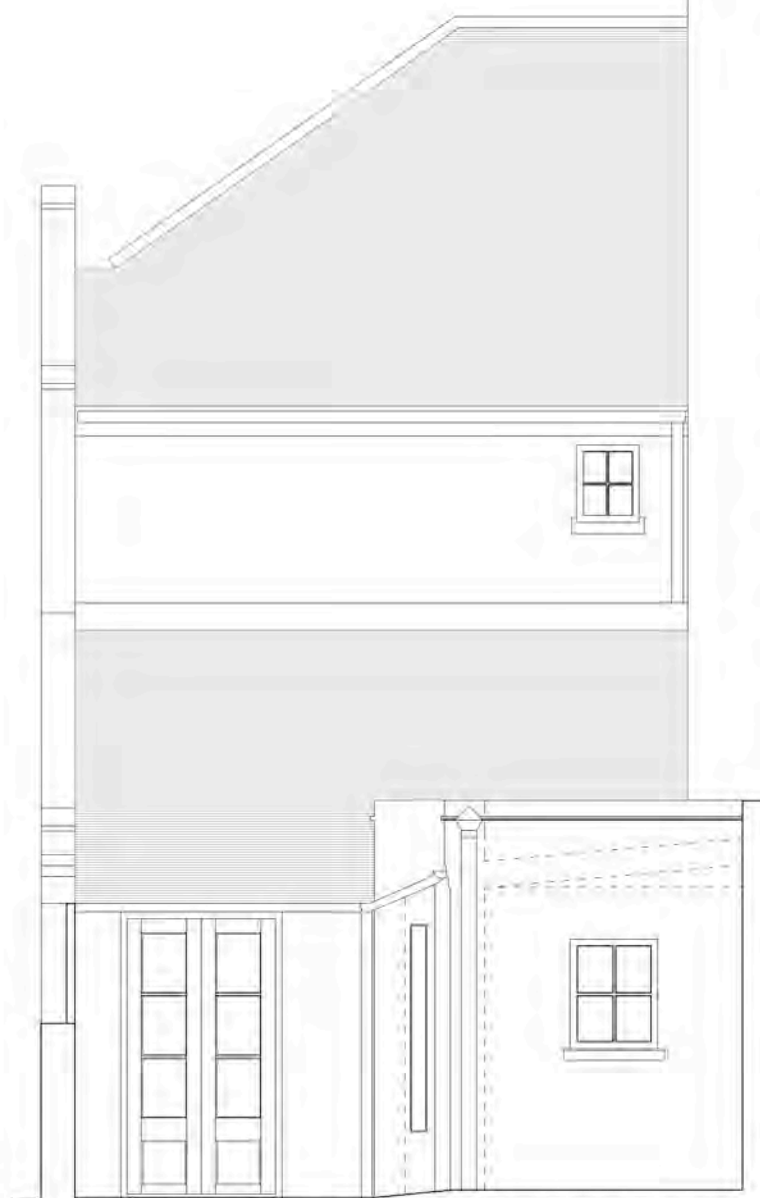
- 1 retain existing roof and renew the lead flashings
- 2 proposed rooflights
- 3 Code 6 lead roof



date	revision	notes	client	project	architect	drawing title	scale	drawing no.	rev.
18/01/2017	A	add key	Mr and Mrs Julien	55 Highgate West Hill	Nicola de Quincey architecture and conservation	proposed roof plan	1:50	14	B
28/03/2017	B	retain roof tiles, clarify north			43 New Road London E1 1HE	4 Jan 2017			
Do not scale. All dimensions to be confirmed on site. Information contained in this drawing is the sole copyright of Nicola de Quincey architecture and conservation and is not to be reproduced without permission			nicola@nicoladequincey.co.uk	07802536990					

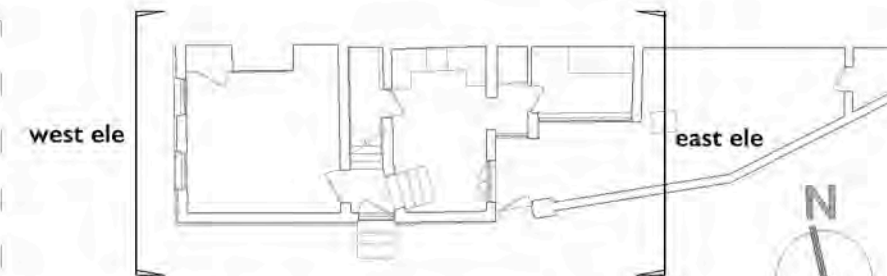


West elevation



East elevation

2



key plan existing ground floor

key

- 1 proposed timber window
- 2 proposed door joinery
- 3 west facing windows overhauled, draught stripped and secondary glazing
- 4 renew pvc guttering to the ground floor extension with cast iron

date	revision	notes
18/01/2017	A	add key plan; re-size new window to east ele
23/03/2017	B	revise levels to garden to existing levels with yorkstone paving slabs laid to falls
28/03/2017	C	clarify north point, and RWPs

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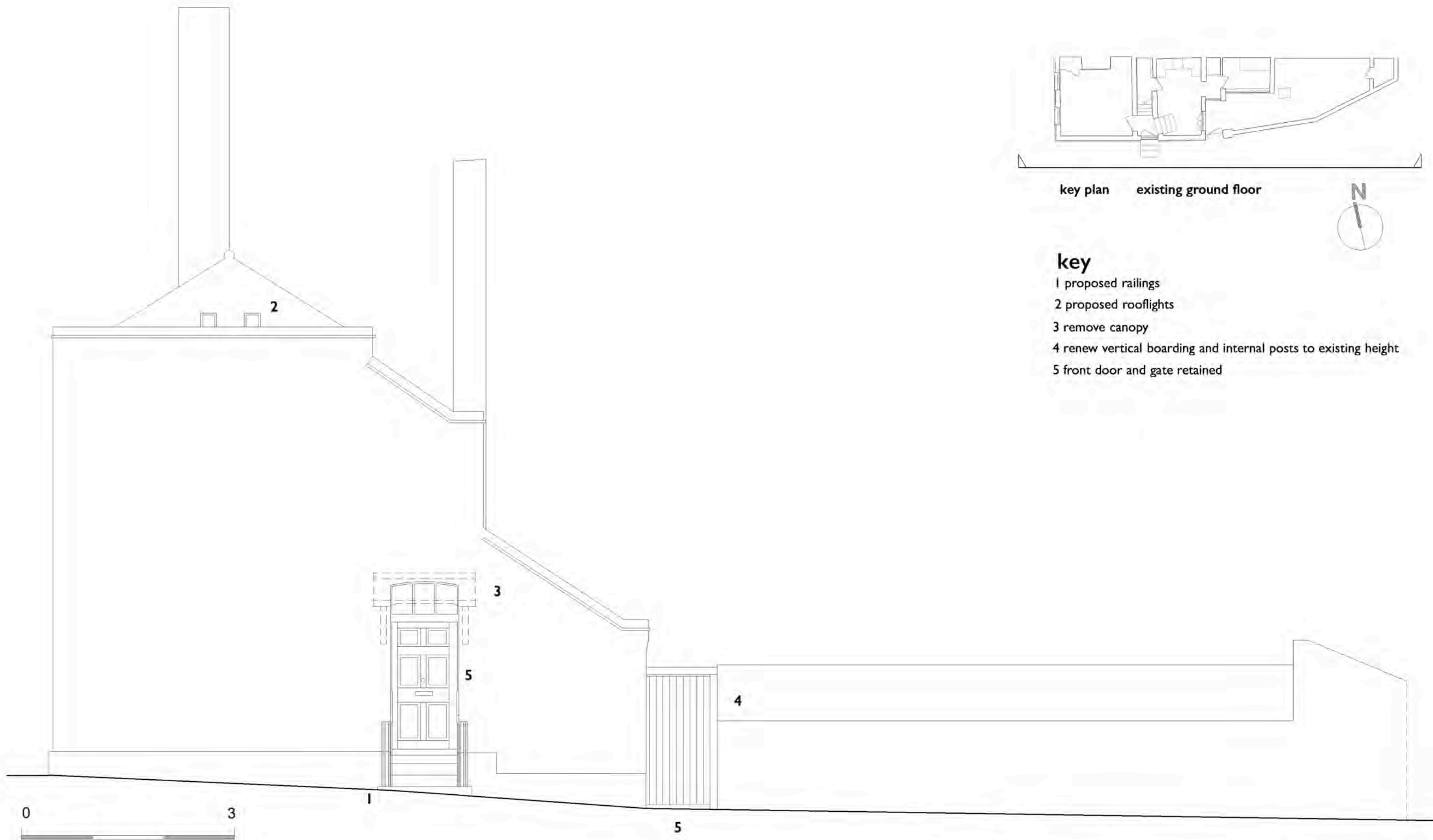
client **Mr and Mrs Julien**

architect **Nicola de Quincey** architecture and conservation
43 New Road London E1 1HE
nicola@nicoladequincey.co.uk 07802536990

project **55 Highgate West Hill**

drawing title **proposed west and east ele** scale **1:50**

date **4 Jan 2017** drawing no. **15** rev. **C**



date revision

notes

18/01/2017 A
23/03/2017 B
28/03/2017 C

add key; add rooflights
clarify key; point 4 fence
point 4 fence renewed as existing height,
annotated door and gate retained

client Mr and Mrs Julien

project

55 Highgate West Hill

architect **Nicola de Quincey** architecture and conservation

drawing title

proposed south elevation

scale **1:50**

43 New Road London E1 1HE

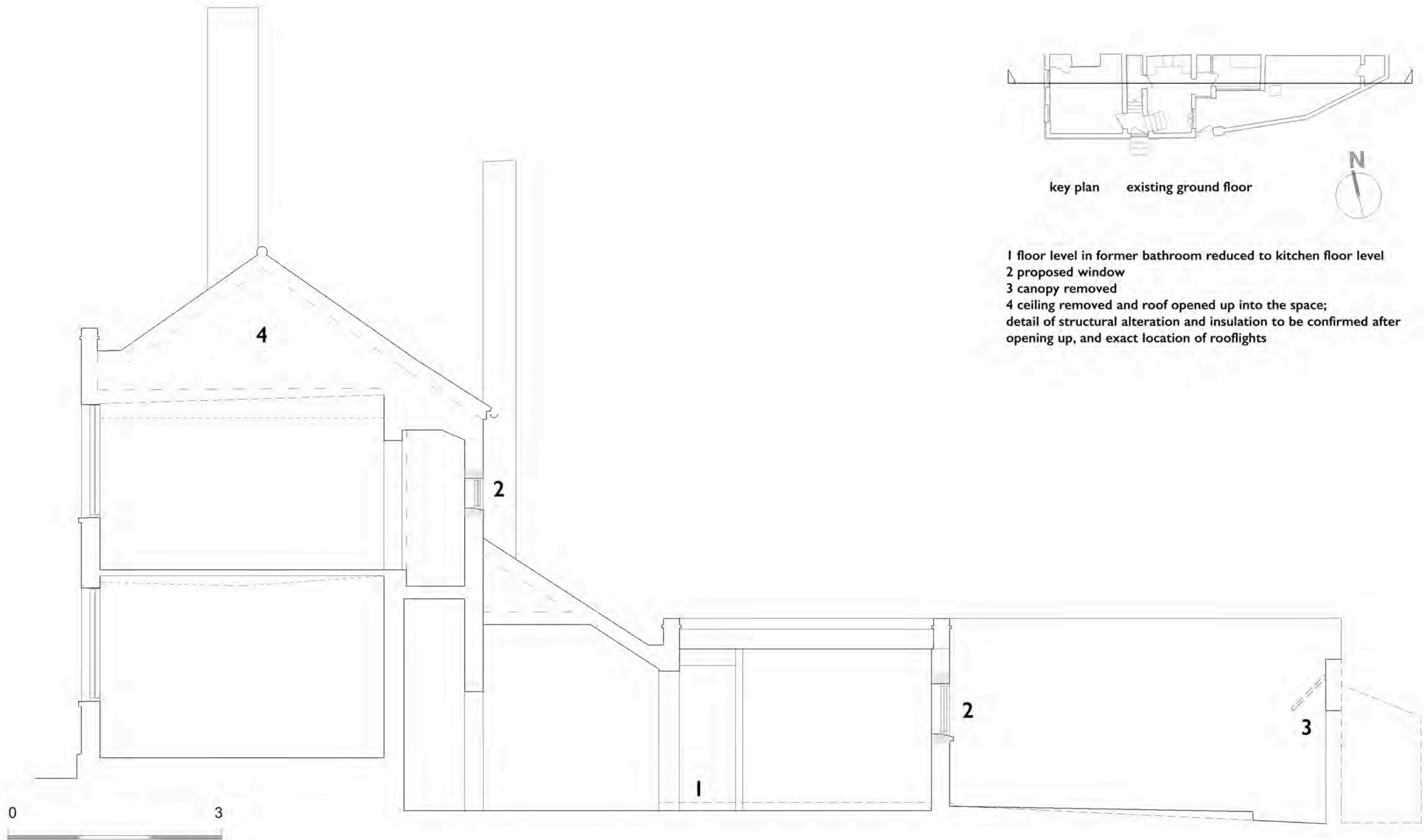
date

4 Jan 2017

drawing no. **16** rev. **C**

nicola@nicoladequincey.co.uk 07802536990

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date	revision	notes
18/01/2017	A	add key; change line weight to open up first floor ceiling; reduce cill height to east window N.B there was no access to inspect the roof space. Structural engineer to check structure and possible removal of 20C interventions to central beam
23/03/2017	B	Floor level reduced in bathroom to kitchen floor level was annotated. External level revised to existing level and laid to falls for paving. Step indicated at the east end. Rev C north clarified
28/03/2017	C	Do not scale. All dimensions to be confirmed on site. Information contained in this drawing is the sole copyright of Nicola de Quincey architecture and conservation and is not to be reproduced without permission

client **Mr and Mrs Julien**

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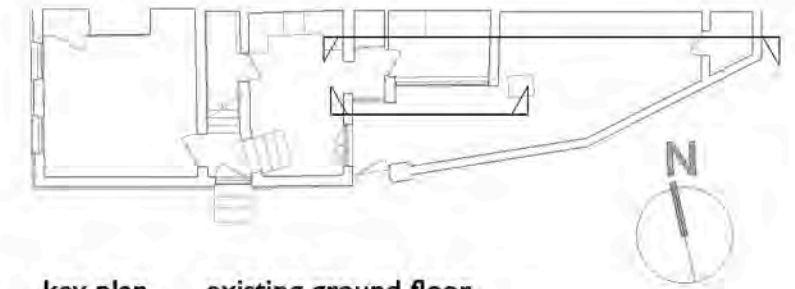
project **55 Highgate West Hill**

drawing title **proposed section**

date **4 Jan 2017**

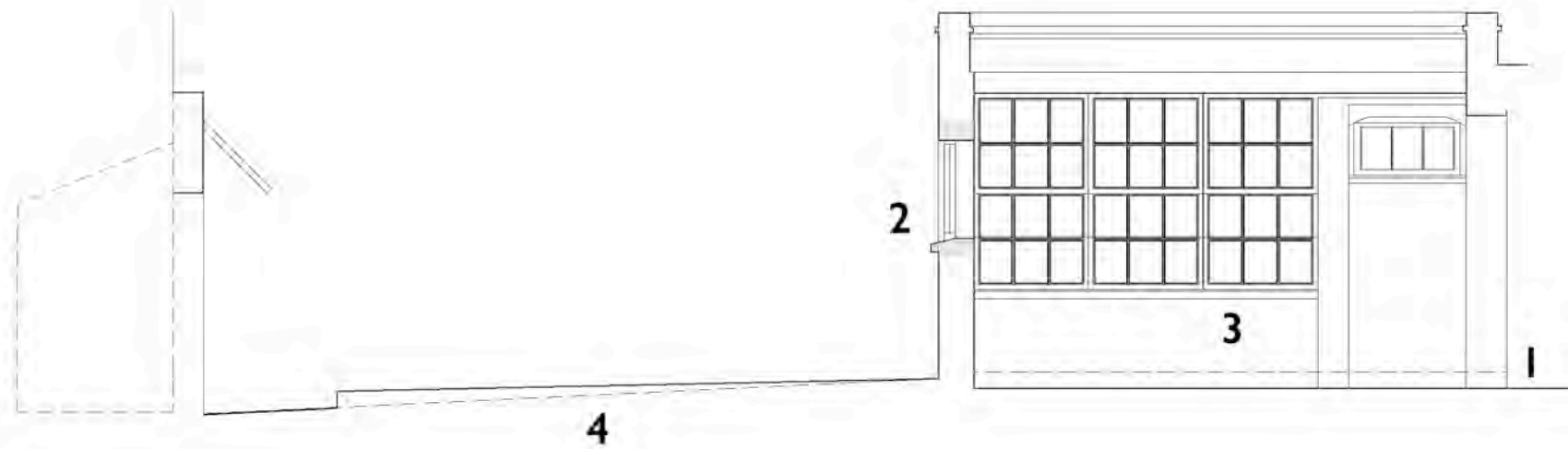
scale **1:50**

drawing no. **17** rev. **C**

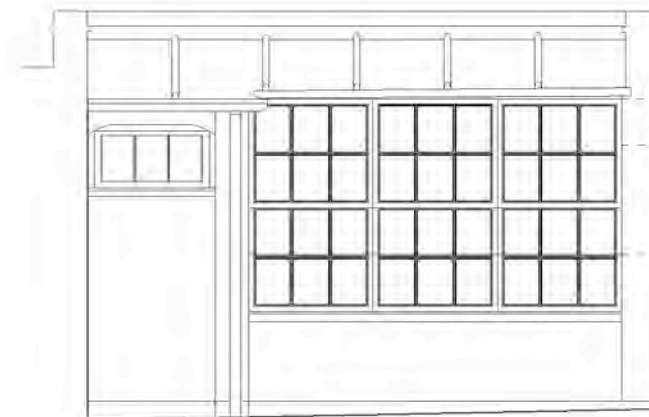


key plan existing ground floor

- 1 floor level in former bathroom reduced to kitchen floor level
- 2 proposed window
- 3 cill lowered new sash windows
- 4 existing level shown dotted, new stone paving slabs laid to falls



proposed south side section



proposed south side elev



date	revision	notes	client	project	architect	drawing title	scale
18/01/2017	A	add key plan; revise east window, add section throughh garden; remove 20C canopy to the privy	Mr and Mrs Julien	55 Highgate West Hill	Nicola de Quincey architecture and conservation	proposed south side elev	1:50
23/03/2017	B	revise and clarify internal and external levels as instruction of 22 March 2017			43 New Road London E1 1HE	4 Jan 2017	
28/03/2017	C	clarify north point			nicola@nicoladequincey.co.uk 07802536990		drawing no. 18 rev. C

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2.0 Interior roof space

Following the meeting a modern cupboard was removed. A roof hatch was revealed giving better access to the roof.



Roof hatch

These photographs taken by Charles Julien show recent repairs to the rafters in the south slope, a new timber board supporting the gutter and sarking felt. There is a ridge board at the apex. Signs of fairly recent roof repairs are evident to the south elevation and on that slope there is a sarking membrane



Roof looking towards the south slope



Ridge board



Ceiling showing original lath and plaster and ceiling joists

The clients have supplied a photograph of a roof elsewhere where the ceiling has been removed and roof lights inserted.



Example of ceiling removed in a timber-framed listed building (web image by Apex)

This is submitted for information only, as an example of an insulated roof with roof lights (albeit a different structure and to indicate the possible impact of the proposal to open up the roof).

It is anticipated that the insulation would be located between and under the rafters.

3.0 Interior walls

Hydraulic lime render Tadelakt product information



- **GENERAL**

Mineral shiny plaster for water resistant surfaces in traditional Moroccan style. For interior use.

- **PROPERTIES**

- Dry plaster
- Purely mineral
- Diffusive
- No artificial contents
- Neutral odour
- Resistant to dirt
- Water resistant; Tadelakt treated with polishing soap is water repellent
- Disinfectant due to high alkalinity

- **BINDING AGENT**

Natural hydraulic lime.

- **INGREDIENTS (FULL DECLARATION)**

Natural hydraulic lime, quartz sands of selected grain sizes, marble powder, clay, ashes, diatomaceous earth, and cellulose

- **COLOUR**

Natural white

- **MIXING**

Stir the dry powder gradually into given amount of clear, cold water. Use a powerful electric drill with a paint stirrer.

After an expanding time of approx. 30 minutes, stir again thoroughly. Readily mixed Tadelakt is to be used within 8 – 10 hours.

- **AMOUNT OF WATER**

0.3 - 0.35 l of water for 1 kg of Powder, according to the absorbency of the surface. The amount of water can be increased slightly if necessary.

- **TINTING**

Can be tinted with up to 10 % of lime resistant pigments. For example: 12 kg Tadelakt can be tinted with up to 1200 g of pigments. Tinting with Titanium White and pure iron oxide pigments only up to 5 %.

Stir pigments with little water to a paste. Ensure that all clots are stirred out properly. Then stir the paste into the mixing water before adding the Tadelakt powder. The pigment paste can also be added to the readily mixed Tadelakt mass. Mix thoroughly to achieve homogenous tinting. Clean the rim of the bucket from time to time with a trowel. The following Kreidezeit pigments are not suitable for the use with Tadelakt: Cassel Earth, Sootblack

- **TOOLS**

The berb people in Marrakech use quite simple tools. The most effective is a stone, which increases in quality through use.

Other tools used in Marrakech are ladles for application, small self-made wooden trowels about 4 x 8 cm up to 7 x 20 cm or small plastic spatula, home made from plastic litter.

We usually use a Venetian Trowel for application and smoothing. If the material is densified with a stainless steel trowel, metal rubs off. Spring steel trowels do not rub off that strongly. Take care that the Tadelakt surface is not too dry during densification with the trowel. The drier the surface, the more metal rubs off.

A suitable stone can be found in nature or in mineral or new age stores. Suitable stones are of a hard, dense mineral such as basalt or agate. They should be pebbles up to 8 cm in diameter, with a smooth, relatively flat and only slightly rounded side. Since stones like that are quite rare, suitable stones can be wet grinded on a glass plate.



You will find suitable tools in our assortment:

ST176..... Tadelakt Polishing Stone
(hardened ceramic)
Sp4233 ..Plastic Smoothing Spatula, set of 3
Sp4233Spring-steel Trowel, 200 x 80 mm
K 4227Venetian trowel 200 x 80 mm
K 4228.....Venetian trowel 240 x 100 mm

The hardened ceramic used for the polishing stone has a hardness grade of 9.5 and is free of pores.

• SUITABLE SURFACES

Recommendation

We recommend the application of Tadelakt on a new lime plaster according to plaster specification P 2 a (acc. to DIN 18550), highly hydraulic lime. Lime cement plaster is also suitable.

The surface of the plaster should not be too smooth, just soften down the texture slightly with a trowel. The texture does not have to be as even as it is usually done in Europe. The Moroccan ambience comes out very well with a slightly uneven, trowel-finished texture.

Old, not sustainable plaster should be removed or prepared for the application of a new lime plaster by grinding or removing damaged parts of the surface.

Instead of using gypsum fibre or gypsum plaster boards we recommend magnesia bonded wood fibre boards (Heraklith) as sub-surface for the plaster.

Other surfaces

In special cases Tadelakt may be applied on surfaces such as gypsum carton or gypsum fibre boards, gypsum plaster, old plasters or clay using a special priming technique. On these surfaces Tadelakt is less water resistant. The following sequences are possible:

1. Use Kreidezeit Lime Wall Finish (Art.No. 960-961) as intermediate coating. Untreated surfaces have to be primed with Kreidezeit Casein Primer (Art.No. 145) first. Then apply a smooth layer of Lime Wall Finish with a trowel. After drying the Tadelakt can be applied as on other lime plasters.
2. Tile glue can be used as an adhesive sub-surface on these surfaces. Apply tile glue with a trowel and roughen it up.

The Tadelakt is not easy to smooth and polish on surfaces primed this way because there is no buffer or storage for humidity. For this reason, apply a layer of Tadelakt on the dry tile glue and let dry over night. Apply a second layer of Tadelakt and treat as if it were applied on fresh plaster.

• PREPARATIONS

- Wet dry lime- and lime cement plasters before application.
- Brush sanding surfaces thoroughly and solidify with Casein Primer (Art.No. 145).
- Remove accumulations of binder and sintered skin from plaster surfaces.
- Remove residues of molding oil from concrete.
- Remove loose plaster and wall particles and fill with similar material.

• USAGE

Short description of traditional Moroccan technique

Tadelakt is applied with a trowel and, after setting, smoothed down and densified with small wooden boards.

The material is then smoothed with a plastic trowel and polished and densified with a stone in circular movements. Tadelakt must have set long enough to be able to polish the material. This point of time is depending on the water content of the surface, its absorbency and the climate, and may vary strongly.

Our variation of the technique

Apply Tadelakt thinly with a Venetian trowel, leave to set and apply a second layer. After setting, smoothen with a Venetian trowel, then densify and polish with a stone. Small irregularities and holes can be filled using a plastic spatula.



• POLISHING

Kreidezeit Polishing Soap (Art.No. 199) is applied thickly with a soft brush. After a short setting time polish with a stone. Through this, a higher gloss and a water and dirt repellent surface is achieved, suitable for instance for bathrooms.

Chemically this process creates an insoluble lime-soap by the reaction of polishing soap with the lime in the surface.

Take also note of our product information Polishing Soap.

Kreidezeit Punic Wax (Art.No. 197.1) may be applied thinly for an even higher gloss with a Venetian trowel and polished after drying using the trowel.

Kreidezeit Carnaubawax Emulsion (Art.Nr. 420) may also be applied for higher gloss. The emulsion is applied thinly with a soft cloth and polished after drying.

• CARING FOR TADELAKT SURFACES

Clean with water, add a little bit of Marseille soap if necessary. Use a soft cloth or sponge to wash off dirt.

Do not use household cleaning agents or scouring sponges.

If Tadelakt has direct contact to water a second layer of polishing soap should be applied after 2 – 3 days. Use a soft cloth in a plastic bag to polish the soap to an even gloss.

• REPAIRS

Cut out the damaged part with a cutter knife or sand down, then repair with original material.

• DRYING TIME

Safe to coat after approx. 12 - 24 hrs. at 20 °C and 65 % relative humidity.
Completely dry and solid after approx. 4 weeks.

• CLEANING OF TOOLS

Immediately after use with water.

• YIELD

Approx. 2.5 kg per 1 m²

• PACKAGE SIZES

Art.No. 170 2.5 kg
Art.No. 171 6.0 kg
Art.No. 172 12.0 kg
Art.No. 173 26.0 kg
Please refer to the valid pricelist for product prices.

• STORAGE

Stored dry and airtight Tadelakt can be kept for at least 6 months. Readily mixed Tadelakt must be used within 8 – 10 hours.
Dried residues can be disposed of with normal household litter or as construction waste.

• HAZARD CLASSIFICATION

Xi - irritant
(acc. to European Council Directive 67/548/EWG)

• SAFETY ADVICE / NOTES

Contains calciumhydroxide.
Risk of serious damage to eyes.
Keep out of the reach of children.
Do not breathe dust. Avoid contact with skin.
In case of contact with eyes, rinse immediately with plenty of water and seek medical advice.
Wear eye/face protection.
Glass, metal and lacquered surfaces as well as all other sensitive surfaces should be covered. Remove spots immediately with water.

We recommend to attend a Tadelakt seminar at Kreidezeit because Tadelakt works demand skillful craftsmanship. Refer to our Homepage for details or phone us or your Kreidezeit specialist dealer. Please take also note of our product information regarding Polishing Soap, Punic Wax and Carnauba Wax Emulsion.

The above information has been compiled in accordance with the best of our experience and knowledge. Owing to the application methods and environmental influences, as well as the various surface properties, no liabilities or legalities pertaining to the individual recommendations can be entertained. Prior to application, the suitability of the product is to be tested (trial coat).
The validity of the text ceases with revisions or product modifications. . You will find the latest product information at >> www.kreidezeit.de << or directly at Kreidezeit.

(04/02/2008)



4.0 Fireplaces

Proposal to reinstate panelling on the ground floor



Existing ground floor north wall.

Twentieth century reproduction Victorian tiled fireplace and surround. Remnant of the 18th century paneling and cupboards on left side of the chimney stack.

The top rail of the paneling continues at ceiling level



Precedent image of 46 Highgate West Hill: entrance hall

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London Metropolitan Archives

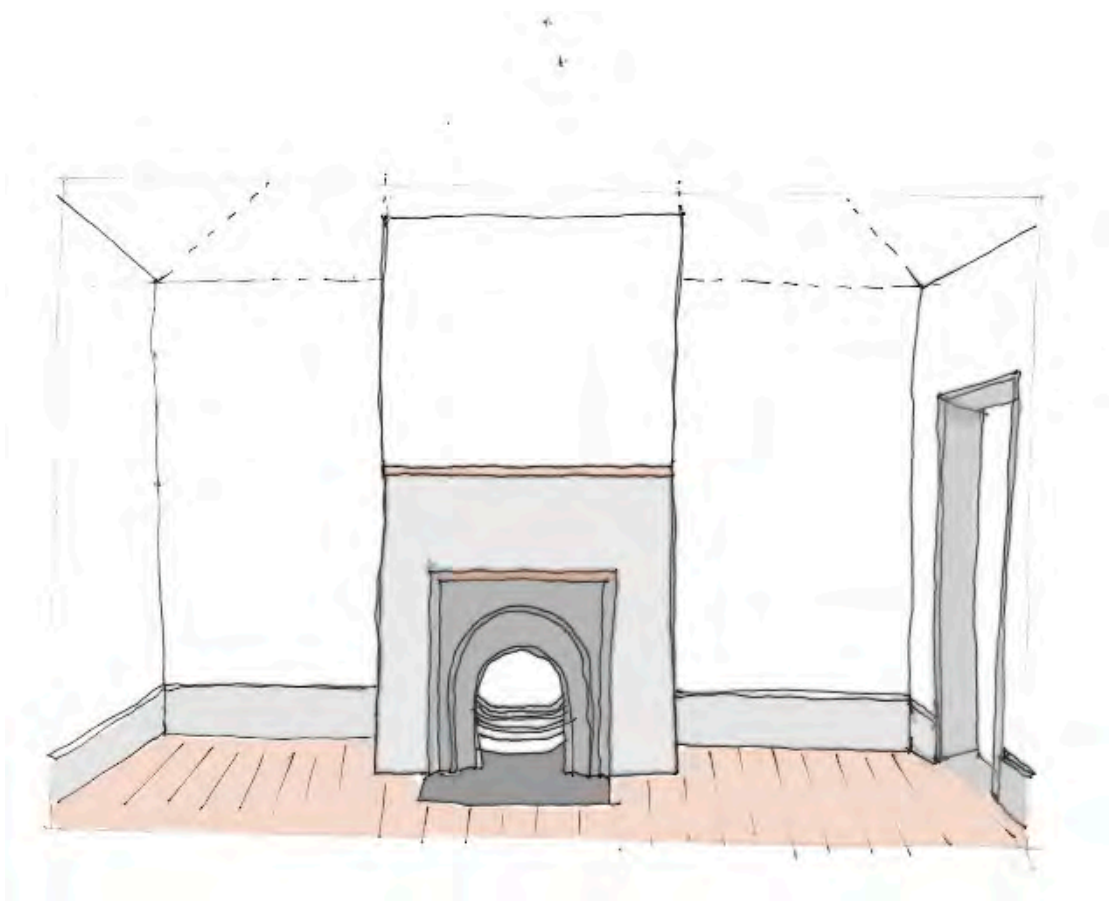


Proposal fireplace at ground floor level

- *repair the surviving panels and cupboard, open up the original fireplace and hearth shown in grey)*
- *restore the panelling and fire surround (shown in sepia)*
- *replace the gas-fired stove (line the chimney flue as recommended)*
- *expose the timber floor boards – (the section of floor that was exposed revealed modern timber boards)*



First floor bedroom Remnant of eighteenth century panelled fire surround with nineteenth century cast-iron inset. Modern cupboards on north wall. Salvaged/distressed timber mantels applied, modern marble hearth



Proposal fireplace at first floor level

- *retain all old timber surround, fire back and basket, skirting architraves and door (not shown), marked in light grey*
- *Replace chipboard floor with timber boards, (over ply if required for stiffening), replace hearth, make good where applied mouldings removed.*

